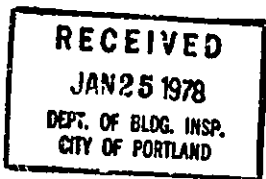


97-94 CODMAN STREET



Felt cut # 820R - Half # 8202R - Third cut # 8203R - Felt cut # 8204R



1/25/78

Gentlemen,

My small shop at 94 Codman St., if licensed, will sell lapidary crafts, that is, hand crafted jewelry made from minerals which are cut and polished, and mineral specimens which are cut and polished such as geodes etc.

The proposed area for the shop is a room which is finished on one side of the basement which has two exits, one leading directly outdoors from the room, and another leading to the upstairs portion of the house.

The size of the room intended for both the jewelry making and retail sales is 11' x 12'. Adjacent to the basement entrance is a driveway which will easily accommodate 4-5 cars.

Noise, dust, glare etc, will not be problems in working with the lapidary craft.

John S Bailey Jr.



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 0056
B.O.C.A. TYPE OF CONSTRUCTION

JAN 26 1978

ZONING LOCATION R-3 PORTLAND, MAINE, January 25, 78

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION .. 94 Codman Street Fire District #1 [], #2 []
1. Owner's name and address Jana E. Ross - Same Telephone . 772-3471
2. Lessee's name and address John S. Bailey, Jr. - Same Telephone . 772-3471
3. Contractor's name and address Telephone
4. Architect Specifications Plans No. of sheets
Proposed use of building No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ Fee \$ 5.00

FIELD INSPECTOR-Mr GENERAL DESCRIPTION
This application is for @ 775-5451 dwelling
Dwelling Ext. 234 Change of Use from apartment to craft shop.
Garage Insulation, kitchen and dwelling as a
Masonry Bldg. home occupation. Home crafts and lapidary
Metal Bldg. work.
Alterations Stamp of Special Conditions
Demolitions
Change of Use
Other

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [x] 2 [] 3 [] 4 []
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION-PLAN EXAMINER Will work require disturbing of any tree on a public street? ..
ZONING: A.R. Madu 1/25/78
BUILDING CODE: Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed?
Others:

Signature of Applicant John S. Bailey Jr. Phone #
Type Name of above John S. Bailey, Jr. 1 [] 2 [] 3 [] 4 []
Other
and Address

FIELD INSPECTOR'S COPY

NOTES

Handwritten notes in the top section of the form, including the word "NOTES" and some illegible scribbles.

Permit No. 98/00516
Location 91 Condover Rd.
Owner Gene Brown
Date of permit 1-25-78
Approved 1-26-78

Main body of the form consisting of two columns of horizontal lines. The right column is crossed out with a large 'X'.

Handwritten notes at the bottom of the left column, including the word "approved" and other illegible text.



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date May 18, 19 77
 Receipt and Permit number A09976

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 94 Codman St.
 OWNER'S NAME: Robert Poss ADDRESS: same

OUTLETS: (number of)
 Lights _____
 Receptacles _____
 Switches _____
 Plugmold _____ (number of feet)
 TOTAL _____

FEES

FIXTURES: (number of)
 Incandescent _____
 Fluorescent _____ (Do not include strip fluorescent)
 TOTAL _____
 Strip Fluorescent, in feet _____

SERVICES:
 Permanent, total amperes 100 3.00
 Temporary _____

METERS: (number of) 1 .50

MOTORS: (number of)
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING:
 Oil or Gas (number of units) _____
 Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric (total number of kws) _____

APPLIANCES: (number of)
 Ranges _____ Water Heaters _____
 Cook Tops _____ Disposals _____
 Wall Ovens _____ Dishwashers _____
 Dryers _____ Compactors _____
 Fans _____ Others (denote) _____
 TOTAL _____

MISCELLANEOUS: (number of)
 Branch Panels _____
 Transformers _____
 Air Conditioners _____
 Signs _____
 Fire/Burglar Alarms _____
 Circus, Fairs, etc. _____
 Alterations to wires _____
 Repairs after fire _____
 Heavy Duty, 220v outlets _____
 Emergency Lights, battery _____
 Emergency Generators _____

INSTALLATION FEE DUE: _____
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9) _____
 TOTAL AMOUNT DUE: 3.50

INSPECTION:
 Will be ready on _____, 19__ or Will Call

CONTRACTOR'S NAME: Mancini Electric
 ADDRESS: 179 Sheridan St.
 TEL.: 774-5829

MASTER LICENSE NO.: 2436 SIGNATURE OF CONTRACTOR: [Signature]
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY



R3 RESIDENTIAL

APPLICATION FOR PERMIT

Class of Building or Type of Structure
Portland, Maine

Third Class

May 17, 1968

PERMIT ISSUED

461

MAY 17 1968

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment specifications; if any, submitted herewith and the following specifications:

Location 94 Godman Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address John A. Hay, 94 Godman St. Telephone 773-3919
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Specifications _____ Plans no No. of sheets _____
 Architect _____ Tool shed _____ No. families _____
 Proposed use of building _____ Style of roof _____ Roofing _____
 Last use _____ Heat _____ No. stories _____
 Material _____ dwelling _____ Other buildings on same lot _____ Fee \$ 2.00
 Estimated cost \$ 80.

General Description of New Work

- To demolish existing 1-car frame garage
- To construct 8x10' tool shed - same location
- 4' from property line

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate 6'6" Height average grade to highest point of roof 10'
 Size, front 8' depth 10' No. stories 1 solid or filled land? solid earth or rock? earth
 Material of foundation concrete blocks Thickness, top _____ bottom _____ cellar _____
 Kind of roof pitch Rise per foot 5" Roof covering asphalt roofing - Class C
 No. of chimneys _____ Material of chimneys _____ Kind of heat _____ fuel _____
 Framing Lumber - Kind hemlock Dressed or full size? dressed Corner posts 2x4 Sills 4x6
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2x8, 2nd _____, 3rd _____, roof 2x4
 On centers: 1st floor 16", 2nd _____, 3rd _____, roof 16"
 Maximum span: 1st floor 8', 2nd _____, 3rd _____, roof 4' height? _____
 If one story building with masonry walls, thickness of walls? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

G.M. - 5/17/68 - All

CS 901

INSPECTION COPY

Signature of owner

John A. Hay

P.A.

6110

NOTES TIME 9 30

7/2/68 - Work done except
finishing roof. Owner
says asphalt shingles
to be used. S.S.

Permit No. 68/461
 Location 914 DeLaware St.
 Owner J. Paul C. Hays
 Date of permit 5/17/68
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice

Large section of the document containing multiple horizontal lines for notes and data entry. The text is mostly illegible due to the quality of the scan and the orientation of the page. Some faint words like "Notes" and "Time" are visible at the top of this section.

CITY OF PORTLAND, MAINE

Application for Permit to Install Wires

Permit No. 56595

Issued Feb. 19 1968

Portland, Maine Feb. 19 1968

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications

(This form must be completely filled out — Minimum Fee, \$1.00)

Owner's Name and Address Mrs. Hay Tel. _____

Contractor's Name and Address Anthony Obanain Tel. _____

Location 94 Adams St. Use of Building _____

Number of Families _____ Apartments _____ Stores _____ Number of Stories _____

Description of Wiring: New Work _____ Additions _____ Alterations _____

Pipe _____ Cable _____ Metal Molding _____ BX Cable _____ Plug Molding (No. of feet) _____

No. Light Outlets ... _____ Plugs _____ Light Circuits _____ Plug Circuits _____

FIXTURES: No. _____ Light Switches _____ Fluor. or Strip Lighting (No. feet) _____

SERVICE: Pipe Cable _____ Underground _____ No. of Wires _____ Size 3/4 in.

METERS: Relocated _____ Added _____ Total No. Meters _____

MOTORS: Number _____ Phase _____ H. P. _____ Amps _____ Volts _____ Starter _____

HEATING UNITS: Domestic (Oil) _____ No. Motors _____ Phase _____ H.P. _____

Commercial (Oil) _____ No. Motors _____ Phase _____ H.P. _____

Electric Heat (No. of Rooms) _____

APPLIANCES: No. Ranges _____ Watts _____ Brand Feeds (Size and No.) _____

Elec. Heaters _____ Watts _____

Miscellaneous _____ Watts _____ Extra Cabinets or Panels _____

Transformers _____ Air Conditioners (No. Units) _____ Signs (No. Units) _____

Will commence Feb 27 1968 Ready to cover in will call 19 _____ Inspection _____ 19 _____

Amount of Fee \$ 2.00

Signed Anthony Obanain

DO NOT WRITE BELOW THIS LINE

SERVICE	<input checked="" type="checkbox"/>	METER		GROUND	<input checked="" type="checkbox"/>
VISITS: 1	2	3	4	5	6
..... 7	8	9	10	11	12

REMARKS:

INSPECTED BY F. W. Huber
(OVER)

LOCATION *Co. of m. ST 9.4*
 INSPECTION DATE *4/4/68*
 WORK COMPLETED *4/4/68*
 TOTAL NO. INSPECTIONS
 REMARKS:

FEE S FOR WIRING PERMITS EFFECTIVE JULY 31, 1968

WIRING		
1 to 30 Outlets	(including switches)	\$ 2.00
31 to 60 Outlets	(including switches)	3.00
Over 60 Outlets, each Outlet	(including switches)	.05
(Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).		
SERVICES		
Single Phase		2.00
Three Phase		4.00
MOTORS		
Not exceeding 50 H.P.		3.00
Over 50 H.P.		4.00
HEATING UNITS		
Domestic (Oil)		2.00
Commercial (Oil)		4.00
Electric Heat (Each Room)		.75
APPLIANCES		
Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Dishwashers, etc. — Each Unit		1.50
TEMPORARY WORK (limited to 6 months from date of permit)		
Service, Single Phase		1.00
Service, Three Phase		2.00
Wiring, 1-50 Outlets		1.00
Wiring, each additional outlet over 50		.02
Circuses, Carnivals, Fairs, etc.		10.00
MISCELLANEOUS		
Distribution Cabinet or Panel, per unit		1.00
Transformers, per unit		2.00
Air Conditioners, per unit		2.00
Signs, per unit		2.00
ADDITIONS		
5 Outlets, or less		1.00
Over 5 Outlets, Regular Wiring Rates		



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, November 13, 1947

RECEIVED
03079
NOV 14 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 94 Codman Street Use of Building Dwelling house No. Stories 2 New Building
 Existing
Name and address of owner of appliance Arthur Fraser, 94 Codman Street
Installer's name and address Augustine K. Keith, 51b Stevens Avenue Telephone 3-0652

General Description of Work

To install oil burning unit with steam heat in place of steam heat

IF HEATER, OR POWER BOILER

Location of appliance or source of heat basement Type of floor beneath appliance concrete
If wood, how protected? _____ Kind of fuel oil
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace 4'
From top of smoke pipe 5' From front of appliance over 4' From sides or back of appliance over 5'
Size of chimney flue 8x12 Other connections to same flue none
If gas fired, how vented? _____ Rated maximum demand per hour _____

IF OIL BURNER

Name and type of burner Hart Labelled by underwriter's laboratories? yes
Will operator be always in attendance? _____ Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete
Location of oil storage basement Number and capacity of tanks 1-220 gal.
If two 275-gallon tanks, will three-way valve be provided? _____
Will all tanks be more than five feet from any flame? yes How many tanks fire proofed? _____
Total capacity of any existing storage tanks or furnace burners none

IF COOKING APPLIANCE

Location of appliance _____ Kind of fuel _____ Type of floor beneath appliance _____
If wood, how protected? _____
Minimum distance to wood or combustible material from top of appliance _____
From front of appliance _____ From sides and back _____ From top of smoke pipe _____
Size of chimney flue _____ Other connections to same flue _____
Is hood to be provided? _____ If so, how vented? _____
If gas fired, how vented? _____ Rated maximum demand per hour _____

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

OK 11-13-47 Pmk

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Installer

Augustine K. Keith

INSPECTION COPY

Permit No. 47/3079

Location 94 Common St.

Owner Arthur Brainer

Date of permit 11/14/47

Approved 9-22-48 [Signature]

NOTES

1 Fill Pipe

2 Vent Pipe

3 Kind of Heat Steam

4 Burner Piping & Support

5 Name of Inspector

6 Stack

7 High Limit Control

8 Low Limit Control

9 Piping Safety Protection

10 Valves in Supply Line

11 Supply Traps

12 T & F Line Supports

13 Tank Discharge

14 Oil Line

15 Instruction Card

16

1-6-48 [Signature]

[Signature]

[Signature]

Permit No 43)
 Location 94 Codman St
 Owner E. W. Meserve
 Date of permit 1/2/43
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued

NOTES

12/3/43 - Went over fram-
 ing with Mr. Meserve.
 After much discussion
 and location he finally
 agreed to the following:
 1 - A full 4x8 header
 2 - A full 2x6 header
 3 - A full 2x6 header
 4 - A full 2x6 header
 5 - A full 2x6 header
 6 - A full 2x6 header
 7 - A full 2x6 header
 8 - A full 2x6 header
 9 - A full 2x6 header
 10 - A full 2x6 header
 11 - A full 2x6 header
 12 - A full 2x6 header
 13 - A full 2x6 header
 14 - A full 2x6 header
 15 - A full 2x6 header
 16 - A full 2x6 header
 17 - A full 2x6 header
 18 - A full 2x6 header
 19 - A full 2x6 header
 20 - A full 2x6 header
 21 - A full 2x6 header
 22 - A full 2x6 header
 23 - A full 2x6 header
 24 - A full 2x6 header
 25 - A full 2x6 header
 26 - A full 2x6 header
 27 - A full 2x6 header
 28 - A full 2x6 header
 29 - A full 2x6 header
 30 - A full 2x6 header
 31 - A full 2x6 header
 32 - A full 2x6 header
 33 - A full 2x6 header
 34 - A full 2x6 header
 35 - A full 2x6 header
 36 - A full 2x6 header
 37 - A full 2x6 header
 38 - A full 2x6 header
 39 - A full 2x6 header
 40 - A full 2x6 header
 41 - A full 2x6 header
 42 - A full 2x6 header
 43 - A full 2x6 header
 44 - A full 2x6 header
 45 - A full 2x6 header
 46 - A full 2x6 header
 47 - A full 2x6 header
 48 - A full 2x6 header
 49 - A full 2x6 header
 50 - A full 2x6 header
 51 - A full 2x6 header
 52 - A full 2x6 header
 53 - A full 2x6 header
 54 - A full 2x6 header
 55 - A full 2x6 header
 56 - A full 2x6 header
 57 - A full 2x6 header
 58 - A full 2x6 header
 59 - A full 2x6 header
 60 - A full 2x6 header
 61 - A full 2x6 header
 62 - A full 2x6 header
 63 - A full 2x6 header
 64 - A full 2x6 header
 65 - A full 2x6 header
 66 - A full 2x6 header
 67 - A full 2x6 header
 68 - A full 2x6 header
 69 - A full 2x6 header
 70 - A full 2x6 header
 71 - A full 2x6 header
 72 - A full 2x6 header
 73 - A full 2x6 header
 74 - A full 2x6 header
 75 - A full 2x6 header
 76 - A full 2x6 header
 77 - A full 2x6 header
 78 - A full 2x6 header
 79 - A full 2x6 header
 80 - A full 2x6 header
 81 - A full 2x6 header
 82 - A full 2x6 header
 83 - A full 2x6 header
 84 - A full 2x6 header
 85 - A full 2x6 header
 86 - A full 2x6 header
 87 - A full 2x6 header
 88 - A full 2x6 header
 89 - A full 2x6 header
 90 - A full 2x6 header
 91 - A full 2x6 header
 92 - A full 2x6 header
 93 - A full 2x6 header
 94 - A full 2x6 header
 95 - A full 2x6 header
 96 - A full 2x6 header
 97 - A full 2x6 header
 98 - A full 2x6 header
 99 - A full 2x6 header
 100 - A full 2x6 header

4" iron pipe columns
 at location where con-
 crete road base
 roof girders will land
 2 - 4x8 full size on 8'-6"
 span in good for 3716#
 3716 62# pipes ft
 8.5x7'

12/6/43 - Checked on this
 location and that side
 of house towards Ocean
 Ave. is only 2'-6" from
 2x6 girder indicated by iron
 pipe at corner of lot
 2x6 girder instead of 4"
 as given in plans. This
 addition will have to be
 2x6 girder 2'-6" instead of 1'-6"
 from side of building
 On the other side a set-
 back of 2' instead of 1'-6"
 will have to be made to
 allow at least 5' clearance
 from garage, this cutting
 down span left for addi-
 tion to 21'-6" instead of 22'-5"
 header. There are other
 items which Mr. Meserve
 has indicated in permit

base protection on inside
 garage and setting of base
 4'-6" from it is originally
 planned. However, Delimit
 think he would wish
 to maintain a uniform
 set-back on each side of
 2'-6" and build an addi-
 tion 21' feet wide.
 In checking plans
 closer I find that there
 are two 2x6 headers to
 be provided, the one in 1st
 story on the east and the
 one in the 2nd story on the
 west. This introduces the
 problem in 2nd story of
 support of end of girder
 beneath which which may
 be taken care of by a post
 and with the first story of
 the overhang of 2nd story
 over the porch, which
 may be taken care of by
 a properly designed
 header.
 Mr. Meserve wishes to
 have included in permit
 description of using 8" con-

crete blocks underpinning
 3 courses high instead of
 concrete wall to sill. He
 has not started on loca-
 tion of addition but
 promised weather per-
 mitting to have it done
 by last Monday morning.
 It was impossible to
 persuade him to use
 2x8-12" as form for
 girders with 4x8
 supports. - JG



Location, ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with this application.

APPLICATION FOR PERMIT TO BUILD

(3D CLASS BUILDING)

Portland Me., May 24, 1918 19

To THE INSPECTOR OF BUILDINGS:

The undersigned hereby applies for a permit to build, according to the following Specifications:—

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand.

Location 92-94 30 Godman St. Wd. 9

Name of owner is? E. W. Meserve Address 652 Congress St.

Name of mechanic is? Owner " " "

Name of architect is? " " "

Proposed occupancy of building (purpose)? private garage

If a dwelling or tenement house, for how many families? _____

Are there to be stores in lower story? _____ No. _____

Size of lot, No. of feet front? 50 ; No. of feet rear? _____; No. of feet deep? 146

Size of building, No. of feet front? 14 ; No. of feet rear? _____; No. of feet deep? 28

No. of stories, front? one ; rear? _____

No. of feet in height from the mean grade of street to the highest part of the roof? 12 ft.

Distance from lot lines, front? 50 feet; side? 8 feet; side? 25 or more; rear? 40 feet

Firestop to be used? and twelve feet from any building

Will the building be erected on solid or filled land? _____

Will the foundation be laid on earth, rock, or piles? _____

If on piles, No. of rows? _____ distance on centres? _____ length of? _____

Diameter, top of? _____ diameter, bottom of? _____

Size of posts? _____

" girts? _____

" floor timbers? 1st floor _____, 2d _____, 3d _____, 4th _____

O. C. " " " " " " " " " "

Span " " " " " " " " " "

Braces, how put in? _____

Building, how framed? _____

Material of foundation? posts thickness of? _____ laid with mortar? _____

Underpinning, material of? _____ height of? _____ thickness of? _____

Will the roof be flat, pitch, mansard, or hip? pitch Material of roofing? shingles

Will the building be heated by stoves, stoves or grates? none Will the flues be lined? _____

Will the building conform to the requirements of the law? Yes

No. of brick walls? _____ and where placed? _____

Means of egress? _____

Handwritten note: dug mud here for 375 ft. permit

PERMIT MUST BE RECEIVED BEFORE BEGINNING WORK.

If the building is to be occupied as a Tenement House, give the following particulars:

What is the height of cellar or basement? _____

What will be the clear height of first story? _____ second? _____ third? _____

State what means of egress is to be provided? _____

_____ Scuttle and stepladder to roof? _____

Estimated Cost, \$ 300.00

Signature of owner or authorized representative, E. W. Meserve

Address, _____

Plans submitted? _____ Received by? _____

APPLICANT FILL OUT I - VIII AND DETAILS OF WORK ON REVERSE
 Please insert N/A (not applicable) for any item not pertaining to your request

I. GENERAL INFORMATION

Location/address of construction 94 Codman St.
 Owner or lessee's name Bernard and MaryAnn Gordon Tel. 77-27810
 Address Same

Contractor's name Fapi And Rozano Bldrs. Tel. 772-6049
 Address 39 Vanper St. Portland, Maine 04101

Subcontractors: _____

II. NEW SUBDIVISION OR EXISTING LOT REFERENCE
 Name _____
 Lot _____
 Block _____
 BK. & pg. Reg./ deeds _____
 Date recorded _____

III. PROPOSED USE: CODE 101 If other, explain _____
 Seasonal _____ Condominium _____ Apartment _____

IV. PAST USE: _____
V. OWNERSHIP: PUBLIC (Federal/ State/ local government) _____ PRIVATE (individual/corp/nonprofit) _____

VI. DESCRIPTION OF WORK:
 Removing 14 by 20 1 story portion of building and REPLACING with new addition same size and 1 story as per plans 2 pages
 Permit to Gordons

VII. BUILDING DIMENSIONS: length 20 feet width 14 ft square footage 280 height 8-9 ft stories 1

VIII. EST. CONSTRUCTION COST: 17,180.00 **IX. GR. SQ. FT. OF LAND:** _____ **BUILDING:** _____

X. RESIDENTIAL BUILDINGS ONLY:	BEDROOMS	XI. RESIDENTIAL UNITS:
	1 BDRM. 2 BDRMS. 3 BDRMS.	
NEW DWELLING UNITS WITH:		NEW DWELLINGS
EXISTING DWELLING UNITS WITH:		EXISTING DWELLINGS
		NET RESIDENTIAL UNITS

XII. SIGNATURE OF APPLICANT: _____ **DATE:** 3/18/87

// DO NOT WRITE BELOW THIS LINE

XIII. ZONING:
 DISTRICT _____ STREET FRONTAGE _____
 SETBACKS: front _____ back _____ side _____
 ZONING BOARD APPROVAL: no yes (date) _____
 PLANNING BOARD APPROVAL: no yes (date) _____

XIV. OFFICE USE:
 TAX MAP _____
 LOT _____
 VALUE/STRUCTURE _____
 PERMIT EXPIRATION _____

XV. CONDITIONAL USE: variance _____ site plan _____ subdivision _____ shore and floodplain mgmt _____
 special exception _____ other _____ (explain) _____

XVI. SIGNATURE OF FIELD INSPECTOR (CEO): _____ **DATE:** _____

XVII. FEES:
 base fee.....
 subdivision fee.....
 site plan review fee.....
 other fees.....
 late fee.....
 TOTAL 90.00

XVIII. SPACE FOR FIGURING /ADDITIONAL COMMENTS:

1 WATER SUPPLY <input checked="" type="checkbox"/> public <input type="checkbox"/> private	8 CHIMNEY * flues * fireplaces material
2 SEWER <input checked="" type="checkbox"/> public <input type="checkbox"/> private, type	9 FRAMING floor joists size max on centers
3 HEAT type fuel	ceiling joists
4. FOUNDATION type thickness footing	rafters
5. ROOF type pitch covering load	studs
6. PLUMBING * tubs * showers * lavatories * laundry tubs * flushes * other	wall studs
SPRINKLER SYSTEM? <input type="checkbox"/> yes <input type="checkbox"/> no	10. If 1-story building w/ masonry walls. wall thickness height
7. ELECTRICAL service entrance size * smoke detectors	11. BEDROOM WINDOWS height width sill height egress window? <input type="checkbox"/> yes <input type="checkbox"/> no
NUMBER OF OFF-STREET PARKING SPACES enclosed outdoors	

PLOT PLAN/DETAILS OF WORK ON REVERSE
 White - Municipal Office
 Green - Applicant
 Yellow - CEO
 Pink - Tax Assessor
 Gray - GPCUG



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, April 23, 1957

PERMIT ISSUED

MAY 1 1957

City Of Portland

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 27-11 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted hereunto, and the following specifications:

Location 54 Colver St. Within Fire Limits? Dist. No.

Owner's name and address Burnard & Corson Mary Ann Corson Telephone 772-7310

Lessee's name and address Telephone

Contractor's name and address D. Appl. & Son, 1079, Oak St. Portland Telephone 772-5049

Architect Plans filed No. of sheets

Proposed use of building dwellling with open sun-deck No. families 1

Last use SAR No. families

Increased cost of work none Additional fee none

Description of Proposed Work

To construct 200 sq ft open sun deck side and back of dwelling as per plans permit fee was paid for on original permit, but deck was not included in plans

send permit to 31

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

Approved:

Signature of Owner

INSPECTION COPY

Approved:

Inspector of Buildings

FILE COPY

APPLICANT'S COPY

PERMIT ISSUED WITH LETTER

ASSESSOR'S COPY

BERNARD & MARY ANN GOLDEN
94 CODMAN ST
PORTLAND, ME,

← CODMAN ST →

94 CODMAN

MAIN
PART
OF
HOUSE

RECEIVED

MAR 18 1987

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

ADDITION
TO
BE
REPLACED

Approx
4'
12"
5'

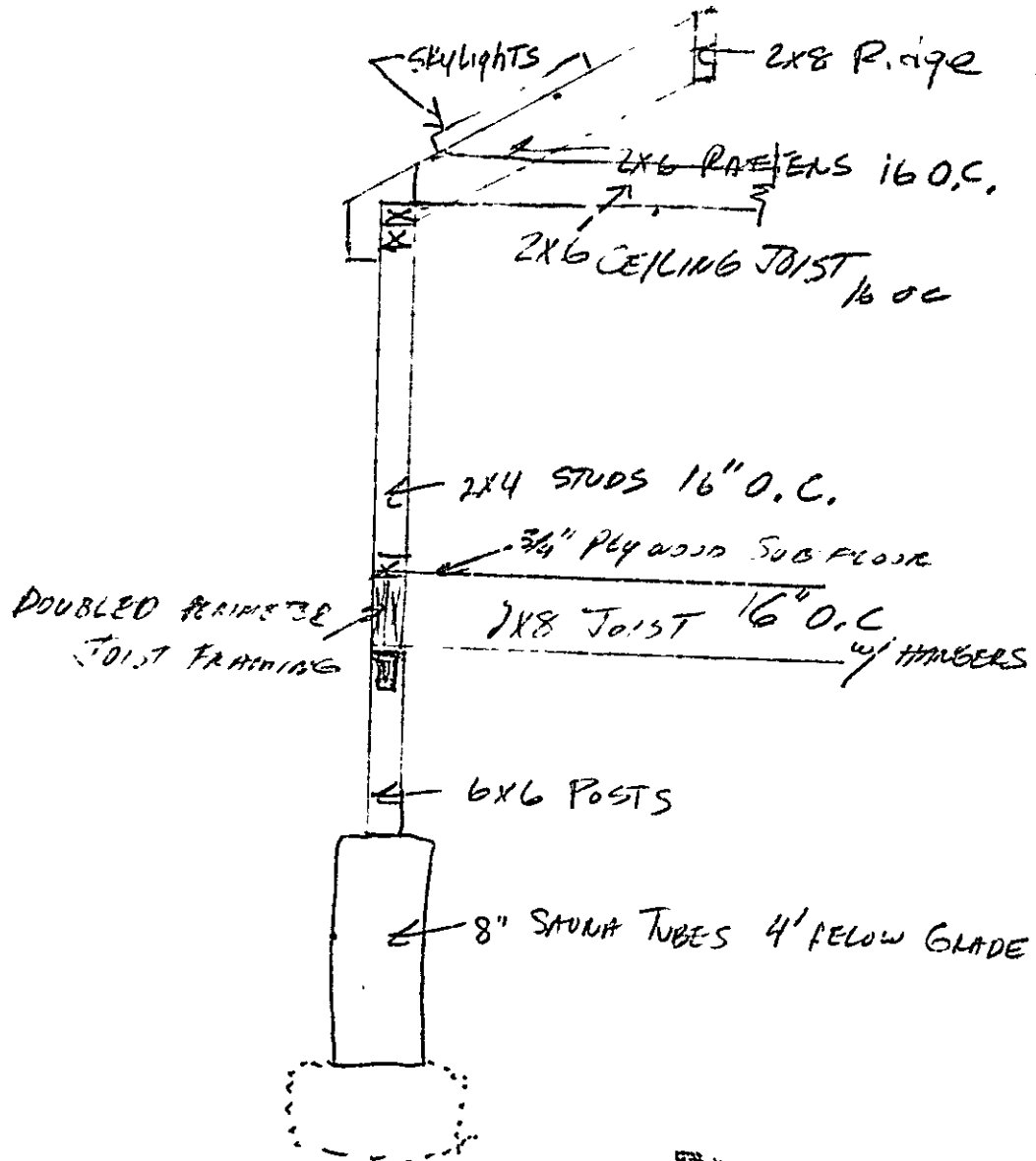
THIS HOUSE WAS BUILT
BEFORE
JUNE 5, 1957

SEC 14-436
(FOR SIDE LOT MINIMUM)

RECEIVED

MAR 18 1987

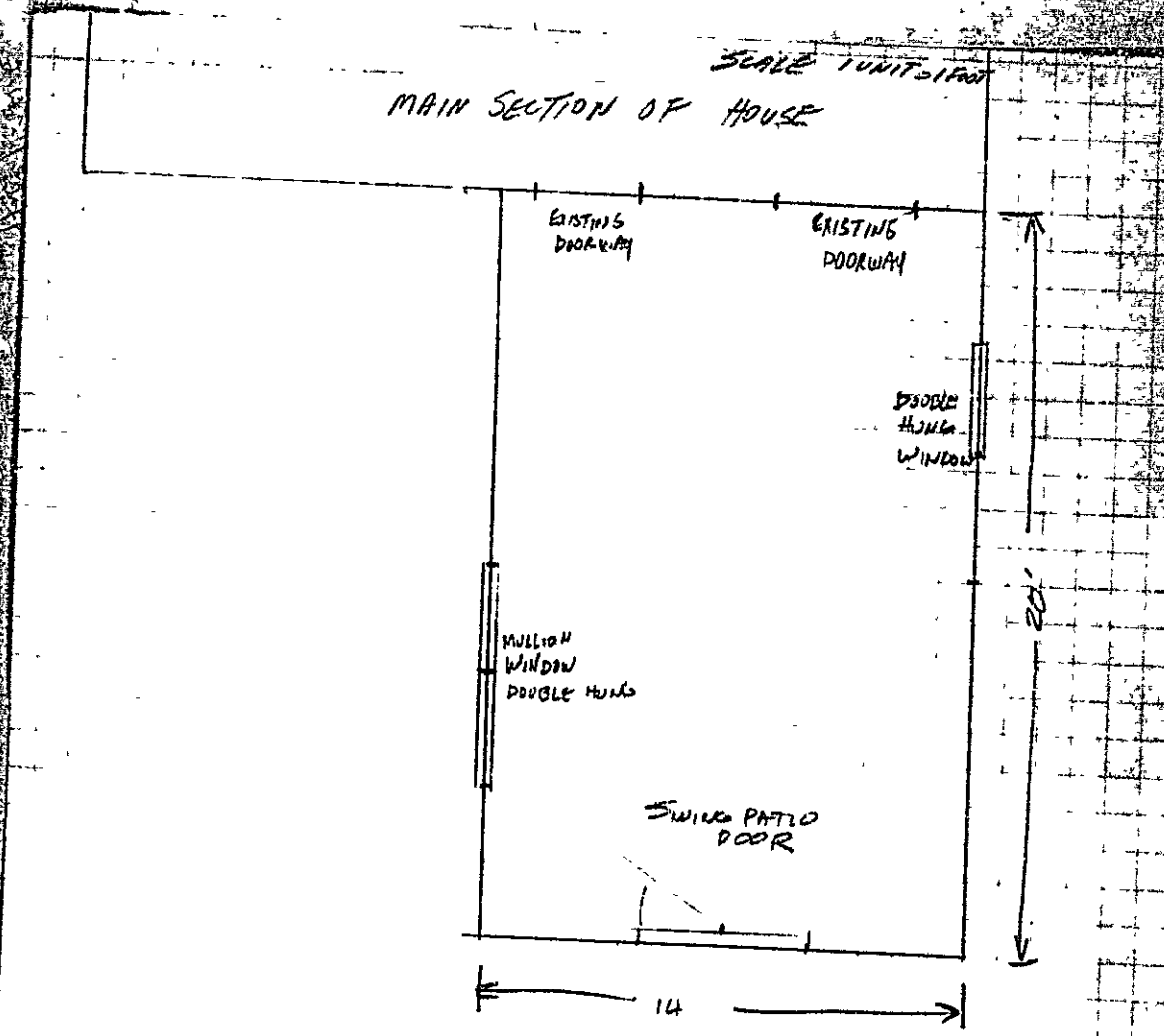
GREATER
THAN DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND
25'



RECEIVED

MAR 18 1987

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND



PROPOSED ALTERATION OF EXISTING ADDITION

PLAN VIEW

RECEIVED

MAR 1 8 1987

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

BERNARD & MARY ANN GOLDON
94 CODMAN ST
PORTLAND, ME

B



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

March 19, 1987

Re: 94 Codman Street

Bernard & Mary Gordon
94 Codman Street
Portland, Maine 04103

Dear Mr. & Mrs. Gordon,

Your application to remove a 14' X 20', 1 story portion of building and replace with new addition same size has been reviewed and a building permit is herewith issued subject to the following requirement.

Your plan shows the additon on 8" sono tubes 4" below grade. If this type of foundation isn't already being used for the existing structure, the sono tube must rest on a footing with an anchor between the two. I also strongly recommend that this addition be placed on an 8" frost wall.

If you have any questions on these requirements, please call this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

/el

I. GENERAL INFORMATION

Location/address of construction 94 Codman St.
 Owner or lessee's name Bernard and MaryAnn Gordon Tel. 77-27810
 Address Same

Contractor's name Papi and Romano Bldrs. Tel. 772-6049
 Address 39 Vesper St. Portland, Maine 04101

Subcontractors: _____
PERMIT ISSUED
MAR 20 1987

II: NEW SUBDIVISION OR EXISTING	
LOT REFERENCE	
Name	
Lot	
Block	
Plat & po. Reg./ deed	
Date recorded	

III. PROPOSED USE: JOE Other Seasonal Condominium Apartment

IV. PAST USE: 101

V. OWNERSHIP: PUBLIC (Federal/State/local government) PRIVATE (Individual/corp/partnership)

VI. DESCRIPTION OF WORK:
 Removing 14 by 20 1 story portion of building and REPLACING with new addition same size and 1 story as per plans 2 pages
 Permit to Gordons

VII. BUILDING DIMENSIONS: length 20 feet width 14 ft square footage 280 height 8-9 ft #stories 1

VIII. EST. CONSTRUCTION COST: 14,000 **IX. GR. SQ. FT. OF LAND:** _____ **X. BUILDING:** _____

X. RESIDENTIAL BUILDINGS ONLY:	BEDROOMS	XI. RESIDENTIAL UNITS
NEW DWELLING UNITS WITH:	1 BDRM 2 BDRMS 3 BDRMS	NEW DWELLINGS
EXISTING DWELLING UNITS WITH:		EXISTING DWELLINGS
		NET RESIDENTIAL UNITS

XII. SIGNATURE OF APPLICANT: Joseph Papi DATE: 1/18/87
DO NOT WRITE BELOW THIS LINE

XIII. ZONING: DISTRICT R-3 STREET FRONTAGE _____
 SETBACKS: front _____ back _____ side _____
 ZONING BOARD APPROVAL: no yes (date) _____
 PLANNING BOARD APPROVAL: no yes (date) _____

XIV. OFFICE USE:
TAX MAP
LOT
VALUE/STRUCTURE
PERMIT EXPIRATION

XV. CONDITIONAL USE: variance _____ site plan _____ subdivision _____ shore and floodplain mgmt _____
 special exception _____ other _____ (explain) _____

XVI. SIGNATURE OF FIELD INSPECTOR (CEO): _____ DATE: _____

XVII. FEES:

base fee
subdivision fee
site plan review fee
other fees
late fee
TOTAL	90.00

XVIII. SPACE FOR FIGURING /ADDITIONAL COMMENTS:
O.K. M.J.T. March 18, 1987

1 WATER SUPPLY <input checked="" type="checkbox"/> public <input type="checkbox"/> private	8 CHIMNEY * flues * fireplaces	PLOT PLAN/DETAILS OF WORK ON REVERSE White - Municipal Office Green - Applicant Yellow - CEO Pink - Tax Assessor Gold - GPCUG
2 SEWER <input checked="" type="checkbox"/> public <input type="checkbox"/> private, type	material	
3. HLAT type fuel	9. FRAMING floor joists	
4. FOUNDATION type	size max on centers	
5. ROOF type thickness footing covering pitch load	ceiling joists	
6. PLUMBING * tubs * showers * lavatories * laundry tubs * flushes * other	rfters	
SPRINKLER SYSTEM? <input type="checkbox"/> yes <input type="checkbox"/> no	studs	
7. ELECTRICAL service entrance size * smoke detectors	wall studs	
NUMBER OF OFF-STREET PARKING SPACES: enclosed outdoors	10. If 1-story building w/ masonry walls: wall thickness height	
	11. BEDROOM WINDOWS height egress	

9 MAR WILLIAMS

PERMIT ISSUED WITH LETTER **PERMIT ISSUED WITH LETTER**

Property Line

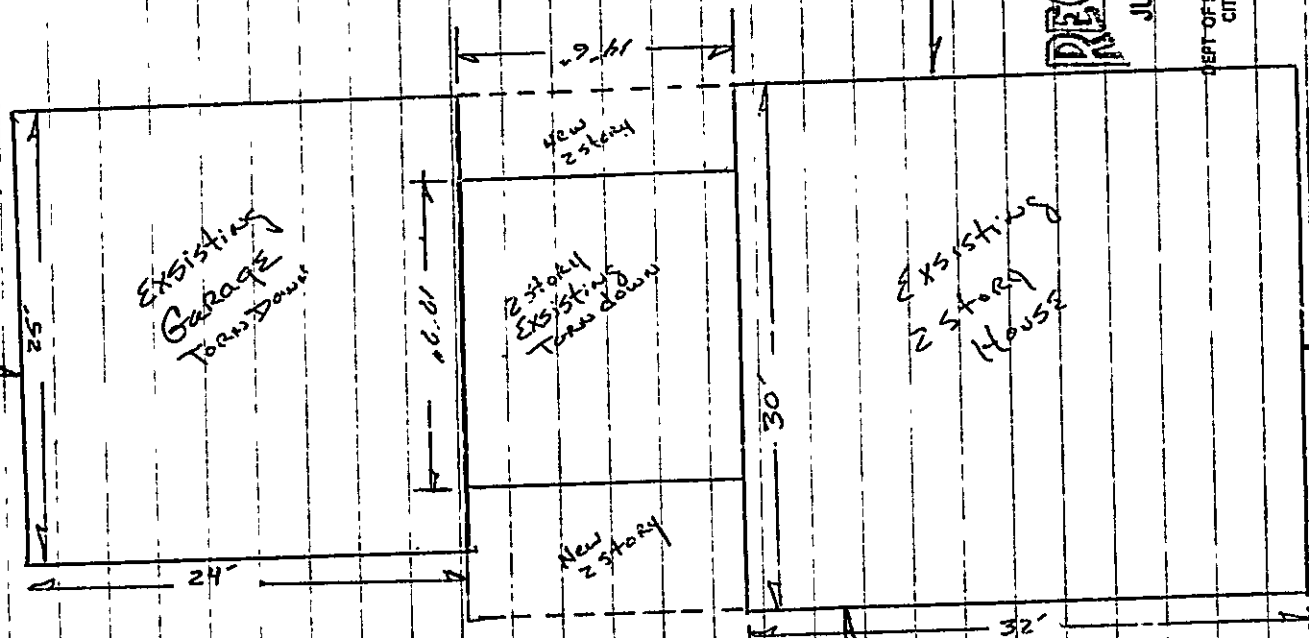
New Addition is marked
In Red ink all lines
marked with Blue pen
are Existing Building Lines.

RECEIVED

JUN - 4 1936

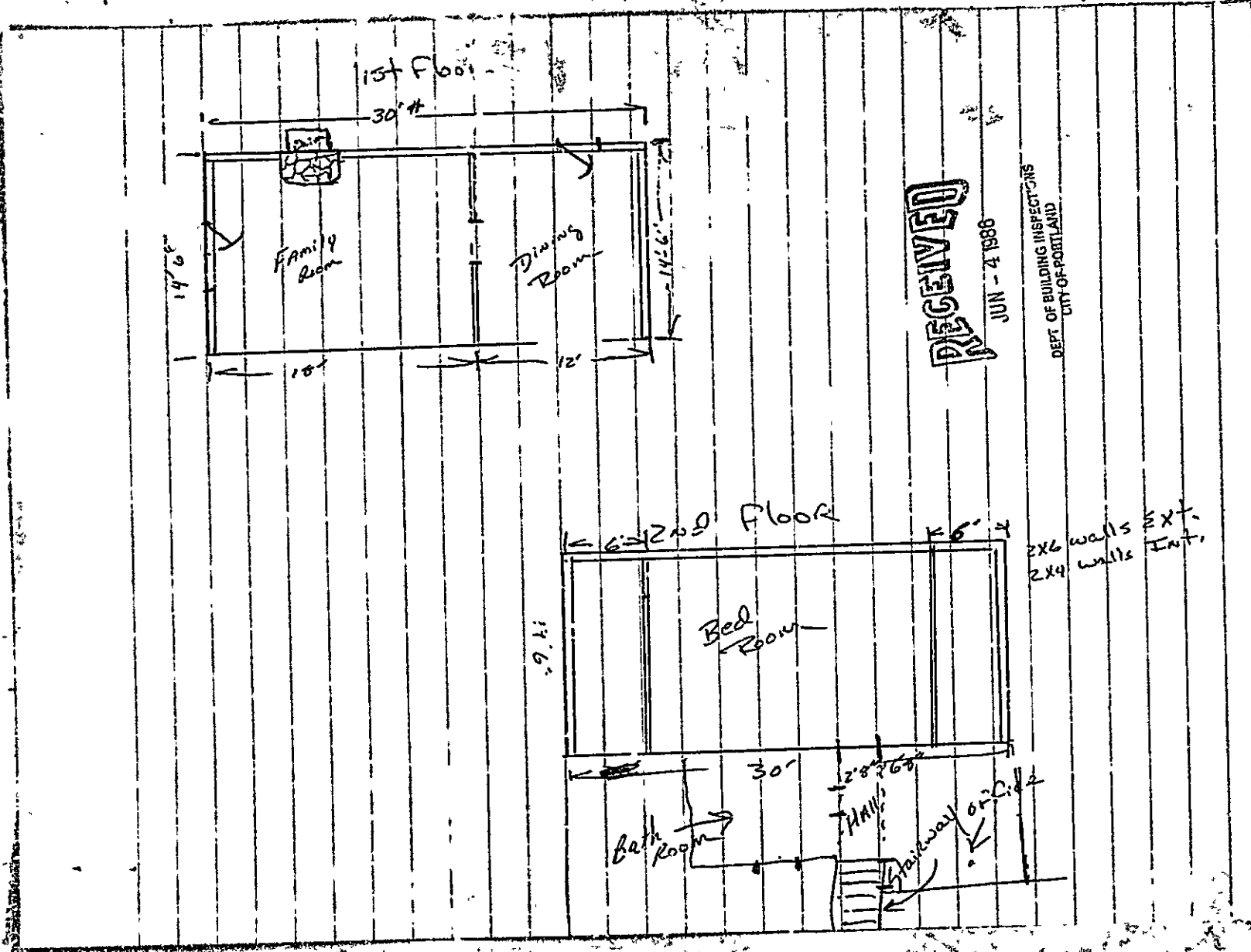
DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

Property Line



Norwood St.

Concord St.



RECEIVED

JUN - 4 1986

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

James Lindvall

Material list Lindvall Job 24 Concord Portland

50 2x6x10	
20 2x6x16	1 5' ATRIAN Door
32 1/2 OSB	1 2'-8" x 6'-8" 15 Light French Door
6 Square Shingles "Asphalt"	3 2'-9" x 4'-1" Double Hung Insul.
24 16" 2x10 Rafters	2 IPS 6 Velux Skylights w/ E-type Packing
50 16" 2x12 Joists	2 1'-8" x 4'-0" Awning Windows
30 3/4 plywood T&G	60' of 8" Thick 4' high Frostwalls
1200 sq. of sheet Rock 1/2"	with 8" Thick 16" wide Footings
10 10' 2x8 headers	10'-4" Perforated Drain Pipe
1 Roll Tyvek	Header for Clear Story
200' of 1x4 Base	3-2x12 laminated with 1/2 steel
200' of 1" T&G windows	Plate Bolted straight through
64' of 1x8 exterior trim	1/2" x 6" Bolts staggered
128' of 1x4 " "	1/2 steel
50 lbs 16 Penny Common	
50 lbs 5 " "	
50 lbs 1/4 Roofing Nails	

Total materials and Cost of Job Approximately 22,000

RECEIVED

JUN - 4 1986

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND



APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Third Class

Portland, Maine, November 20, 1913

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure ~~equipment~~ in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 91 Codman Street Within Fire Limits? no Dist. No. _____
 Owner's or Lessee's name and address Edwin W. Meserve, 10 Yarnum Street Telephone 2-1148
 Contractor's name and address Owner Telephone _____
 Architect _____ Plans filed yes No. of sheets 2
 Proposed use of building dwelling house No. families 2
 Other buildings on same lot garage
 Estimated cost \$ 1,500. Fee \$ 3.75

Description of Present Building to be Altered

Material wood No. stories 2 Heat steam Style of roof mansard Roofing asphalt
 Last use dwelling house No. families 1

General Description of New Work

To Change Use of building to two family dwelling house - one on each floor
 To remove existing one story addition 14' x 12' on rear of building, also platform
 To build two story addition 14' x 22' with piazza 6' x 14' at second floor level and
 piazza 16' x 5', 1st story 4x6 posts - 8' pl
 To cut in new door to front entrance porch and divide front hall 2x4 studs 16" OC
 new bathroom, 1st floor in existing room, existing window
 New door on each floor to new addition
 To rebuild rear chimney

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes
 Is any electrical work involved in this work? yes Height average grade to top of plate _____
 Size, front _____ depth _____ No. stories 2 Height average grade to highest point of roof 21'6"
 To be erected on solid or filled land? solid earth or rock? earth
 Material of foundation concrete Thickness, top 10" bottom 12" cellar yes
 Material of underpinning " cell Height _____ Thickness _____
 Kind of roof flat Rise per foot 1" Roof covering Tar and gravel 5 ply
 No. of chimneys 1 Material of chimneys brick of lining tile
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing lumber, Kind fir or hemlock Dressed or full size? dressed
 Corner posts 2x4 Sills 2x6 Bolted every 6' to concrete
 Material columns under girders iron column Size 4" Max. on centers 8'
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 3 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor 2x8, 2nd 2x8, 3rd _____, roof 2x6
 On centers: 1st floor 16", 2nd 16", 3rd _____, roof 2'
 Maximum span: 1st floor 14', 2nd 14', 3rd _____, roof 7'
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner E W Meserve

INSPECTION COPY

4-2884



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date April 27, 19 87
 Receipt and Permit number D 09337

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK. 95 94 Codman St.

OWNER'S NAME: Bernie Gordon ADDRESS: lives there

	FEES
OUTLETS:	
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL <u>1-30</u>	3.00
FIXTURES: (number of)	
Incandescent <u>8</u> Fluorescent _____ (not strip) TOTAL _____	3.00
Strip Fluorescent _____ ft. _____	
SERVICES:	
Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____	
METERS: (number of) _____	
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) _____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____ Water Heats _____	
Cook Tops _____ Disposals _____	
Wall Ovens _____ Dishwashers _____	
Dryers _____ Compactors _____	
Fans _____ Others (denote) _____	
TOTAL _____	
MISCELLANEOUS (number of)	
Branch Panels _____	
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
	INSTALLATION FEE DUE: _____
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE	_____
FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE	_____
	TOTAL AMOUNT DUE: <u>6.00</u>

INSPECTION:

Will be ready on 5-1-87, 1987; or Will Call _____

CONTRACTOR'S NAME: Hannan, s Electric

ADDRESS: 51 Lawn Ave. So. Port

TEL.: 767-2471

MASTER LICENSE NO.: 2885 SIGNATURE OF CONTRACTOR: _____

LIMITED LICENSE NO.: _____ Larry Hannan

INSPECTOR'S COPY — WHITE

OFFICE COPY — CANARY

CONTRACTOR'S COPY — GREEN



APPLICATION FOR AMENDMENT TO PERMIT

PERMIT ISSUED

MAY 1 1987

Amendment No. # 1

Portland, Maine, April 28, 1987 City of Portland

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 87-241 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location . 94 Codman St. Within Fire Limits? Dist. No.

Owner's name and address Bernard & MACKEN Mary Ann Gordon - same Telephone 772-7810.

Lessee's name and address Telephone

Contractor's name and address Papi & Roman Bldgs. - Box 1079 04104 Telephone 772-6049

Architect Plans filed No. of sheets

Proposed use of building dwelling with open sun deck No. families 1

Last use . same No. families

Increased cost of work NONE Additional fee . ~~None~~ NONE

Description of Proposed Work

to construct 200 sq ft open sun deck side and back of dwelling as per plans permit fee was paid for on original permit, but deck was not included in plans

send permit to # 1

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or fill'd land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-18" O. C. Bridging in every floor and flat roof span over 8 feet.

Joist and rafters: 1st floor , 2nd , 3rd , roof

On centers: 1st floor , 2nd , 3rd , roof

Maximum span: 1st floor , 2nd , 3rd , roof

Approved:

R-3 Zone *W.D. Turner* *Apr 28, 1987* Signature of Owner

Existing Bldg Extension Approved: *[Signature]* Inspector of Buildings

INSPECTION COPY

FILE COPY

APPLICANT'S COPY

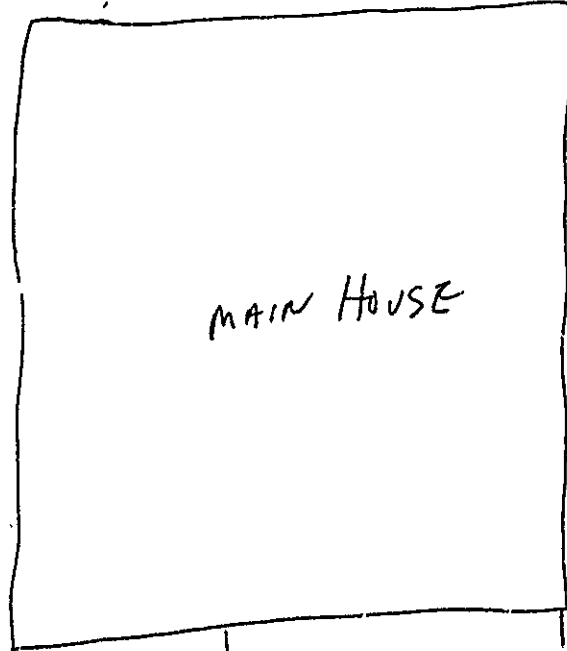
ASSESSOR'S COPY

Bldg moved there in 1980 Deck was replaced w/ bldg addition under ch. 14-436 of Ordinance

PERMIT ISSUED WITH LETTER

94 CODMAN ST

OWNERS: BERNARD & MARY ANN S
GOLDMAN
PORTLAND, ME.



25'

8'

12'

20'

50'

AMENDMENT FOR
D. E.

RECEIVED

APR 28 1987

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

PERMIT ISSUED
WITH LETTER

BERNARD J. MINTHAM GORDON 94 COOMAN ST
PORTLAND

SPECIFICATIONS FOR DECK:

- ✓ 8" SOND TUBE 4' BELOW GRADE W/ FOOTINGS
& ANCHOR BOLTS
- ✓ JOIST TO BE 2X8" SPRUCE
- ✓ ^{STAIRS} DECKING TO BE 5/4" SPRUCE
- ✓ TRIM TO BE PINE

RECEIVED

APR 28 1987

DEPT OF BUILDING INSPECTIONS
CITY OF OREGON

PERMIT ISSUED
WITH LETTER

SECTION 827.0 GUARDS

827.1 General: Where required by the provisions of Sections 609.2.4, 617.7, 815.5, 816.5, 825.5 and 1310.5 guards shall be constructed in accordance with the requirements of this section.

827.2 Height: The guards shall be at least 42 inches (1067 mm) in height measured vertically above the leading edge of the tread or adjacent walking surface.

Exceptions

1. Guards shall be not less than 30 inches (762 mm) in height above the leading edge of the tread along stairs which are not more than 20 feet (6096 mm) in height or which reverse direction at an intermediate landing with 12 inches (305 mm) or less measured horizontally between successive flights.
2. Guards in buildings of Use Group R-3 shall be not less than 36 inches (914 mm) in height.

827.3 Construction: Open guards shall have intermediate rails, balusters or other construction such that a sphere with a diameter of 6 inches (152 mm) cannot pass through any opening.

Exception: In buildings of Use Groups F, H or S, the construction shall not permit a sphere with a diameter of 14 inches (356 mm) to pass through any opening.

827.4 Design load: Guards shall be designed to resist a simultaneous vertical and horizontal thrust of 50 pounds per lineal foot (74.45 kg/m) applied at the top railing. Guards of reviewing stands, grandstands, bleachers and similar assembly structures shall be capable of resisting a lateral force of 50 pounds per lineal foot (74.45 kg/m) and sustaining a vertical load of 100 pounds per lineal foot (148.9 kg/m).

29 / APR / 87
Huffer

SECTION 827.0 GUARDS

827.1 General: Where required by the provisions of Sections 609.2.4, 617.7, 815.5, 816.5, 825.5 and 1310.5 guards shall be constructed in accordance with the requirements of this section.

827.2 Height: The guards shall be at least 42 inches (1067 mm) in height measured vertically above the leading edge of the tread or adjacent walking surface.

Exceptions

1. Guards shall be not less than 30 inches (762 mm) in height above the leading edge of the tread along stairs which are not more than 20 feet (6096 mm) in height or which reverse direction at an intermediate landing with 12 inches (305 mm) or less measured horizontally between successive flights.
2. Guards in buildings of Use Group R-3 shall be not less than 36 inches (914 mm) in height.

827.3 Construction: Open guards shall have intermediate rails, balusters or other construction such that a sphere with a diameter of 6 inches (152 mm) cannot pass through any opening.

Exception: In buildings of Use Groups F, H or S, the construction shall not permit a sphere with a diameter of 14 inches (356 mm) to pass through any opening.

827.4 Design load: Guards shall be designed to resist a simultaneous vertical and horizontal thrust of 50 pounds per lineal foot (74.45 kg/m) applied at the top railing. Guards of reviewing stands, grandstands, bleachers and similar assembly structures shall be capable of resisting a lateral force of 50 pounds per lineal foot (74.45 kg/m) and sustaining a vertical load of 100 pounds per lineal foot (148.9 kg/m).

29 / APR / 87
Riffen

SECTION 827.0 GUARDS

827.1 General: Where required by the provisions of Sections 609.2.4, 617.7, 815.5, 816.5, 825.5 and 1310.5 guards shall be constructed in accordance with the requirements of this section.

827.2 Height: The guards shall be at least 42 inches (1067 mm) in height measured vertically above the leading edge of the tread or adjacent walking surface.

Exceptions

1. Guards shall be not less than 30 inches (762 mm) in height above the leading edge of the tread along stairs which are not more than 20 feet (6096 mm) in height or which reverse direction at an intermediate landing with 12 inches (305 mm) or less measured horizontally between successive flights.
2. Guards in buildings of Use Group R-3 shall be not less than 36 inches (914 mm) in height.

827.3 Construction: Open guards shall have intermediate rails, balusters or other construction such that a sphere with a diameter of 6 inches (152 mm) cannot pass through any opening.

Exception: In buildings of Use Groups F, H or S, the construction shall not permit a sphere with a diameter of 14 inches (356 mm) to pass through any opening.

827.4 Design load: Guards shall be designed to resist a simultaneous vertical and horizontal thrust of 50 pounds per lineal foot (74.45 kg/m) applied at the top railing. Guards of reviewing stands, grandstands, bleachers and similar assembly structures shall be capable of resisting a lateral force of 50 pounds per lineal foot (74.45 kg/m) and sustaining a vertical load of 100 pounds per lineal foot (148.9 kg/m).

29 / APR / 87
Riffen

SECTION 827.0 GUARDS

827.1 General: Where required by the provisions of Sections 609.2.4, 617.7, 815.5, 816.5, 825.5 and 1310.5 guards shall be constructed in accordance with the requirements of this section.

827.2 Height: The guards shall be at least 42 inches (1067 mm) in height measured vertically above the leading edge of the tread or adjacent walking surface.

Exceptions

1. Guards shall be not less than 30 inches (762 mm) in height above the leading edge of the tread along stairs which are not more than 20 feet (6096 mm) in height or which reverse direction at an intermediate landing with 12 inches (305 mm) or less measured horizontally between successive flights.
2. Guards in buildings of Use Group R-3 shall be not less than 36 inches (914 mm) in height.

827.3 Construction: Open guards shall have intermediate rails balusters or other construction such that a sphere with a diameter of 6 inches (152 mm) cannot pass through any opening.

Exception: In buildings of Use Groups F, H or S, the construction shall not permit a sphere with a diameter of 14 inches (356 mm) to pass through any opening.

827.4 Design load: Guards shall be designed to resist a simultaneous vertical and horizontal thrust of 50 pounds per lineal foot (74.45 kg/m) applied at the top railing. Guards of reviewing stands, grandstands, bleachers and similar assembly structures shall be capable of resisting a lateral force of 50 pounds per lineal foot (74.45 kg/m) and sustaining a vertical load of 100 pounds per lineal foot (148.9 kg/m).

29 / APR / 87
Riffen