72-76 CODMAN STREET

SHAW WALKER

9203-1R

APPLICATION FOR PERMIT

PERMIT ISSUED
JUN 30 1980
CITY of PORTLAND

B.O.C.A. USE GROUP .....
B.O.C.A. TYPE OF CONSTRUCTION .....467.....

ZONING LOCATION _____ PORTLAND, MAINE, June 27, 1980

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ...74 Codman St..... Fire District #1 ☐, #2 ☐
1. Owner's name and address .. John Austin - same ..... Telephone ..773-9725
2. Lessee's name and adddress ..... Telephone .....
3. Contractor's name and Owner ..... Telephone .....
4. Architect ..... Specifications ..... Plans ..... No. of sheets .....

Proposed use of building ..dwelling with open sun deck..... No. families ...1.....
Last use ... .dwelling..... No. families .....1.....
Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....
Other buildings on same lot .....
Estimated contractural cost $ ~~xxxxxx~~ 750.00 Fee $....5.50....

FIELD INSPECTOR—Mr. ..... @ 775-5451 Ext. 234

This application is for:
Dwelling .....
Garage .....
Masonry Bldg. .....
Metal Bldg. .....
Alterations .....
Demolitions .....
Change of Use .....
Other .....

GENERAL DESCRIPTION

To construct open sun deck, 14 x 22 on rear of dwelling as per plans. to set on 9 in sona tubes, 4 ft. below grade.

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1☒ 2☐ 3☐ 4☐
Other: .....

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....
Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....
Has septic tank notice been sent? ..... Form notice sent? .....
Height average grade to top of plate ..... Height average grade to highest point of roof .....
Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....
Material of foundation ..... Thickness, top ..... bottom ..... cellar .....
Kind of roof ..... Rise per foot ..... Roof covering .....
No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....
Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....
Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....
On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....
Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....
If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ...., to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: *DATE*
BUILDING INSPECTION—PLAN EXAMINER .....
ZONING: .....
BUILDING CODE: .....
Fire Dept.: .....
Health Dept.: .....
Others: .....

MISCELLANEOUS
Will work require disturbing of any tree on a public street? ..
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Signature of Applicant John Austin ..... Phone # ....same.....
Type Name of above ....John Austin..... 1 ☒ 2 ☐ 3 ☐ 4 ☐
Other .....
and Address .....

FIELD INSPECTOR'S COPY

Permit No. 80-1467

Location [illegible]

Owner [illegible]

Date of permit [illegible]

Approved [illegible]

NOTES

July 16th, 1980

Completed;

APPLICATION FOR PERMIT

PERMIT ISSUED
JUL 26 1976
CITY of PORTLAND

B.O.C.A. USE GROUP .....
B.O.C.A. TYPE OF CONSTRUCTION .....0662..
ZONING LOCATION_____ PORTLAND, MAINE, July 23, 1976

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 74 CODMAN ST

1. Owner's name and address SAME ..... Fire District #1 ☐, #2 ☐
2. Lessee's name and address ..... Telephone .....
3. Contractor's name and address HAROLD J FREEMAN INC P.O. BOX861 ..... Telephone .....
4. Architect ..... Telephone .....

Proposed use of building Dwelling house ..... Specifications ..... Plans ..... No. of sheets .....
Last use ..... No. families .....
Material ..... No. stories 1 1/2 ..... Heat ..... Style of roof ..... No. families .....
Other buildings on same lot ..... Roofing .....
Estimated contractural cost $. 1000.0...

FIELD INSPECTOR—Mr. Irving @ 775-5451 Ext. 234 ..... Fee $. ~~2000x000x~~ 5.00

This application is for:
Dwelling .....
Garage .....
Masonry Bldg. .....
Metal Bldg. .....
Alterations .....
Demolitions .....
Change of Use .....
Other .....

GENERAL DESCRIPTION

Repair after fire to original. Ceilings and walls.

Est,Cost 1000.000

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1☐ 2☐ 3☐ 4☐
Other: .....

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....
Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....
Has septic tank notice been sent? ..... Form notice sent? .....
Height average grade to top of plate ..... Height average grade to highest point of roof .....
Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....
Material of foundation ..... Thickness, top ..... bottom ..... cellar .....
Kind of roof ..... Rise per foot ..... Roof covering .....
No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....
Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....
Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....
On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....
Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....
If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ....., to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: *DATE*
BUILDING INSPECTION—PLAN EXAMINER .....
ZONING: .....
BUILDING CODE .....
Fire Dept.: .....
Health Dept.: .....
Others: .....

RECEIVED
JUL 23 1976
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

MISCELLANEOUS

Will work require disturbing of any tree on a public street? ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Signature of Applicant Harold J. Freeman
Type Name of above ..... Phone # 775-6145

FIELD INSPECTOR'S COPY

Other ..... 1☐ 2☐ 3☐ 4☐
and Address .....

Permit No. 76-1066

Location 74 Coldman

Owner Harold J. Fessner

Date of permit 7/26/76

Approved

NOTES

8/12/76

R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
1112
NOV 5 1969
CITY of PORTLAND

Class of Building or Type of Structure _____

Portland, Maine, November 5 1969

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 74 Cadman Street, Portland Within Fire Limits? _____ Dist. No. _____

Owner's name and address Salvation Army Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address Maine Shawnee Step Co., Inc. Auburn Telephone _____

Architect _____ Specifications _____ Plans _____ No. of sheets _____

Proposed use of building Dwelling No. families 1

Last use _____ No. families _____

Material _____ No. stories 2 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost $ 335.00 Fee $ 3.00

General Description of New Work

FRONT Shawnee Step - 6' wide, 3 risers, 42" platform. Ht=22½", Proj=62"

To replace old brick steps, approximate same size.
Foundation - existing poured concrete.

According to standard Shawnee plan. Approved by R. I.Perry,
Structional Engineer filed in the Building Department. 8/15/57.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractors

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber–Kind _____; Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

OK. RWD 11/5/69

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Maine Shawnee Step Co. Inc.

CS 201

INSPECTION COPY

Signature of owner by: R Farrow

MAINE SHAWNEE STEP CO INC.
902 MINOT AVENUE
AUBURN, MAINE

7M

Permit No. 69/1112

Location 714 Coleman St.

Owner Salvation Army

Date of permit 11/5/69

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

11-6-69 Authorized

11-25-69 Potential

2-11-70 Completed

May 29th

Dear Mr. Sears:

I was somewhat surprised that you still seemed to be having complaints and just wonder what the nature of it can be.

I am not in Portland too often but would like to talk with you or have a letter regarding the nature of problem.

To my knowledge there are never more than 3 cars parked on the lot and within the regulations.....and not more than two paying roomers at any time and not but one all of the time.

Once in a great while I drive from Winthrop and stay over.

Please contact me via letter if you seem to have any further problems about the matter and inform me of any steps taken. Frankly, I believe it is the next door neighbor making accusations on no grounds but not liking cars of occupants parked adjoining his lot but allowing the 5' requirement.

Sincerely,

Richard O. Doten

Richard O. Doten
Box 267
Winthrop, Maine

Inquiry - 74 Codman Street

May 25, 1959

Mr. Richard O. Doten
Winthrop High School
Winthrop, Maine

Dear Mr. Doten:

In answer to your inquiry concerning the possibility of building a small single family dwelling on the lot at the above named location on which there is already located a one family dwelling, the property is located in an R-3 Residence Zone where only one single family dwelling is allowable on a lot and where a minimum lot area of 6500 square feet is required per family. Thus what you propose would be unlawful under the Zoning Ordinance. There are also requirements as to yard spaces which probably could not be met.

Incidentally, you will doubtless recall our conversation as to the manner in which the existing building may lawfully be used and the limitation as to number of motor vehicles which may be parked lawfully on the lot at any one time. We are still having complaints from the neighborhood as to the use of the building and the off-street parking in connection therewith. To refresh your memory, it is not lawful to have more than two lodgers in the building, a certificate of occupancy for such a so-called home occupation having been issued by this department. Off-street parking on the lot is limited to not more than three motor vehicles at any one time, of which only one may be a commercial motor vehicle. It is not permissible to have such parking located closer to the street line than 25 feet and, if it is located closer than 50 feet to the street, it must be kept at least 5 feet from the side lot line. If you have not already done so, you should inform the tenants of the building as to these limitations and instruct them to comply with the requirements of the Zoning Ordinance. If investigation of continued complaints shows them to be justified, it may become necessary for this department to take unpleasant steps to ensure compliance with Zoning Ordinance requirements.

Very truly yours,

Albert J. Sears
Inspector of Buildings

AJS:m

ICSA - 10-15
72-76 Codman

May 20th

Gentlemen:

Kindly write me advising me what regulations there are on the area of #74 Codman Street if later on I should consider plans for building a one story building on the rear part of the lot owned by me.

This building would be used for occupation by myself--consisting of a small 3-4 room single house.

Sincerely,

Richard O. Doten

Richard O. Doten
Winthrop High School
Winthrop, Maine

Please write me % the school.

B3 RESIDENCE ZONE

CITY OF PORTLAND, MAINE

DEPARTMENT OF BUILDING INSPECTION

COMPLAINT

CS-66

Location: 74 Codman Street

INSPECTION COPY

COMPLAINT NO. 57/69 Date Received 8/2/57

A-14-15

Location 74 Codman Street 72-76 Use of Building

Owner's name and address Richard Doten, 74 Codman St. Telephone 4-8009

Tenant's name and address Telephone

Complainant's name and address William Cohen, 21 Codman St. Telephone ~~3-6817~~

Description: Changing from single family dwelling to a two family dwelling

NOTES: 8/9/57 – Spoke to a tenant she says that Mr. Doten will not be in until evening. Stand will be to inspect in. – Allen

8/9/57 – Left word for Mr. Doten to call me by phone – Allen

8/12/57 – Mr. Doten is away until Wednesday. He will call on Wednesday. – Allen

8/14/57 – Not doing any work that a permit is needed for – Housekeeping only at present. Mr. Doten lives in Winthrop, Maine. Plans to rent a room to an other person. – Allen

1/20/58 Neighbors says building been used for 1 fam. dwelling and at least 3 lodgers. 3 cars have parked in driveway and on street. –

1/21/59 – Unable to get in. 4 cars have been parked here. 1 in garage & 3 on the lawn – Allen

1/22/59 – Unable to get in. – Allen

1/23/59 – Unable to get in – Allen

1/26/59 – Unable to get in. Tried after 5 P.M. – Allen

1/27/59 – Called here in the evening about 7 P.M. Two cars here. One in garage. Talked to someone staying here. She said, Mr. Doten doesn't live here and doesn't come near the place. She didn't know how many lodgers there were staying here. – Allen

1/28/59 – Letter to owner – AJS

2/5/59 – Certificate of occupancy for 2 lodgers issued

January 28, 1959

Cplt. 57/69 72-76 Codman Street

Mr. Richard O. Doten
74 Codman Street

Dear Mr. Doten:

It has been reported to this department that quarters for three or more lodgers are being provided in the single family dwelling at the above named location, of which you are reported to be the owner. If this is true, such a use is not lawful under the Zoning Ordinance in the R-3 Residence Zone in which the property is located and must be discontinued at once.

Under Section 26 of the Zoning Ordinance the taking of not more than two roomers without the providing of meals is allowable as a so-called "home occupation" in this dwelling, but only after issuance of a certificate of occupancy authorizing such a use by this department. If you wish to get authorization for such a home occupation, application should be filed at this office for a certificate of occupancy.

It has also been reported that four or more motor vehicles are being parked or stored on occasion on the lot on which building is located. Under Section 17 of the Ordinance the parking or storage of not more than three motor vehicles, only one of which may be a commercial motor vehicle and that having a gross vehicle weight of not more than 2½ tons, is allowable at this location. Such parking may not be in the front yard nor closer to the street line than any building used for habitation on the same or on an adjoining lot, and not closer than 5 feet to the side lot line if located closer than 50 feet to the street line.

If building or premises are being used contrary to Zoning Ordinance restrictions as outlined above, will you not take the necessary steps to correct the violation so that further action by this department may not become necessary. If you have any questions as to the application of the Zoning Ordinance to the situation, we will be glad to go further into the matter upon request.

Very truly yours,

Albert J. Sears
Inspector of Buildings

AJS/ks

DOTEN

WINTHROP HIGH SCHOOL

PAUL H. ELLIS, PRINCIPAL

WINTHROP, MAINE

WINTHROP, MAINE
MAY 21
3 30 PM
1959

ARCTIC EXPLORATIONS
1909

Building Inspection Department

City Building

Portland, Maine

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 74 Codman St.

Issued to Richard O. Doten
74 Codman St.

Date of Issue February 5, 1959

This is to certify that the building, premises, or part thereof, at the above location, built—altered —changed as to use under Building Permit No. 59/117 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES
Two rooms in second story

APPROVED OCCUPANCY
Home occupation of taking not more than (2) lodgers.

Limiting Conditions:
No meals to be provided.

This certificate supersedes
certificate issued

Approved:

(Date) Inspector

Albert J. Sears
Inspector of Buildings

CS 147

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

R3 RESID

PERMIT ISSUED
00117
FEB 5 1959
CITY of PORTLAND

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, February 4, 1959

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 74 Codman St. Within Fire Limits? no Dist. No.

Owner's name and address Richard O. Doten, 74 Codman St. Telephone

Lessee's name and address Telephone

Contractor's name and address Telephone

Architect Specifications Plans no No. of sheets

Proposed use of building Dwelling & (2) lodging rooms No. families

Last use " No. families 1

Material frame No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ Fee $ 1.00

General Description of New Work

To change use from single family dwelling to dwelling ~~and~~ WITH (2) lodging rooms on 2nd floor.

No inspection necessary - CJS

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** owner

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Kind and thickness of outside sheathing of exterior walls?

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Richard O. Doten

Signature of owner Richard O Doten

INSPECTION COPY

FM

Permit No. 59/117

Location 74 Coleman St.

Owner Richard C. Dater

Date of permit 27/5/59

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

FILL IN AND SIGN WITH INK

PERMIT ISSUED
01681
OCT 2 1952
CITY of PORTLAND

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, 10/24/52

N-E S S

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 276 Cordman St. Use of Building Dwelling No. Stories 2 New Building ~~Existing~~

Name and address of owner of appliance Tetlo & Monte Const. Co

Installer's name and address Pallotta Oil Co. Telephone 42671

General Description of Work

To install New Forced Hot Water Boiler & oil Burner

IF HEATER, OR POWER BOILER

Location of appliance Basement Any burnable material in floor surface or beneath? No

If so, how protected? Kind of fuel? Oil

Minimum distance to burnable material, from top of appliance or casing top of furnace 3 ft.

From top of smoke pipe 20 in. From front of appliance 10' From sides or back of appliance 10-20

Size of chimney flue 8 X 16 Other connections to same flue No

If gas fired, how vented? Rated maximum demand per hour

Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? Yes

IF OIL BURNER

Name and type of burner Fluidheat Pressure Labelled by underwriter's laboratories? Yes

Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank? Bottom

Type of floor beneath burner Concrete

Location of oil storage Basement Number and capacity of tanks 1-275

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? Yes How many tanks fire proofed?

Total capacity of any existing storage tanks for furnace burner?

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?

If so, how protected? Kind of fuel?

Minimum distance to wood or combustible material from top of appliance

From front of appliance From sides and back From top of smokepipe

Size of chimney flue Other connections to same flue

Is hood to be provided? If so, how vented? Forced or gravity?

If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

RECEIVED
OCT 1 1952
DEPT OF BLD'G. INSP.
PORTLAND

Amount of fee enclosed? 2.00 ($2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: O.K. C.S.S. 10/2/52

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of Installer Pallotta Oil Co
S. D. Pallotta

ON COPY

Permit No 53/1681

Location 22-76 Cadman Ave.

Owner Monte Construction Co

Date of permit 10/2/52

Approved 11/5/52

1 Fill Pipe
2 Vent Pipe
3 Kind of Heat
4 Burner Rigidity & Supports
5 Name & Label
6 Stack Control
7 High Limit Control
8 Remote Control
9 Piping Support & Protection
10 Valves in Supply Line
11 Capacity of Tanks
12 Tank Rigidity & Supports
13 Tank Distance
14 Oil Gauge
15 Burner Cont.
16

NOTES

(RAA)

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, March 31, 1952

00370

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect a the following building in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 70-74 Codman Street Within Fire Limits? no Dist. No.

Owner's name and address Ralph Snyder, 431 Congress Street Telephone

Lessee's name and address Telephone

Contractor's name and address Monte Construction ~~Co.~~ Inc., 42 Anson Road Telephone 3-7344

Architect Specifications Plans yes No. of sheets 4

Proposed use of building dwelling house and 1-car garage No. families 1

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ 12,000.

Fee $ 12.00

General Description of New Work

To construct 2½-story frame dwelling house 28' x 24' with attached garage 12' x 21'.

The inside of the garage will be covered, where required by law, with perforated Gypsum lath covered with one-half inch thickness Gypsum plaster. No opening between house and garage.

Important notice sent

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** Monte Construction Inc.

Permit Issued with Lette

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes

Is connection to be made to public sewer? yes If not, what is proposed for sewage?

Height average grade to top of plate ~~24'~~ 18' 6" 9' Gar Height average grade to highest point of roof 24' 14' Gar

Size, front 28' depth 24' No. stories 2½ solid or filled land? earth or rock? rock

Material of foundation concrete at least 4' below grade Thickness, top 10" bottom 12" cellar yes

Material of underpinning " to sill Height Thickness

Kind of roof Pitch-gable Rise per foot 7" 7" 5" Gar Roof covering Asphalt Class C Und Lab

No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat f hot water fuel oil

Framing lumber—Kind hemlock Dressed or full size? dressed

Corner posts 4x6 Sills box Girt or ledger board? Size

Girders yes Size 6x8 full size Columns under girders Lally Size 3½" Max. on centers 7'

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters:	1st floor 2x8	2nd 2x8	3rd	roof 2x8	Gar 2x8
On centers:	1st floor 16"	2nd 16"	3rd	roof 20"	20"
Maximum span:	1st floor 12'	2nd 12'	3rd	roof	

Gar conc.

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot 0, to be accommodated 1 number commercial cars to be accommodated 0

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

APPROVED:

with letter by [illegible]

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Ralph Snyder
Monte Construction Inc.

SPECTION COPY

Signature of owner by: E. J. Monte, Pres. & Treas.

Permit No. 52/370

Location: [illegible]

Owner: Ralph Schaeffer

Date of permit 4/30/52

Notif. closing-in 6/16/52

Inspn. closing-in 6/17/52

Final Inspection Approved

Final Notif.

Final Inspn.

Cert. of Occupancy issued 10/30/52

NOTES

4/1/52 - House on adjoining lot is 30' of street line E.S.S.

4/2/52 - Location O.K. 30' from street line E.S.S.

4/9/52 - Check made Must not encroach before checking forms. E.S.S.

4/14/52 - Randy excavation made. E.S.S.

4/21/52 - Forms checked

6/10/52 - Mon. Grady E.S.S. to close in. E.S.S.

6/17/52 - Left C.T to close in subject to the following: Firestop between stopping and floor level straighten 2nd floor and floor trusses where cut to allow for passage of soil pipe. E.S.S.

10/30/52 - Work done Certificate to be issued. E.S.S.

(COPY)

CITY OF PORTLAND, MAINE

Department of Building Inspection

Certificate of Occupancy

LOCATION 72-76 Codman Street

Issued to Ralph Snyder

Date of Issue October 30, 1952

This is to certify that the building, premises, or part thereof, at the above location, built—~~altered~~ ~~changed or moved~~ under Building Permit No. 52/370, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

Portion of Building or Premises	Approved Occupancy
Entire	One-family Dwelling House One-car Garage

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

10/30/52 Earl Smith
(Date) *Inspector*

Warren McDonald
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

AP 72-76 Codman Street

April 3, 1952

Monte Construction Inc.,
42 Anson Road
Portland, Maine

Copy to Mr. Ralph Snyder
431 Congress Street

Gentlemen:

Building permit for construction of a single family dwelling 24'x28' with attached garage 12'x21' at 72-76 Codman Street is issued herewith based on the plans filed with the application for permit, but subject to the following:

1. The permit is issued on the understanding that the foundation walls are to be built without footings as shown on the plans and that those for the house are to be at least 10" thick at the top and 12" thick at the bottom, while those for the garage and bulkhead entrance to cellar are to be at least 8" thick at the top and 10" thick at the bottom.

2. Since the building is to be two stories high, corner posts are required to extend in one length from the sill to the plate supporting the rafters, with lapped splices at least 18" long allowed. The studs in the second story outside walls are required to extend down to the girts below and are not to be supported on shoes on top of the second floor timbers. If the carrying partitions are to be directly over those in the first story, the studs in those partitions are required to extend down to the plates of the first story bearing partitions.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/B

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for dwelling and garage
at ~~70-72~~ Codman Street 72-76 Date 3/31/52

1. In whose name is the title of the property now recorded? Ralph Snyder

2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, andhow? stakes

3. Is the outline of the proposed work now staked out upon the ground? yes
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced?

4. What is to be maximum projection or overhang of eaves or drip?

5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes

6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes

7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? ye

Mgte. Const. Co., Inc.
E. J. Monte, Pres. & Treas.

WARNING !!!

THIS BUILDING PERMIT IS ISSUED
SUBJECT TO SPECIAL CONDITION:

THAT NO CONCRETE SHALL BE POURED IN FOUNDATION FORMS AND NO LAYING OF UNIT MASONRY IN FOUNDATION WALLS SHALL BE STARTED UNTIL NOTICE HAS BEEN GIVEN AT THE DEPARTMENT OF BUILDING INSPECTION OF READINESS TO START ACTUAL MASONRY WORK, AND UNTIL RE-CHECK OF LOCATION HAS BEEN MADE BY INSPECTOR.

* * *

Original markings of corners of lot and especially stakes on street line set by Dept. of Public Works must be kept intact and easily accessible for re-check--not covered by excavated earth or building materials. Otherwise the "go-ahead" cannot be given. Dept. of Public Works cannot re-set their stakes.

* * *

Obviously the notice for re-check must be given at such a time as to allow reasonable opportunity to make re-check.

- Warren McDonald
Inspector of Buildings

72 - 76 CODMAN STREET

PERMIT ISSUED
APR 4 1983
CITY of PORTLAND

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION .....0.0.239.....

ZONING LOCATION ..... PORTLAND, MAINE ..... April 4, 1983

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION .....74 Cobman St..... Fire District: #1 ☐ #2 ☐

1. Owner's name and address .....John Austin - same..... Telephone 773-9725
2. Lessee's name and address .....same..... Telephone .....
3. Contractor's name and address ..... Telephone .....

Proposed use of building .....single fam..... No. of sheets .....

Last use .....same..... No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractural cost $.....1,000.00.....

FIELD INSPECTOR—Mr. .....

@ 775-5451

Appeal Fees	$ .....
Base Fee	.....
Late Fee	.....
TOTAL	$ 15.00

To construct addition to garage, 9' x 20', as per plan. To be construct on left side of existing garage.

Stamp of Special Conditions

(SEND PERMIT TO #1)

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? .....no..... Is any electrical work involved in this work? .....no.....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

F. ming Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....

On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....

Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ....., to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY:	*DATE*
BUILDING INSPECTION—PLAN EXAMINER	
ZONING:	
BUILDING CODE:	
Fire Dept.:	
Health Dept.:	
Others:	

MISCELLANEOUS

Will work require disturbing of any tree on a public street? .....no.....

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Signature of Applicant .....John Austin..... Phone # 773-9725

Type Name of above ..... 1☐ 2☐ 3☐ 4☐

Other .....

and Address .....

9

FIELD INSPECTOR'S COPY. APPLICANT'S COPY OFFICE FILE COPY

PERMIT TO INSTALL PLUMBING

PERMIT NUMBER 2588

Address 1 Codman St.

Installation For ~~sr single fam.~~

Owner of Bldg ~~John Ilwell~~

Owner's Address ~~same~~

Plumber ~~Walter J. Lewis - West., Ms.~~

Date ~~July 1, 1983~~

Date Issued July 1, 1983

Portland Plumbing Inspector

By ERNOLD R GOODWIN

App. First Insp.

Date

By

App. Final Insp.

Date

By

JUL 1 1983 ERNOLD R GOODWIN CITY OF PORTLAND PLUMBING INSPECTOR

Type of Bldg.

- ☐ Commercial
- ☐ Residential
- ☐ Single
- ☐ Multi Family
- ☐ [illegible] Construction
- ☐ Remodeling

NEW	REPL		NO	Date
		SINKS	1	
	x	LAVATORIES	1	
x		TOILETS	1	
x		BATH TUBS		
		SHOWERS		
		DRAINS FLOOR SURFACE		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
x		SEPTIC TANKS	1	
		HOUSE SEWERS		
		ROOF LEADERS		
		AUTOMATIC WASHERS		
x		DISHWASHERS	1	
		OTHER		
		TOTAL	5	$15.00

Building and Inspection Services Dept.: Plumbing Inspection

FILL IN AND SIGN WITH INK 091043

PERMIT ISSUED
OCT 6 1983
CITY of PORTLAND

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Oct. 3, 1983

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 75 Codman St. Use of Building dwelling - single No. Stories 2. New Building Existing " xx

Name and address of owner of appliance Mildred Soule - same

Installer's name and address Ballard Oil & Equip Co. -135 Marginal Way Telephone 772-1991

General Description of Work

To install burner - replacement

IF HEATER, OR POWER BOILER

Location of appliance Any burnable material in floor surface or beneath?

If so, how protected? Kind of fuel?

Minimum distance to burnable material, from top of appliance or casing top of furnace

From top of smoke pipe From front of appliance From sides or back of appliance

Size of chimney flue Other connections to same flue

If gas fired, how vented? Rated maximum demand per hour

Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner Wayne θ gun Labelled by underwriters' laboratories? yes

Will operator be always in attendance? no Does oil supply line feed from top or bottom of tank? bottom

Type of floor beneath burner cement Size of vent pipe 1¼"

Location of oil storage basement Number and capacity of tanks 1-275gal.

Low water shut off N/A Make No.

Will all tanks be more than five feet from any flame? yes How many tanks enclosed? none

Total capacity of any existing storage tanks for furnace burners 275 gal.

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?

If so, how protected? Height of Legs, if any

Skirting at bottom of appliance? Distance to combustible material from top of appliance?

From front of appliance From sides and back From top of smokepipe

Size of chimney flue Other connections to same flue

Is hood to be provided? If so, how vented? Forced or gravity?

If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 15.00

APPROVED:

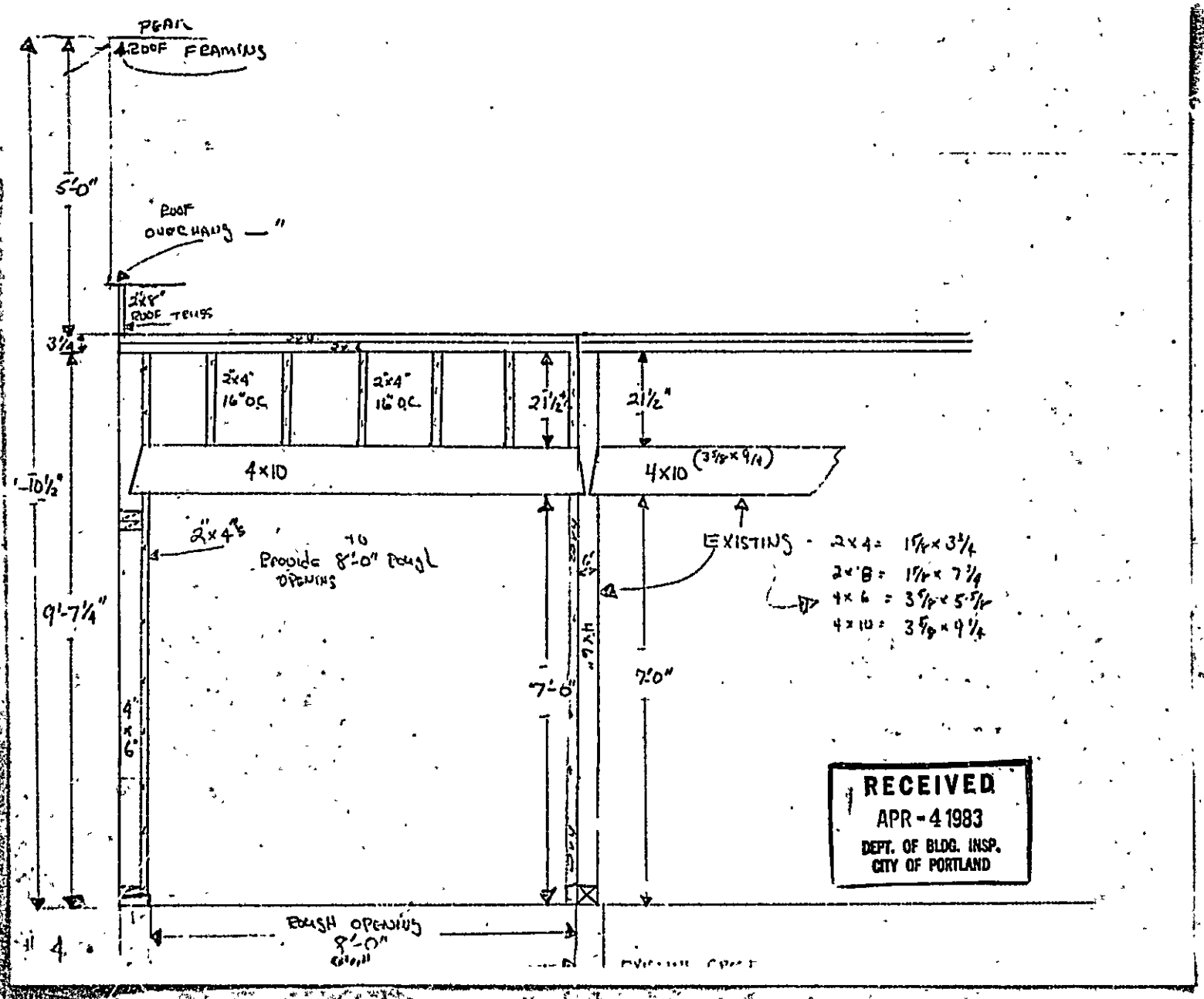
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

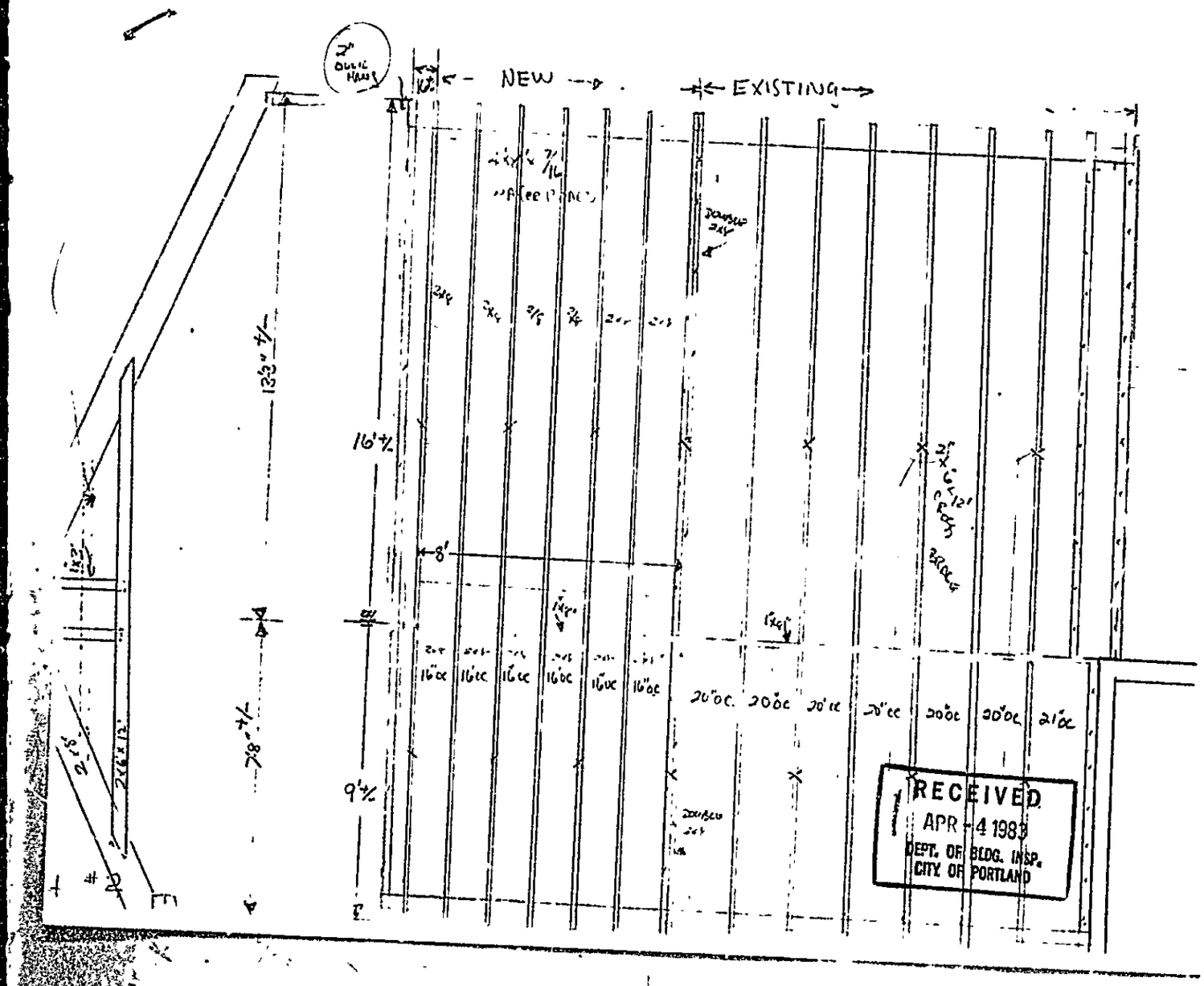
Signature of Installer 1366

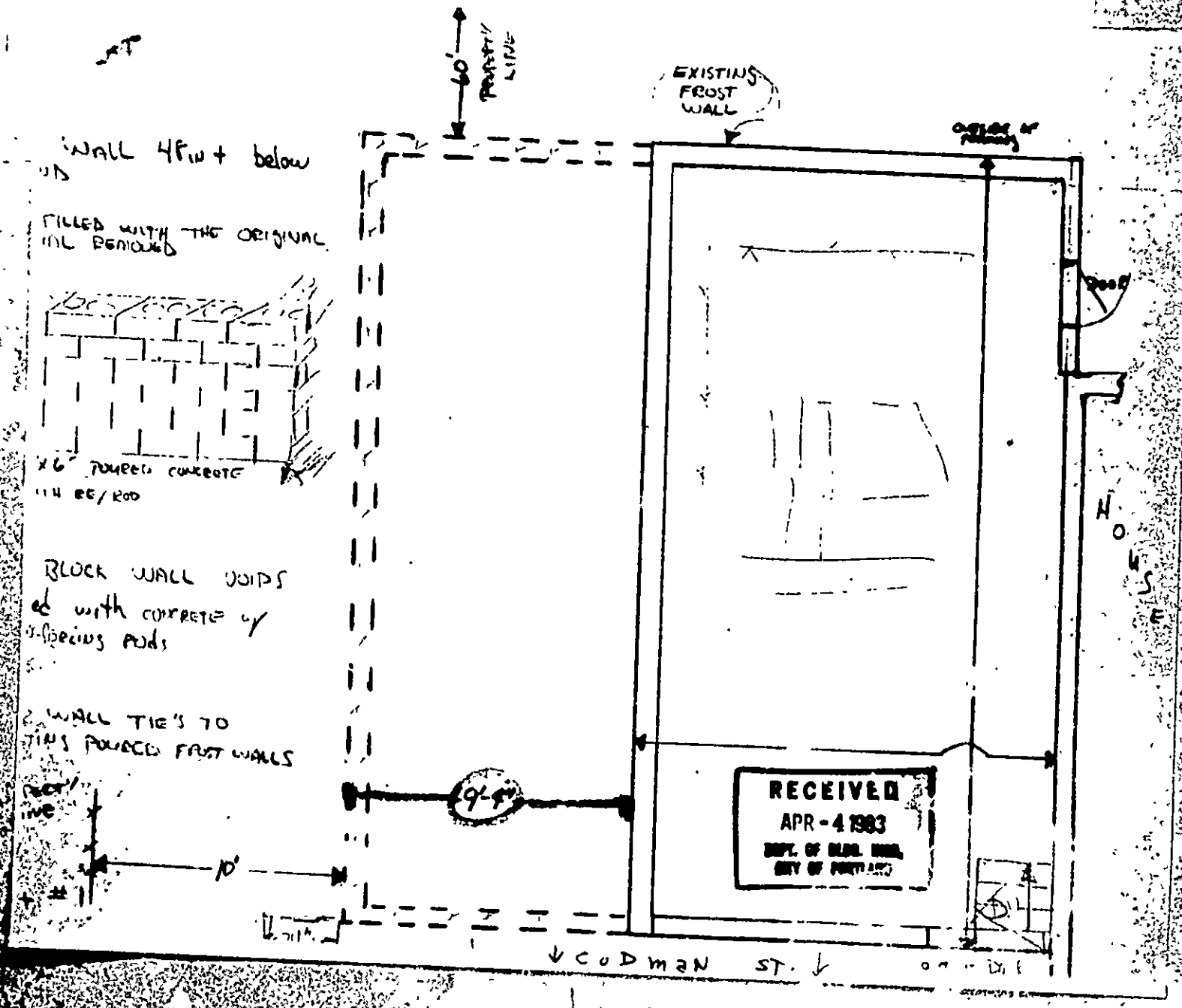
CS 300

FILE COPY

9


PEAK
ROOF FRAMING
5'-0"
ROOF OVERHANG —"
2x8" ROOF TRUSS
3¼"
2x4" 16" OC
2x4" 16" OC
21½"
21½"
4x10
4x10 (3⅝x9¼)
10½"
2"x4"s
Provide 8'-0" rough OPENING
EXISTING - 2x4 = 1⅝x3¾
2x8 = 1⅝x7¼
4x6 = 3⅝x5⅝
4x10 = 3⅝x9¼
9'-7¼"
7'-0"
7'-0"
4" x 6"
ROUGH OPENING 8'-0"
RECEIVED
APR - 4 1983
DEPT. OF BLDG. INSP.
CITY OF PORTLAND




WALL 4ft + below
FILLED WITH THE ORIGINAL
BLOCK WALL VOIDS
WALL TIE'S TO
EXISTING FROST WALL
PROPERTY LINE
10'
9'-8"
RECEIVED
APR - 4 1983
CODMAN ST.

APPLICATION FOR PERMIT

PERMIT ISSUED
APR 4 1983
CITY of PORTLAND

B.O.C.A. USE GROUP . . . . . .

B.O.C.A TYPE OF CONSTRUCTION . . . 00239 . . . . . .

ZONING LOCATION . . R-3 . . . . PORTLAND, MAINE . April 4, 1983

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications

LOCATION .74. Codman St. . . . . Fire District #1 ☐, #2 ☐

1 Owner's name and address . John Austin - same . . . . . Telephone . 773-9725

2 Lessee's name and address . . . . . Telephone . . . . . .

3 Contractor's name and address . . same . . . . . Telephone . . . . . .

Proposed use of building . . . . single fam. . . . . No of sheets . . . . . .

Last use . same . . . . . No families . . . . . .

Material . . . . . No stories . . . . Heat . . . . . Style of roof . . . . . Roofing . . . . . .

Other buildings on same lot . . . . . .

Estimated contractural cost $ 1,000.00 . . .

FIELD INSPECTOR – Mr. . . . . .

@ 775-5451

Appeal Fees	$ . . . . .
Base Fee	. . . . .
Late Fee	. . . . .
TOTAL	$ 15.00 . . . . .

To construct addition to garage, 9' x 20', as per plan. To be construct on left side of existing garage.

Stamp of Special Conditions

(SEND PERMIT TO #11

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals

DETAILS OF NEW WORK

Is any plumbing involved in this work? . . no . . . . . Is any electrical work involved in this work? . no . . . . . .

Is connection to be made to public sewer? . . . . . If not, what is proposed for sewage? . . . . . .

Has septic tank notice been sent? . . . . . Form notice sent? . . . . . .

Height average grade to top of plate . . . . . Height average grade to highest point of roof . . . . . .

Size, front . . . . . depth . . . . . No. stories . . . . . solid or filled land? . . . . . earth or rock? . . . . . .

Material of foundation . . . . . Thickness, top . . . . bottom . . . . . cellar . . . . . .

Kind of roof . . . . . Rise per foot . . . . . Roof covering . . . . . .

No of chimneys . . . . . Material of chimneys . . . . . of lining . . . . . Kind of heat . . . . . fuel . . . . .

Framing Lumber—Kind . . . . Dressed or full size? . . . . . Corner posts . . . . . Sills . . . . . .

Size Girder . . . . . Columns under girders . . . . . Size . . . . . Max. on centers . . . . . .

Studs (outside walls and carrying partitions) 2x4-16" O. C Bridging in every floor and flat roof span over 8 feet.

Joists and rafters	1st floor	2nd	3rd	roof . . . . .
On centers.	1st floor	2nd	3rd	roof . . . . .
Maximum span	1st floor	2nd	3rd	roof . . . . .

If one story building with masonry walls, thickness of walls? . . . . . height? . . . . . .

IF A GARAGE

No cars now accommodated on same lot . . . . . to be accommodated . . . . number commercial cars to be accommodated . . . . .

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? . . . . . .

APPROVALS BY	*DATE*
BUILDING INSPECTION—PLAN EXAMINER	
ZONING O.K. McGee	4/4/83
BUILDING CODE	
Fire Dept	
Health Dept	
Others	

MISCELLANEOUS

Will work require disturbing of any tree on a public street? . no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant . . . . . Phone # 773-9725

Type Name of above . . John Austin . . . . . ☒ 2 ☐ 3 ☐ 4 ☐

Other . . . . . .

and Address . . . . . .

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

[9] MR. Williams

Permit No. 83/2239

Location [illegible]

Owner [illegible]

Date of Permit 4-4-83

Approved 4-4-83

Dwelling

Garage — Addition

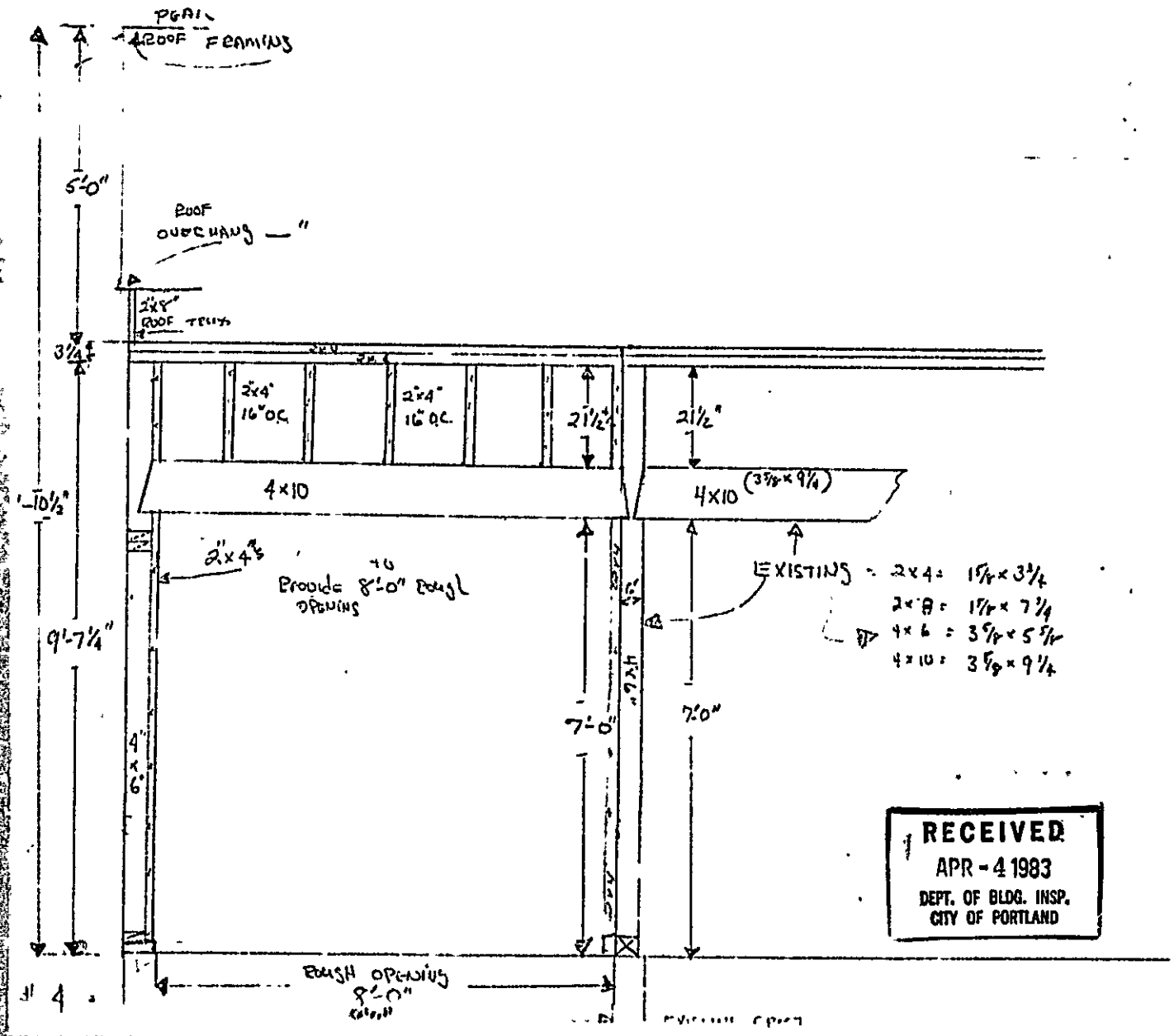
Alteration

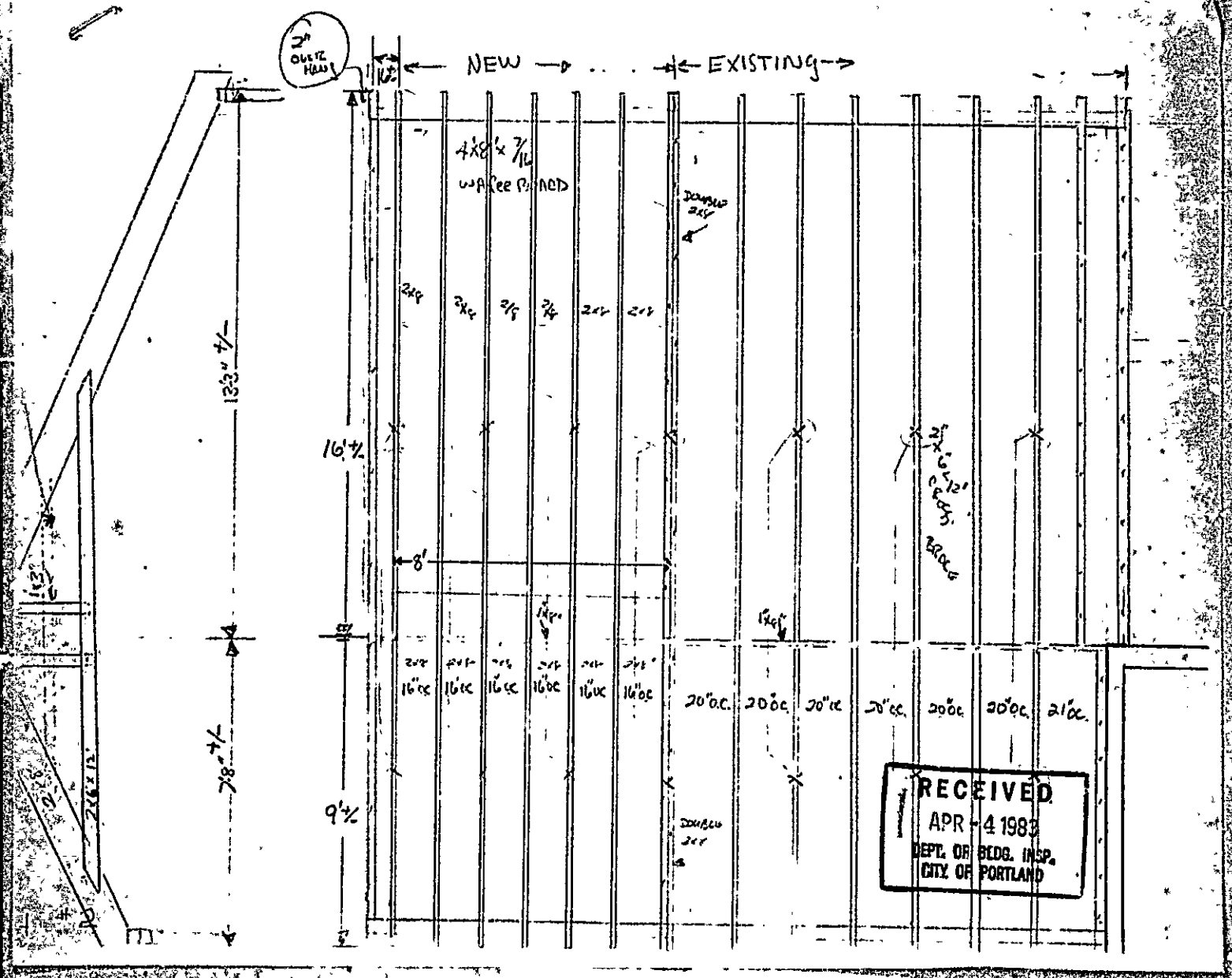
NOTES

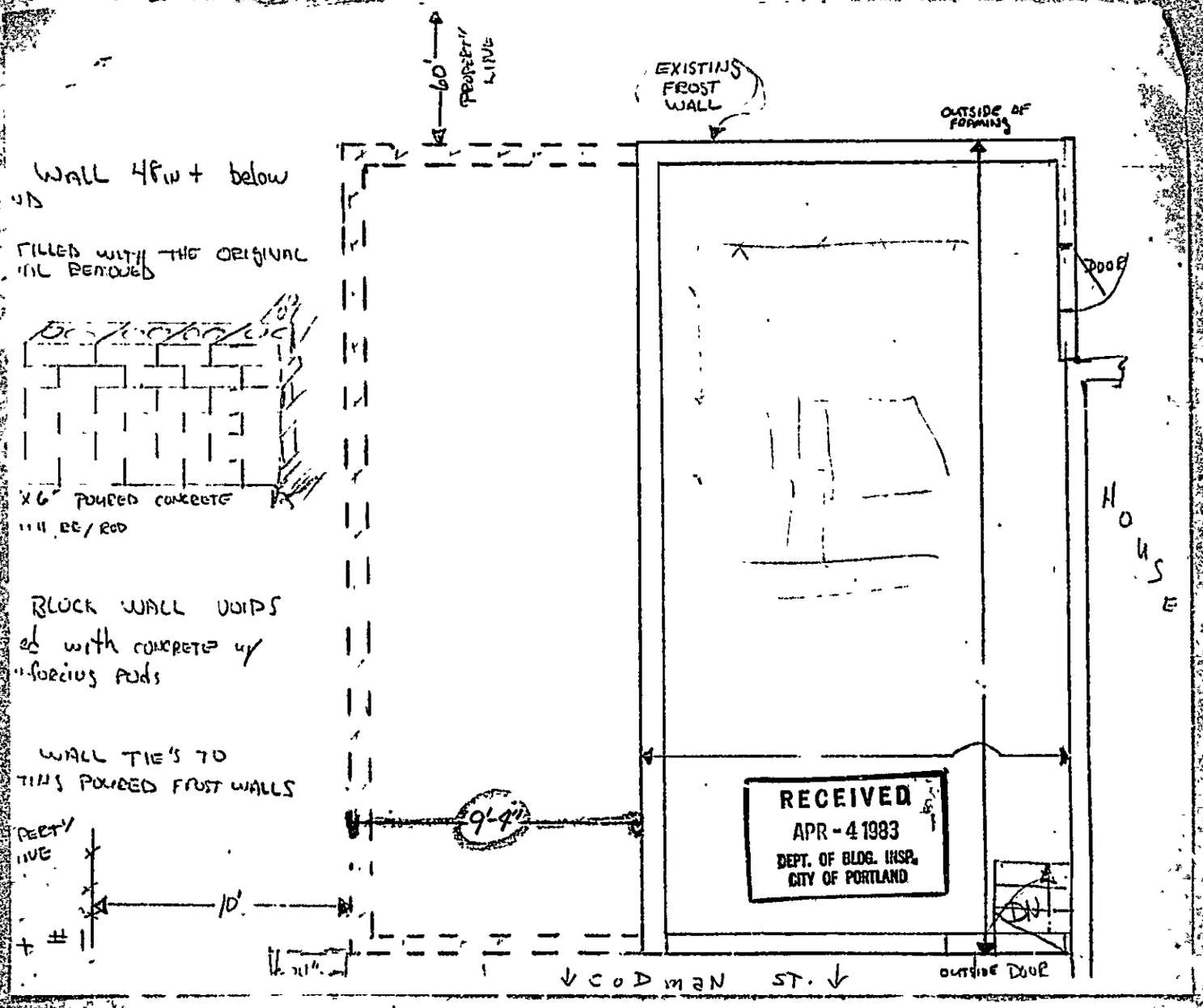
4-7-83 WORK NOT STARTED YET [illegible]

5-18 FOUNDATION IN PLACE. MEASUREMENTS TAKEN. S.P. BEING MADE [illegible]

7-6 WORK COMPLETE [illegible]






60' PROPERTY LINE
EXISTING FROST WALL
OUTSIDE OF FORMING
WALL 48in + below
FILLED WITH THE ORIGINAL
DOOR
X 6" POURED CONCRETE
BLOCK WALL VOIDS
WALL TIE'S TO
THIS POURED FROST WALLS
PROPERTY LINE
9'-4"
10'
HOUSE
RECEIVED
APR - 4 1983
DEPT. OF BLDG. INSP.
CITY OF PORTLAND
CODMAN ST.
OUTSIDE DOOR

APPLICATION FOR PERMIT

PERMIT ISSUED
APR 4 1983
CITY of PORTLAND

B.O.C.A. USE GROUP .....
B.O.C.A. TYPE OF CONSTRUCTION 00239

ZONING LOCATION ....R-3.... PORTLAND, MAINE ....April 4, 1983

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION .....74 Codman St..... Fire District #1 ☐, #2 ☐

1. Owner's name and address ....John Austin - same.... Telephone ....773-9725....
2. Lessee's name and address ..... Telephone .....
3. Contractor's name and address ....same.... Telephone .....

No. of sheets .....

Proposed use of building ....single fam.... No. families .....

Last use ....same.... No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractural cost $ 1,000.00 ..... Appeal Fees $ .....

FIELD INSPECTOR—Mr. ..... Base Fee .....

@ 775-5451 Late Fee .....

TOTAL $ 15.00 .....

To construct addition to garage, 9' x 20', as per plan. To be construct on left side of existing garage.

Stamp of Special Conditions

(SEND PERMIT TO #1)

NOTE TO APPLICANT: *Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.*

DETAILS OF NEW WORK

Is any plumbing involved in this work? ....no.... Is any electrical work involved in this work? ....no....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ..... 2nd ..... 3rd ..... roof .....

On centers: 1st floor ..... 2nd ..... 3rd ..... roof .....

Maximum span: 1st floor ..... 2nd ..... 3rd ..... roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ..... to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY *DATE*

BUILDING INSPECTION—PLAN EXAMINER .....

ZONING: O.K. MAW 4/4/83

BUILDING CODE: .....

Fire Dept.: .....

Health Dept.: .....

Others .....

MISCELLANEOUS

Will work require disturbing of any tree on a public street? ....no....

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ....yes....

Signature of Applicant John J. Austin ..... Phone # 773-9725

Type Name of above ....John Austin.... ☒ 2 ☐ 3 ☐ 4 ☐

Other .....

and Address .....

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

J.T. MR. WILLIAMS

Permit No. 83/0239

Location [illegible]

Owner [illegible]

Date of Permit 4-4-83

Approved 4-4-83

Dwelling

Garage — Addition

Alteration

NOTES

4-7-83 WORK NOT STARTED YET TL

5-18 FOUNDATION IN PLACE INSPECTIONS HAVEN. S.P. BEING MADE TL

7-6 WORK COMPLETE TL