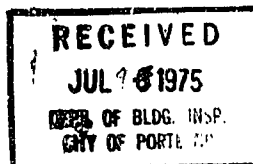


ENGINEERING SERVICES, INC.

844 Stevens Avenue
PORTLAND, MAINE 04103

July 8, 1975

City of Portland
Department of Building Inspection
City Hall
389 Congress Street
Portland, Maine 04111



ATTEN: Mr. Robert Brown

RE: Osteopathic Hospital of Maine
335 Brighton Avenue
Portland, Maine

Gentlemen:

Enclosed please find descriptive literature for fireproofing columns which the General Contractor wishes to substitute for the original fireproofing as indicated on our drawings and as approved of by the Building Inspection Department. Drawing No.2 and No.26 indicates interior column - 3 hour rating to be covered with 2" concrete.

1. Where columns are going to be concealed within partition lines, we would like your approval to substitute Zonolite (spray-applied) Monokote-5 Fireproofing - 3 hour - as described on Data Sheet No. MK-138 enclosed. This has been tested in accordance with ASTM E119 and ASTM E-84 as noted and referenced.
2. Where columns are going to be exposed to view, we would like your approval to substitute Gold Bond plaster in accordance with the enclosed data sheet giving a 3 hour rating with 1 3/8" plaster on 3.4 lb. diamond mesh metal lath...reference UL 3187-4-5-7.

May we have your decision at your very earliest convenience ?
Thank you.

Very truly yours,

John W. Pochebit
John W. Pochebit

JWP/EN

Enclosure
cc: Consolidated Constructors & Builders, Inc.

ONOLITE® MONOKOTE®-5

Fireproofing

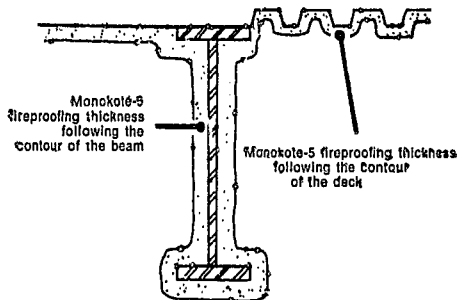
Data Sheet No. MK-138

Effective October 1, 1973
Supersedes MK-4

Spray-Applied Plaster (Cementitious) Structural Fire Protection

FIRE RATINGS

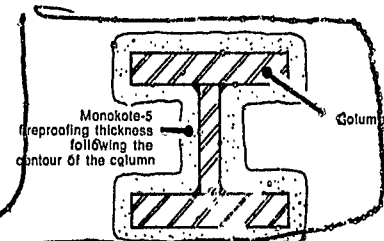
The Monokote-5 fireproofing thickness required to achieve a particular fire rating will depend upon local requirements. For the reasons described herein under "Fire Resistance," contact your nearest office of the Zonolite Construction Products Division, W. R. Grace & Co., or processing distributor for specific Monokote-5 fireproofing thicknesses and local fire resistance criteria.



Fire Resistance Rating Hr.	Required Beam Thickness	
	Restrained	Unrestrained
4	1 1/4"	2 3/8"
3	7/8"	1 3/4"
2	3/2"	7/8"
1	7/16"	3/4"

These thicknesses are based on ASTM E119 time-temperature criteria of 1100 F average and 1300 F maximum. Contact the nearest Zonolite representative for thickness requirements under criteria other than 1100/1300 F.

Fire Resistance Rating	Required Floor and Roof Thicknesses
4, 3, 2 or 1 hr.	Because the complexities of floor and roof assemblies and the varieties of steel floor configurations are too great to list, and because the 1973 ASTM E119 require both restrained and unrestrained ratings, contact the nearest Zonolite representative for thickness requirements.



Fire Resistance Rating	Required Column Thickness
4 hr.	2 1/4" 1 1/4"†
3 hr.	1 3/4" 7/8"†
2 hr.	1 1/4" 5/8"†

†For columns W14 x 228 and larger.

MONOKOTE-5 FIREPROOFING

Monokote-5 fireproofing is the trade name for a fire protection material developed by Zonolite Construction Products Division, W. R. Grace & Co., specifically for fast application, high fire resistance, and low cost. The material is spray-applied by any one of several plastering machines. Monokote-5 fireproofing is a cementitious (plaster), mill-mixed material, requiring only the addition of water at the job. It is applied directly to steel, concrete and other surfaces requiring fire protection.

Monokote-5 fireproofing meets the requirements and is in compliance with the U.S. Environmental Protection (EPA) Regulation 40 C.F.R., Chapter 1, Subsection 61.22E, promulgated by EPA on April 6, 1973.

TECHNICAL DATA

FIRE RESISTANCE

Monokote-5 fireproofing has been fire tested and rated by Underwriters' Laboratories, Inc., in accordance with test method ASTM E119. Fire ratings up to 4 hours have been achieved. Each bag of material bears the UL label verifying compliance with UL's quality control inspection program and the appropriate fire resistance rating.

The 1973 revision to ASTM test method E119 in general, (1) introduces a new system for rating the hourly performance of assemblies and structural members and (2) provides for two ratings from the same fire test. The Underwriters' Laboratories Index of Fire Resistance Ratings refers to two ratings — one based on time-temperature performance (unrestrained) and the other based on a combination of structural and lesser time-temperature performance criteria (restrained). Because local building codes may not yet have adopted the E119-73 criteria, contact the jurisdictional municipal authority for verification.

Monokote-5 fireproofing has been tested for other properties such as adhesion, corrosion resistance, deflection, bond impact, surface hardness, air erosion resistance, damageability resistance, etc. The test results comply with, and in most instances exceed, General Services Administration (GSA) requirements.

FIRE HAZARD

Tested and reported in accordance with ASTM E-84 by Underwriters' Laboratories, Inc. Flame Spread-10, Fuel Contributed-5, Smoke Developed-0.

DRY DENSITY

Approximately 18-20 pcf, Underwriters' Laboratories, Inc. lists 16 pcf as minimum density.

SPECIFICATION (SHORT FORM)

Sprayed fireproofing material shall be Monokote-5 fireproofing as manufactured by Zonolite Construction Products Division, W. R. Grace & Co., or its processing distributor. It shall be applied by machine to the thickness required by local codes and in the areas shown on the drawings. The method of mixing and application shall comply with the manufacturer's recommendations.

Specifications

1. SCOPE

a) Work Included

Provide all labor, materials and equipment required for complete installation of all sprayed fireproofing and related work as shown on the drawings or specified herein, and in accordance with all applicable requirements of the Contract Documents.

b) Work Not Included

1. Structural steel encased in concrete.
2. Trowelled plaster fireproofing as specified under appropriate section.
3. The cleaning of the surfaces to receive sprayed fireproofing.

c) Codes and Regulations

This specification shall be supplemented by the applicable requirements of the Building Codes and all authorities having jurisdiction. Conflicts and/or discrepancies between Contract Documents, ordinances, etc., noted by the subcontractor shall be immediately brought to the architect's attention.

2. MATERIAL

a) The sprayed fireproofing material shall be Monokote-5 as manufactured by the Zonolite Construction Products Division, W. R. Grace & Co., or its processing distributors. All manufactured material shall be delivered in original, unopened packages bearing the name of the manufacturer, the brand, and the UL label verifying compliance with UL's quality control inspection program and the appropriate fire resistance ratings.

The material shall be kept dry until ready for use. The packages of material shall be kept off the ground, under cover, and away from sweating walls and other damp surfaces. Material that has been exposed to water before actual use shall be discarded.

b) Water shall be clean, fresh, suitable for domestic consumption, and free from such amounts of mineral or organic substance as would affect the set of the fireproofing material.

3. ACCEPTANCE AND PERFORMANCE CRITERIA

a) The sprayed fireproofing shall have been tested by Underwriters' Laboratories, Inc. in accordance with the procedures of ASTM E 119. The structural steel members shall be protected with proper fireproofing thicknesses and densities to provide the following fire resistance ratings:

Steel columns	.....	.....	Hours
Primary steel members (Girders)	.....	.....	Hours (Restrained)
		.....	Hours (Unrestrained)
Secondary steel members (Beams)	.....	.....	Hours (Restrained)
		.....	Hours (Unrestrained)

b) The sprayed fireproofing beneath the deck assembly together with properly proportioned concrete fill above the metal decking shall provide a _____ hour (restrained/unrestrained) fire resistant deck assembly as substantiated by a fire test in accordance with the procedures of ASTM E 119, and performed by Underwriters' Laboratories, Inc. or other such recognized testing agency.

c) The fireproofing material shall not be subject to losses from the finished application by sifting, flaking or dusting. This performance shall be measured by the results of a test for erosion resistance when subjected to high velocity air flow across the surface of dried samples. The samples thus tested must be representative of machine-applied material similar to that which can be

expected on the project. The air velocity shall be not less than _____ feet per minute, and the duration of the test shall be at least _____ hours.

Note to Specifier:

Recommended Quality Criteria:

TESTS

- a) The architect will select and the owner will pay an independent testing laboratory to sample and verify the density of the direct-to-steel fireproofing as applied.
- b) Contractor shall control thickness, utilizing a workable depth gauge to meet minimum thickness as required. He shall cooperate with the owner's inspector in furnishing samples for tests.

4. SAMPLES

Samples of sprayed fireproofing shall be submitted for approval in accordance with the applicable provisions of the Special Conditions. These samples shall be representative of the material as applied in accordance with Acceptance & Performance Criteria as stated.

5. INSTALLATION

a) Application of sprayed fireproofing shall be in accordance with the printed instructions of the material manufacturer and the fire test report information.

b) Upon request a qualified manufacturer's representative can be present for initial application to guide and assist applicator's personnel.

c) All surfaces to which sprayed fireproofing will be applied shall be free of oil, grease, dirt, loose paint, mill scale or any other matter which would impair bond. Painted steel surfaces may require a test application of the sprayed fireproofing to determine that the paint formulation will not impair adhesion.

d) All clips, hangers, supports, sleeves and other attachments to the fireproofing bases, as covered under other sections of the specifications, are to be placed by others prior to the application of the fireproofing material, where these attachments can be anticipated in advance.

e) All patching and repairing of sprayed fireproofing, due to cutting by other trades, shall be performed under this section and paid for by the trade(s) that performed the cutting.

6. TEMPERATURE AND VENTILATION

When the prevailing outdoor temperature at the building site is less than 40°F, an air and steel temperature of 40°F shall be maintained for 24 hours before and 24 hours after application of fireproofing material.

Provisions shall be made for providing natural ventilation to properly dry the fireproofing during and subsequent to its application. In glazed buildings, this shall be accomplished by keeping windows open approximately 2" top and bottom (or side pivoted windows approximately 4") to provide air circulation; and in enclosed areas or buildings lacking openings for natural ventilation, by circulating interior air and exhausting it to the outside by use of temporary circulators, exhaust fans, or the air-conditioning system.

7. CLEAN-UP

After completion of fireproofing work, equipment shall be removed and all exposed wall and floor areas cleaned of deposits of sprayed fireproofing materials.

GRACE
CONSTRUCTION PRODUCTS

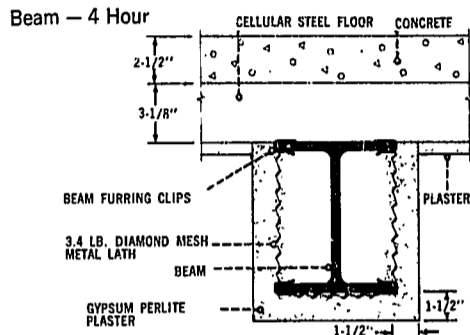
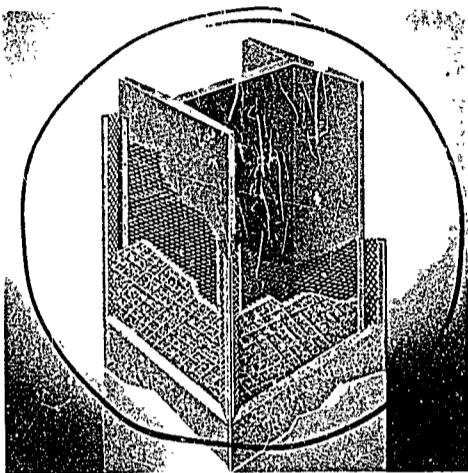
MK-138

Copyright 1973 Zonolite and Monokote are registered trademarks of Construction Products Division W. R. Grace & Co., 62 Shore Ave., Cambridge, Mass. 02140. We hope the information given here will be helpful. It is based on our best knowledge and we believe it to be true and accurate. Please read all statements, recommendations or suggestions in connection with our conditions of sale which apply to all goods supplied by us. We assume no responsibility for the use of statements, recommendations or suggestions, nor do we intend them as a recommendation for any use which would infringe any patent or copyright.

Printed in U.S.A. 10/73

Gold Bond

fireproofing columns and beams with metal lath



DESCRIPTION

Gypsum plaster, mixed with sand or light weight aggregate, is applied over a metal lath base providing an economical fire protective covering for structural steel columns

ADVANTAGES

- a. light-weight This system of fireproofing weighs only half as much as tile and one quarter as much as standard concrete for equivalent fire resistive ratings. This means a reduction up to 1/2 in dead load weight, reducing the size and cost of footings, foundations and structural framing.
- b. fire resistance Fire resistive ratings up to 4 hours can be obtained.
- c. economy Lath is low in cost, quick and easy to apply, thereby effecting savings in material and labor costs.

LIMITATIONS

In warehouses or other occupancies where columns might be damaged, angle iron guards are recommended to protect column corners to the necessary height.

SPECIFICATIONS

A. Material

Metal lath shall be G-B Diamond Mesh Lath or Self-Furring Diamond Mesh Lath, weighing not less than 3.4 lb. per sq. yd.

B. Application

Diamond Mesh Lath shall be formed to fit around the column and shall be furred at least 1/4" from the face of the steel flange to provide space for the plaster to key with rods or channel brackets. Self-furring Diamond Mesh Lath shall be installed with indentations to the face of the column and require no additional furring.

Edges of lath shall be lapped 1" over the web area of the column and tied at vertical spacing of 6" to 8" with 18 gauge galvanized Tie Wire.

G-B No. 1 Expanded Corner Bead shall be attached to corners of column in a manner to allow for necessary plaster thickness.

For a four-hour fire rating apply scratch, brown and finish coats to a total thickness of 1 3/4". G-B Gypsum Plaster mixed 100 lb. to 2 cubic feet of Perlite aggregate for scratch coat and 100 lb. to 3 cubic feet of Perlite for brown coat. Apply brown coat to within 1/8" of corner beads to allow for finish coat. Finish coat plaster shall be as selected and specified elsewhere.

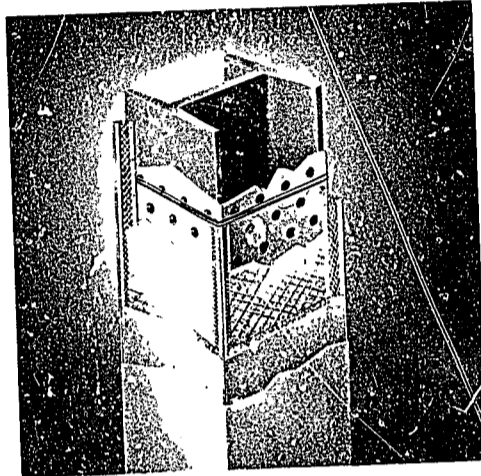
FIRE RATING TABLE (Based on 10 WF-49 or heavier columns)

Columns	type metal lath	plaster	plaster* thickness	fire rating	reference
steel section	metal lath	gypsum-sand 1:3, 1:3	3/4"	1 hr.	BMS 92 - Table 40
	self-furring lath	gypsum-perlite 100:2, 100:3	1"	2 hr.	UL 3187-4-5-7
	self-furring lath	gypsum-perlite 100:2, 100:3	1 1/2"	3 hr.	UL 3187-4-5-7
	self-furring lath	gypsum-perlite 100:2, 100:3	1 3/4"	4 hr.	UL 2851-5-6 & 3187-4-5-7
beams					
	self-furring lath	gypsum-perlite 100:2 1/2, 100:2 1/2	1 1/2"	2 hr.	
	self-furring lath	gypsum-perlite 100:2 1/2, 100:2 1/2	1 3/4"	3 hr.	UL 4197
steel beams with membrane fireproofing (Beam Furring Clips)	self-furring lath	gypsum-perlite 100:2 1/2, 100:2 1/2	1 1/2"	4 hr.	

*Thickness of plaster on metal lath is shown from face of lath.



fireproofing columns with gypsum lath



DESCRIPTION

Gypsum plaster, mixed with sand or light weight aggregate, is applied over a gypsum lath base providing an economical fire protective covering for structural steel columns.

ADVANTAGES

- light-weight** This system of fireproofing weighs only half as much as tile and one quarter as much as standard concrete for equivalent fire resistive ratings. This means a reduction up to 1/2 in dead load weight, reducing the size and cost of footings, foundations and structural framing.
- fire resistance** Fire resistive ratings up to 4 hours can be obtained.
- economy** Lath is low in cost, quick and easy to apply, thereby effecting savings in material and labor costs.

LIMITATIONS

In warehouses or other occupancies where columns might be damaged, angle iron guards are recommended to protect column corners to the necessary height.

SPECIFICATIONS

A. Material

Lath shall be G-B 3/8" x 16" x 48" Perforated Gypsum Lath or 1/2" Long Length Lath.

Plaster shall be G-B Gypsum Plaster.

B. Application

1 Hour. Place G-B 3/8" x 16" x 48" Perforated Gypsum Lath vertically against column flanges and bridging web spaces. Cut as required to box the column. Wrap and tie lath with double strands of 18-gauge tie wire 2" from ends of lath and at intermediate points not exceeding 15" o.c. At each corner, wire tie G-B No. 1 Expanded Corner Bead to the wire ties encircling lath to form grounds for 1/2" of plaster. Mix G-B Gypsum Plaster 1 part to 2 1/2 parts of sand by weight. Apply in a double-back operation to within 1/8" of grounds and leave rough for finish.

(1 1/2 Hours. Same as for 1 Hour except set grounds for 5/8" of plaster.)

(2 Hours. Same as 1 Hour except set grounds for 1" of G-B Gypsum Plaster mixed 100 lbs. to 2 1/2 cubic feet of Perlite or Vermiculite aggregate. If sand is used, plaster thickness shall be 1 1/8"; scratch 1:2; brown 1:3.)

(3 Hours. Same as for 1 Hour except set grounds for 1 3/8" of G-B Gypsum Plaster mixed 100 lbs. to 2 cubic feet of Perlite or Vermiculite aggregate or scratch coat and 100 lbs. to 3 cubic feet of Perlite or Vermiculite aggregate for brown coat. With sand as aggregate, grounds shall be 2", scratch 1:2, brown 1:3.)

(4 Hours. Box column with two layers of G-B 1/2" Long Length Gypsum Lath placed vertically against the column flanges and bridging the web spaces. Cut as required. Wrap and tie lath with double strands of 18-gauge tie wire 24" o.c. Wrap column and lath with 1" hexagonal 20-gauge galvanized wire mesh tying cut ends to give continuity around the column. At each corner, wire tie G-B No. 1 Expanded Corner Bead to form grounds for 1 1/2" of plaster. Mix G-B Gypsum Plaster with Perlite or Vermiculite aggregate in the ratio of 100 lbs. to 2 cu. ft. for scratch coat and 100 lbs. to 3 cu. ft. for the brown coat. Plaster in two separate coats, allowing the scratch coat to set hard before application of the brown. Apply brown coat to within 1/8" of grounds and leave rough for finish.)

FIRE RATING TABLE

columns	type gypsum lath	plaster	plaster thickness	fire rating	reference
steel section	3/8" perforated lath	gypsum-sand 1:2 1/2	1/2"	1 hr.	BMS 135-Test 273
	3/8" perforated lath	gypsum-sand 1:2 1/2	5/8"	1 1/2 hr.	BMS 135-Test 274
	3/8" perforated lath	gypsum-perlite 100:2 1/2	1"	2 hr.	BMS 135-Test 275
	3/8" perforated lath	gypsum-perlite 100:2, 100:3	1 3/8"	3 hr.	Unpublished-Test 321
	1/2" plain gypsum lath (2 layers) plus 1" hex. wire mesh	gypsum-perlite 100:2, 100:3	1 1/2"	4 hr.	BMS 135-Test 278 and 294



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date June 6, 1977
 Receipt and Permit number A10022

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 337 Brighton Avenue
 OWNER'S NAME: Osteopathic Hospital ADDRESS: 33 5 Brighton Ave.

OUTLETS: (number of)
 Lights _____
 Receptacles _____ FEES
 Switches _____
 Plugmold _____ (number of feet)
 TOTAL _____

FIXTURES: (number of)
 Incandescent _____
 Fluorescent _____ (Do not include strip fluorescent)
 TOTAL _____
 Strip Fluorescent, in feet _____

SERVICES:
 Permanent, total amperes 200 3.00
 Temporary50

METERS: (number of) 1

MOTORS: (number of)
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING:
 Oil or Gas (number of units) _____
 Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric (total number of kws) _____

APPLIANCES: (number of)
 Ranges _____ Water Heaters _____
 Cook Tops _____ Disposals _____
 Wall Ovens _____ Dishwashers _____
 Dryers _____ Compactors _____
 Fans _____ Others (denote) _____
 TOTAL _____

MISCELLANEOUS: (number of)
 Branch Panels _____
 Transformers _____
 Air Conditioners _____
 Signs _____
 Fire/Burglar Alarms _____
 Circus, Fairs, etc. _____
 Alterations to wires _____
 Repairs after fire _____
 Heavy Duty, 220v outlets _____
 Emergency Lights, battery _____
 Emergency Generators _____

INSTALLATION FEE DUE: _____
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9) _____
 TOTAL AMOUNT DUE: 3.50

INSPECTION:
 Will be ready on _____, 19____; or Will Call xx
 CONTRACTOR'S NAME: Kurt Felix
 ADDRESS: Steep Falls, Maine
 TEL.: 637-2606
 MASTER LICENSE NO.: 1469 SIGNATURE OF CONTRACTOR: Kurt Felix
 LIMITED LICENSE NO.: _____

INSPECTOR'S COPY

ELECTRICAL INSTALLATIONS —

Permit Number 10022

Location 337 Brighton Ave

Owner Doyle's Hospital

Date of Permit 6-6-77

Final Inspection _____

By Inspector _____

Permit Application Register Page No. 100

INSPECTIONS: Service ✓ 8-19-77 by HERBERT

Service called in OK

Closing-in _____ by _____

PROGRESS INSPECTIONS: 6-6-77 _____ / _____

8-19-77 _____ / _____

CODE
COMPLIANCE
COMPLETED
8-19-77

DATE:	REMARKS:

Handwritten signature/initials



APPLICATION FOR PERMIT

PERMIT ISSUED
MAY 26 1977
CITY of PORTLAND

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 038
ZONING LOCATION PORTLAND, MAINE, May 27, 1977
26

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 335 Brighton Ave. Fire District #1 [], #2 []
1. Owner's name and address Osteopathic Hosp. of Me. - same Telephone 774-3921
2. Lessee's name and address Telephone
3. Contractor's name and address Consilated Const. & Bldrs - 616 Congress St. - 774-2626
4. Architect Specifications Plans No. of sheets
Proposed use of building Hospital No. families
Last use same No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractural cost \$5,000 Fee \$20.00

FIELD INSPECTOR - Mr. Marge GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling Ext. 234 Permit to make renovations of first floor for pediatrics area, as per plans. 1 sheet of plans.
Garage
Masonry Bldg.
Metal Bldg. Stamp of Special Conditions
Other hospital
Change of Use
Other hospital

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [] 2 [] 3 [] 4 []
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION - PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: O.M.C.A. 5/26/77 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant Derald H. Curless Phone # same
Type Name of above Derald Curless 1 [] 2 [] 3 [] 4 []
Other
and Address

FIELD INSPECTOR'S COPY

NOTES

6-7-77 No work started - or Est. 1.1.1977 - W
7-5-77 Work started - hole in floor windows
Adding walls - W
7-15-77 Work completed - W

Permit No. 97/0387
Location 335 Chinglatory Cnd.
Owner P. J. O'Sullivan
Date of permit 5-26-77
Approved 5-26-77
Proposed work on 1st floor
Mechanical Section



PERMIT TO INSTALL PLUMBING

335 Brighton Avenue

PERMIT NUMBER 4437

Address ~~Osteopathic Hospital~~

Installation for commercial

Owner of Bldg sama

Owner's Address 335 Brighton Ave

Plumber Prod DeWaters Date: Jan. 26, 1976

NEW REPL 30 Warren Avenue

Date Issued
Portland Plumbing Inspector
By ERNOLD R GOODWIN

App. First Insp.
Date FEB 6 1976
By ERNOLD R. GOODWIN
CHIEF PLUMBING INSPECTOR

App. Final Insp.
Date OCT 21 1976
By ERNOLD R. GOODWIN
CHIEF PLUMBING INSPECTOR

- Type of Bldg.
- Commercial
 - Residential
 - Single
 - Multi Family
 - New Construction
 - Remodeling

NEW	REPL	DESCRIPTION	NO.	DATE	PRICE
4		SINKS	4		8.00
28		LAVATORIES	28		28.00
40		TOILETS	40	<u>FEB 10 1976</u>	26.00
6		BATH TUBS	6		3.00
4		SHOWERS	4	<u>APR 2 1976</u>	2.00
7		DRAINS FLOOR SURFACE	7		3.50
2		HOT WATER TANKS	2	<u>MAY 13 1976</u>	18.00
		TANKLESS WATER HEATERS			
1		GARBAGE DISPOSALS	1		.50
		SEPTIC TANKS		<u>APR 22 1976</u>	
		HOUSE SEWERS	1	<u>1976</u>	
		ROOF LEADERS		<u>JUN 22 1976</u>	
		AUTOMATIC WASHERS		<u>MAY 26 1976</u>	
1		DISHWASHERS	1		.50
1		OTHER	1	<u>Drink. Yount.</u>	.50
2		Port. Sinks	2		1.00
		Base Fee			3.00
				TOTAL	\$71.00

Building and Inspection Services Dept. Plumbing Inspection



APPLICATION FOR PERMIT

PERMIT ISSUED

SEP 22 1976

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE, Sept. 21, 1976

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 335 Brighton Ave. Fire District #1, #2
1. Owner's name and address Osteopathic Hospital Telephone 774-3921
2. Lessee's name and address
3. Contractor's name and address Consolidated Contractors 616 Cong. St. Telephone 774-2626
4. Architect Specifications Plans No. of sheets
Proposed use of building hospital No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$18,000 Fee \$72.00

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling Ext. 234 Permit to make renovations for pharmacy room as per plans - 1 sheet of plans
Garage
Masonry Bldg Stamp of Special Conditions
Metal Bldg
Alterations
Demolitions
Change of Use
Other ~~xxxxxx~~ hospital

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1, 2, 3, 4

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts sills
Size Girder Columns under girders Size Max. on sters
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: O.K. E.B. 9/21/76 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES
Fire Dept.:
Health Dept.:
Others:

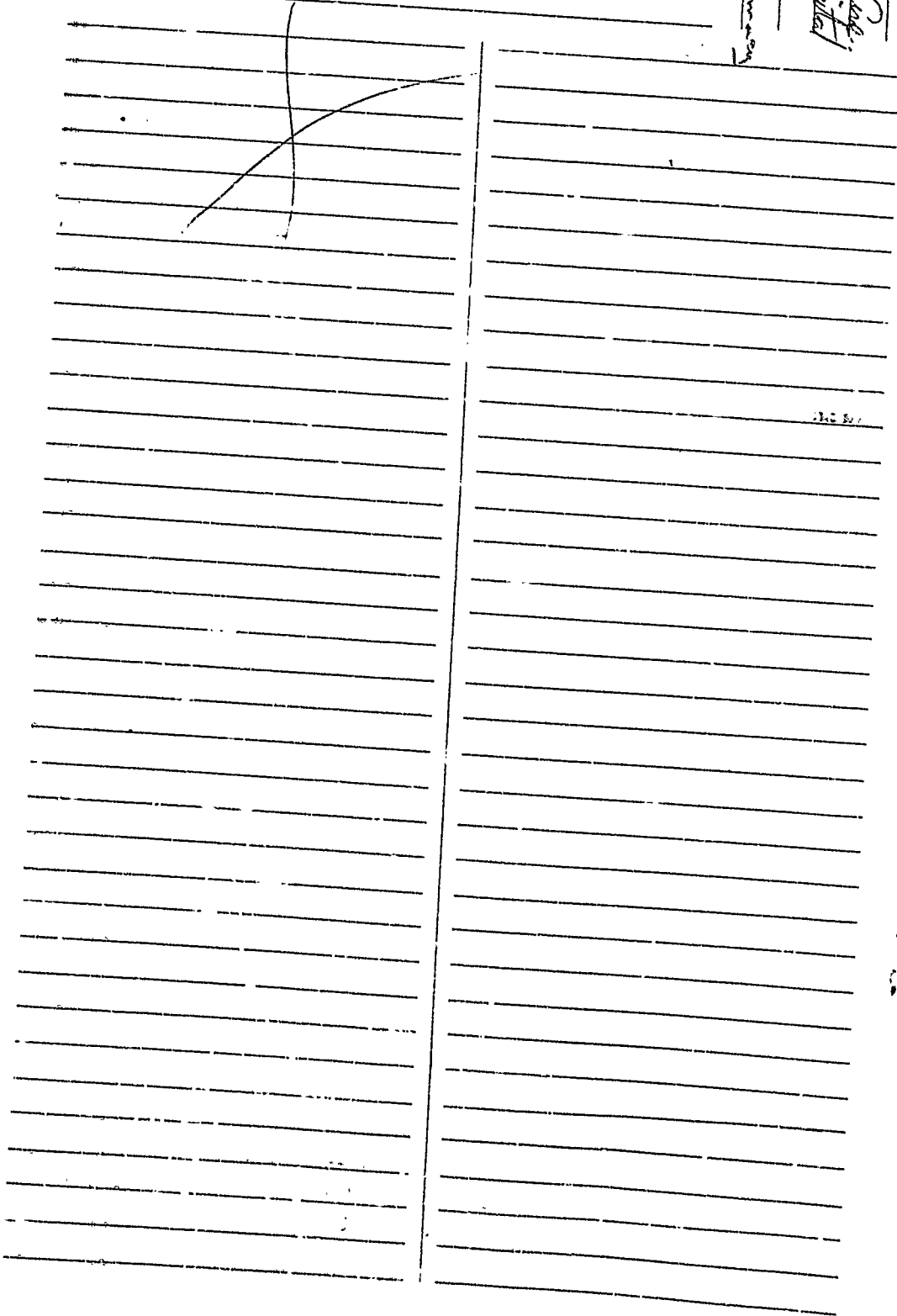
Signature of Applicant John F. Hutchings Phone # same
Type Name of above John F. Hutchings 1, 2, 3, 4
Other and Address

FIELD INSPECTOR'S COPY

NOTES

- 9-29-76 started work - M S
- 10-15-76 little more work done - M S
- 10-27-76 starting to put up new wall - closing in around new pipes - M S
- 11-3-76 working slow - trying to get into walls - M S
- 12-14-76 doing some finishing work - M S
- 1-24-77 completed - M S

Permit No. 761853
Location 835
Owner Oshkosh City
Date of permit 9/22/76
Approved Remo Atkins - City Engineer





APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date June 11, 19 75
 Receipt and Permit number A-02898

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 335 Brighton Ave.
 OWNER'S NAME: Osteopathic Hospital ADDRESS: same

OUTLETS: (number of)
 Lights 310
 Receptacles 370
 Switches _____
 Plugmold 600 (number of feet)
 TOTAL 680 FEES 67.00

FIXTURES: (number of)
 Incandescent _____
 Fluorescent _____ (Do not include strip fluorescent)
 TOTAL _____
 Strip Fluorescent, in feet _____

SERVICES:
 Permanent, total amperes 2500 9.00
 Temporary _____

METERS: (number of) _____

MOTORS: (number of)
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING:
 Oil or Gas (number of units) _____
 Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric (total number of kws) _____

APPLIANCES: (number of)
 Ranges _____ Water Heaters _____
 Cook Tops _____ Disposals _____
 Wall Ovens _____ Dishwashers _____
 Dryers _____ Compactors _____
 Fans _____ Others (denote) _____
 TOTAL _____

ACCESSORIES: (number of)
 Branch Panels 17 17.00
 Transformer 6 12.00
 Air Conditioners _____
 Signs _____
 Fire/Burglar Alarms 1 5.00
 Circus, Fairs, etc. _____
 Alterations to wires _____
 Repairs after fire _____
 Heavy Duty, 220v outlets _____
 Emergency Lights, battery _____
 Emergency Generators 1 5.00

INSTALLATION FEE DUE: _____
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9) _____
 TOTAL AMOUNT DUE: 115.00

INSPECTION:
 Will be ready on _____ 19__ or Will Call

CONTRACTOR'S NAME: Eastern Electric Corp. -
 ADDRESS: P.O. Box 346 Portland
 TEL.: 772-6762

MASTER LICENSE NO.: 3279 SIGNATURE OF CONTRACTOR: _____
 LIMITED LIC. NO. _____

INSPECTOR'S COPY



APPLICATION FOR PERMIT

PERMIT ISSUED

SEP 21 1976

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE, Sept. 21, 1976 CITY of PORTLAND

0853

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 335 Brighton Av. Fire District #1 [], #2 []
1. Owner's name and address Osteopathic Hospital Telephone 774-3921
2. Lessee's name and address Telephone
3. Contractor's name and address Consolidated Constructors 616 Congress St Telephone 774-2626
4. Architect Specifications Plans No. of sheets
Proposed use of building hospital No. families
Last use hospital No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$6,000 Fee \$ 64.00

FIELD INSPECTOR-Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling Ext. 234 Permit to renovation for autopsy room as per plans 1 sheet
Garage
Masonry Bldg.
Metal Bldg. Stamp of Special Conditions
Alterations
Demolitions
Change of Use
Other hospital

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [] 2 [] 3 [x] 4 []
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION-PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: 0.15-E.8. 9/21/76 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Fire Dept.:
Health Dept.:
Others

Signature of Applicant John F. Hutchings Phone # same
Type Name of above John F. Hutchings 1 [] 2 [] 3 [] 4 []
Other and Address

FIELD INSPECTOR'S COPY

NOTES

9-29-76 cleaned out room - removed non bearing partition - M

10-15-76 same M O

10-27-76 putting in an underground vent - No other changes yet - M

11-3-76 Floor completed - M O

12-14-76 Comp. d - just needs to replace some ceiling tiles - Nic holes 1 Mu - M O

Permit No. 76/853
Location 335
Owner
Date of permit 9-22-76
Approved
Room

Large empty lined area for notes, with a large 'X' drawn across the top portion.



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED

SEP 4 1975

731 CITY of PORTLAND

Portland, Maine, Sept. 4, 1975

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 335 Brighton Ave Use of Building Osteopathic Hospital No. Stories 4. New Building Existing "
Name and address of owner of appliance Osteopathic Hospital
Installer's name and address Fred J. DeWaters 39 Warren Ave., Westbrook Telephone 854-8397

General Description of Work

To install three cleaver brooks (steel boilers) 200 hp #2 oil

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? no
If so, how protected? Kind of fuel? #2
Minimum distance to burnable material, from top of appliance or casing top of furnace nothing burnable
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue 20" Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Cleaver Brooks Labelled by underwriters' laboratories? yes
Will operator be always in attendance? yes Does oil supply line feed from top or bottom of tank? top
Type of floor beneath burner concrete Size of vent pipe 2 1/2"
Location of oil storage outside Number and capacity of tanks 2 10,000 gal
Low water shut off yes Make MacDonald Miller No.
Will all tanks be more than five feet from any flame? yes How many tanks enclosed? 2
Total capacity of any existing storage tanks for furnace burners 20,000 gal

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 45.00

APPROVED:

0. K. E. B. 9/4/75

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 300

INSPECTION COPY

Signature of Installer

Fred J. De Waters B.C.A.



DEPARTMENT OF ENVIRONMENTAL PROTECTION

State of Maine

AIR EMISSION LICENSE

LICENSE No 778

EXPIRES June 23, 1978

Osteopathic Hospital of Maine, Inc.

Name

335 Brighton Avenue, Portland, Maine

Location

is hereby granted an Air Emission License from the State of Maine, Department of Environmental Protection, according to the Provisions of Maine Revised Statutes Amended, Title 38, Section 590, and Department of Environmental Protection Regulations published pursuant thereto for the following emission sources:

- #1 Boiler 8.4 million BTU per hour
- #2 Boiler 8.4 million BTU per hour
- #3 Boiler 8.4 million BTU per hour

Class VI incinerator with afterburner
50 lbs/hr

in Metropolitan Portland Ambient Air Quality Control Region.

Subject to the attached conditions "a." through (d) inclusive and all emission standards and regulations applicable.

Given under our hand and seal this 23rd day of June 1976.

BY: *William R. Adams*
COMMISSIONER

RECEIVED
JUL 4 1976
DEPT. OF ENVIRONMENTAL PROTECTION
CITY OF PORTLAND

Licensee

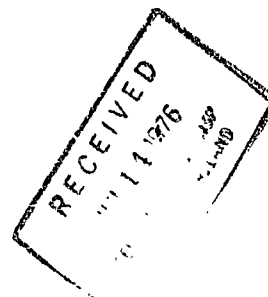
CONDITIONS ON EMISSION LICENSE

LICENSEE: Osteopathic Hospital of Maine, Inc.
33 1/2 Brighton Avenue, Portland, Maine

LICENSE NUMBER: 778

DATE: June 23, 1976

- (a) Employees and authorized representatives of the Department of Environmental Protection shall be allowed access to the premises of the licensee during normal business or operating hours, and at such other times as the Commissioner of the Department of Environmental Protection deems necessary, to perform such tests and inspections and examine all records relating to emissions.
- (b) A new Emission License shall be required prior to the commencement of a modification.
- (c) All applicable ambient air quality standards, emission standards, regulations, orders and local ordinances shall be complied with.
- (d) The licensee shall maintain sufficient records to accurately complete the application for an Emission License.



L

L



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION _____ PORTLAND, MAINE, July 14, 1976

JUL 16 1976

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 335 Birgton Ave. Fire District #1 , #2

1. Owner's name and address ... Osteopathic H_osi ... same ... Telephone

2. Lessee's name and address

3. Contractor's name and address ... Consolidated Const. 616 Congress St. Telephone 774-2626 ..

4. Architect

Proposed use of building ... hosp. Specifications Plans No. of sheet's

Last use

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$. 9,000. Fee \$. 36.00

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451 To install incinerator as per plans.
Ext. 234

- Dwelling
- Garage
- Masonry Bldg. Stamp of Special Conditions
- Metal Bldg.
- Alterations
- Demolitions
- Change of Use
- Other

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering Kind of heat fuel

No. of chimneys Material of chimneys of lining Corner posts Sills

Framing Lumber—Kind Dressed or full size? Size Max. on centers

Size Girder Columns under girders Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING:

BUILDING CODE: O. R. S. 8. 7/15/76

Fire Dept.:

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street? ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes.

Signature of Applicant Phone #

Type Name of above Jem. Hutchins 1 2 3 4

Other
and Address

FIELD INSPECTOR'S COPY

NOTES

12-14-76 put it hooked up - m
1-24-77 still working well
2-16-77 completed - m

Permit No. 16/630
Location 335 Brighton Ave
Owner Delapalme Hwy
Date of permit 7-16-76
Approved

Two large empty rectangular sections with horizontal lines, separated by a vertical line, intended for additional notes or drawings.



APPLICATION FOR PERMIT

PERMIT ISSUED

SEP 9 1975

750
CITY OF PORTLAND

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION _____ PORTLAND, MAINE, Sept. 4, 1975.

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 335 Brighton Ave, Fire District #1 , #2

1. Owner's name and address Osteopathic Hospital Telephone

2. Lessee's name and address

3. Contractor's name and address Fred J. DeWaters 39 Warren Ave Telephone 854-8393

4. Architect

Proposed use of building Hospital Specifications Plans No. of sheets

Last use

Material No. stories 4 Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$

Fee \$ 29.00

FIELD INSPECTOR—Mr. HOBBS

This application is for: @ 775-5451

Dwelling Ext. 234

Garage

Masonry Bldg.

Metal Bldg.

Alterations

Demolitions

Change of Use

Other

GENERAL DESCRIPTION

To install a self contained rooftop air conditioning unit. 219 ton

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

DETAILS OF NEW WORK

Is any plumbing involved in this work?

Is any electrical work involved in this work?

Is connection to be made to public sewer?

If not, what is proposed for sewage?

Has septic tank notice been sent?

Form notice sent?

Height average grade to top of plate

Height average grade to highest point of roof

Size, front depth

No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joist and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION—PLAN EXAMINER 9-9-75

ZONING:

BUILDING CODE: A. J. Hoffert, Jr. will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Fire Dept.:

Health Dept.:

Others:

Signature of Applicant Fred J. DeWaters Phone #

Type Name of above Fred J. DeWaters B.C.A. 1 2 3 4

Other and Address

FIELD INSPECTOR'S COPY

1ak

NOTES

11-22-76 Although everything is closed in, I'm assuming that the previous inspectors would have caught any problems - NO

Permit No. 257752
Location 335 Buellton Ave
Owner Caterpillar Corp
Date of permit August 9, 1975
Approved Alvin Anderson

Caterpillar Corp.

~~Area~~



APPLICATION FOR PERMIT

PERMIT ISSUED

SEP 9 1975
749 74219
CITY of PORTLAND

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE, Sept. 9, 1975.

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 335 Brighton Ave. Fire District #1 [], #2 []
1. Owner's name and address Osteopathic Hospital same Telephone
2. Lessee's name and address Vermont Heating & Ventilating Co. Telephone
3. Contractor's name and address 183 1/2 Williston Rd., South Berlington, Vermont Telephone 802-658-0500
4. Architect Specifications Plans No. of sheets
Proposed use of building Hospital No. families
Last use sheet Metal No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 19.00 Fee \$

FIELD INSPECTOR - Mr. Hoffses GENERAL DESCRIPTION
This application is for: @ 775-5451 To install sheet Metal ducts for the heating and ventilating system
Dwelling Ext. 234
Garage
Masonry Bldg.
Metal Bldg. Stamp of Special Conditions
Alterations
Demolitions
Change of Use Permit issued to: Gary Potvin
Other Downtown Station, Portland

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [] 2 [] 3 [] 4 [] above
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber--Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof, an over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION--PLAN EXAMINER 9-9-75 Will work require disturbing of any tree on a public street?
ZONING:
BUILDING CODE: P.D. Hoffman et al. Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed? yes
Others:

Signature of Applicant Gary Potvin Phone #
Type Name of above Gary Potvin 1 [] 2 [] 3 [] 4 []

FIELD INSPECTOR'S COPY
iak

City and Address

May 24, 1972

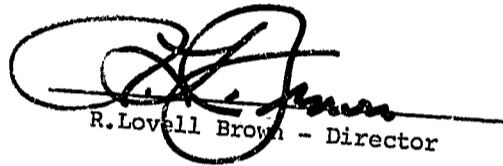
Memo for GL file:

In reference to the Osteopathic Hospital - 335 Brighton Ave.

Received at 9:05 A.M. from Patricia Meally of Corporation Counsel, word that it is permissible to issue to Consolidated Constructors & Builders, Inc. a permit for excavation and foundation only.

It is understood that before blasting takes place, an arrangement between the hospital, local homeowners and the contractor will be made.

On the strength of this conversation with Mrs. Meally, I will issue the required permit to Consolidated Constructors.


R. Lovell Brown - Director



APPLICATION FOR ELEVATOR PERMIT

Portland, Maine, Sept 6, 1961

PERMIT ISSUED
01145
SEP 11 1961
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, Portland, Me.
The undersigned hereby applies for a permit to install alter elevator x in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications submitted herewith, and the following specifications:

Location 335 Brighton Ave. Ward Within Fire Limits? Dist. No.
Owner's name and address Osteopathic Hospital of Maine 335 Brighton Ave.
Elevator contractor's name and address Otis Elevator Co. 550 Forest Ave.
Plans filed as part of application yes Telephone
Last use of building hospital No. sheets 1
Proposed use of building " No. families
Material of outside walls of building concrete block, interior frame steel
No. of stories 2 Style of roof No. of existing elevators in building 1
Fec \$ 3.00

Remarks
To install (2) hydraulic elevators. (one passenger and one freight)

Details of Proposed Work

Extent of work by elevator contractor installation of (2) elevators.
Extent of work by owner new wing (addition)
Type of Elevator hydraulic
Shaftway enclosed or open enclosed, in new or existing shaftway new
Capacity of elevator 243412-3500 lbs. No. elevator stops 243412-4 stops
Material of cables 243413-2500 lbs. Speed in feet per minute 243412-110 ft. per min.
Location of machinery in basement No. and size of hoisting cables 243413-55 ft. per min.
Minimum diameter of sheaves none Material of supports conent blk., of guides steel
Minimum clearance above car at topmost floor level 243412-3' 3/4"
Minimum clearance buffer plates and springs when car is at lowest floor level 243413-5'
Type of power hydraulic AC Type of machine 243412-6"
Will elevator be equipped with the following safety devices: governor? no, car safety? no, electric brakes? no
no, automatic terminal stops at top and bottom? yes, slack cable stops? no, safety floor stops? yes

If Passenger Elevator
Passenger capacity? 20 Area of platform 243412-5' 1/4" x 8' 1/4" Material of enclosure steel
No. of entrances 1 Type of gates door, interlocked yes automatic closing device? yes
Will elevator be automatic or will operator be in attendance? automatic
Will doors in shaftway enclosure be interlocked? yes

If Freight Elevator
Area of platform 6' 3/8" x 7' No. of sides enclosed 3 Height of enclosure 6' 3"
Will shaftway be enclosed? yes Self-closing hatch gates? yes Height? 6' 1/4" Bi-parting doors? yes
No. outside entrances to shaftway? 2 Self-closing slatted gates? no Height?

O. N. G. M. H. G. Signature of elevator contractor

STATEMENT OF ELEVATOR TESTS

I, PORTLAND, MAINE,
as an employee of
installation or alterations to the elevator, hatchways and enclosures at , have personally supervised the as permitted under Building Permit , and have personally supervised tests of loading capacity and of all brakes, interlocking and all other safety devices, and I do here state that, according to my best knowledge and belief, the elevator will safely carry the maximum rated loading and all brakes, interlocking and other safety devices are in satisfactory condition.

 (Signature)

CUMBERLAND, SS: PORTLAND, MAINE,
Personally appeared the above named STATE OF MAINE
subscribed are true. and made oath the statements by him

INSPECTION COPY Notary Public Justice of the Peace

7-11



R3 RESIDENCE ZONE APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation
Portland, Maine March 28, 1962

PERMIT ISSUED
00242
MAR 28 1962
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland; plans and specifications, if any, submitted herewith and the following specifications:

Location 335 Brighton Ave. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Osteopathic Hospital of Maine, 335 Brighton Ave. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Hahnel Bros. Co., 42 Main St., Lewiston Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets _____
Proposed use ilding _____ No. families _____
Last use Hosp Hospital _____ No. families _____
Material brick _____ No. stories _____ Heat _____ Style of roof _____ No. families _____
Other buildings on same lot _____ Roofing _____
Estimated cost \$ _____

General Description of New Work

Fee \$ 5.00

To install ventilation system entire new addition as per plans

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Hahnel Bros. Co.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____ Kind of heat _____ fuel _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Sills _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8-feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Hahnel Bros. Co.

APPROVED:

OK-3/28/62-ajl

Signature of owner By: _____

Donald E. Grant
Gen. Supt.

P.H.

CS 101

INSPECTION COPY



APPLICATION FOR PERMIT

R3 RESIDENCE ZONE

PERMIT ISSUED
00200
MAR 19 1962
CITY OF PORTLAND

Class of Building or Type of Structure Installation
Portland, Maine, March 16, 1962

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment specifications, if any, submitted herewith and the following specifications:

Location 335 Brighton Ave.
Owner's name and address Osteopathic Hospital of Maine, 335 Brighton Ave. Within Fire Limits? _____ Dist. No. _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Fred J. DeWaters, Inc., 27 Belknap St. Telephone _____
Architect _____ Telephone _____
Proposed use of building _____ Specifications _____ Plans yes No. of sheets 1
Last use Hospital " _____ No. families _____
Material brick No. stories _____ Heat _____ Style of roof _____ No. families _____
Other buildings on same lot _____ Roofing _____
Estimated cost \$ _____

General Description of New Work

Fee \$ 5.00

To extend sprinkler system as per plan for new addition

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO DeWaters

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____ Kind of heat _____ fuel _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Corner posts _____ Sills _____
Framing Lumber—Kind _____ Dressed or full size? _____ Max. on centers _____
Size Girder _____ Columns under girders _____ Size _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Fred J. DeWaters, Inc.

APPROVED:
OK - 3/19/62 - agj

Signature of owner By: Fred J. DeWaters

INSPECTION COPY

CS 301

P.H.

Memorandum from Department of Building Inspection, Portland, Maine

FIRE ALARM SYSTEM.

Location: 235 Brighton Ave.

February 9, 1962

When such a system has been installed, the owner and lessee of the building are responsible for keeping the system in working order at all times so that the system may always be on guard to warn the occupants of the building in case a fire starts. To discharge this responsibility and to have good assurance that he will not be held either financially or criminally liable in case of injury or loss of life in his building due to fire, it is my belief that the owner and lessee must see to it that the alarm system is tested every twenty-four hours. This may be done by merely pressing very briefly the test button to see if the bells ring loud and clear.

Most of these systems have dry batteries for their power, and the batteries will deteriorate in time so that they will not ring the alarm bells satisfactorily, if at all. If the batteries are used briefly by this test every day, they will last longer than when tested less frequently. Because this is a safety device whenever it is found that the bells do not ring loud and clear or any other defects appears in the system, the owner or his agent should notify immediately some predetermined party who has agreed in advance to come at once and service the system, whether day or night, Sunday or holidays.

It is recommended that the name of such a party and the address and telephone number be posted permanently on or in the control box of the system.



R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine,

2nd class

February 7, 1962

RECEIVED
00114
7 10 1962

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 335 Brighton Ave.
 Owner's name and address Osteopathic Hospital of Maine 335 Brighton Ave. Within Fire Limits? _____ Dist. No. _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Automatic Fire Alarm Div. of Eastern Fire Equip. Co. 1220 Minot Ave. Auburn-430 Fore St. Telephone 4-2421
 Architect _____ Plans _____ No. of sheets _____
 Proposed use of building _____ No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____

Fee \$ 5.00

General Description of New Work (200/01(250))
 To install automatic fire alarm system using Firelites, thermostats Models #51 to 54 made by Star Sprinkler Corp. not more than 36" apart, not more than 15' at right angles from any wall or partition extending to ceiling, to cover entire building, all public and stair halls, any closet with electrical equipment or combustible materials are kept all hazardous rooms if any, gongs of such tones, strength of signal, number and location as to arouse all persons for whose protection intended-current by dry batteries of capacity to ring all gongs simultaneously at full strength signal, to operate system at least one year, installed in substantial cabinet no less than 14 gauge steel or well-seasoned wood at least 3/4" thick with hinged door and latch and located not less than 6" nor more than 6" above floor in dry, clean place where temperature will not go below 40 degrees F. permit and capable of testing bells and gongs frequently, Alarm silencing switch, if provided, will be so arranged that alarm will sound if switch is thrown to "silent" position when alarm is not sounding, installer will fasten to control box full instructions as to operation and testing of system and where and how to secure servicing if system gets out of order.
 4" square lites to be used on floors instead of gongs with buzzer at switchboard.
 It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** _____ address in Auburn.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____ Sent to Fire Dept. 2-7-62
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____ Kind of heat _____ fuel _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Corner posts _____ Sills _____
 Framing Lumber-Kind _____ Dressed or full size? _____ Max. on centers _____
 Size Girder _____ Columns under girders _____ Size _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On-centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Automatic Fire Alarm Div. of Eastern Fire Equip. Co.
 Signature of owner by: Roger R. Martel

APPROVED:

Carl P. Johnson
 CHIEF OF FIRE DEPT.
CS-301
2/12/62-998

INSPECTION COPY

7.71

MEMORANDUM FROM DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

August 16, 1961

Location 375 Brighton Ave.

Before tank and piping is covered from view, installer is required to notify the Fire Dept. Headquarters of readiness for inspection and to refrain from covering up until approved by the Fire Dept. Headquarters

(2)
This tank of 1000 gallons capacity is required to be of steel or wrought iron no less in thickness than # 10 gauge; and before installation is required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and special protection wherein corrosive soil such as cinders or the like.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Installation

Portland, Maine

August 15, 1961

PERMIT ISSUED

01022
AUG 16 1961

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 335 Brighton Ave. Within Fire Limits? _____ Dist. No. _____
 Owner's name and address _____ Telephone _____
 Lessee's name and address Osteopathic Hospital of Maine Telephone _____
 Contractor's name and address C. Galli & Son, 43 Portland St. Telephone _____
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building Hospital No. families _____
 Last use _____ Heat _____ Style of roof _____ No. families _____
 Material _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____

General Description of New Work

Fee \$ 2.00

To replace existing 1-1000 gallon fuel oil tank

Tank to be buried at least 3' below grade; coated with asphaltum; bears Und. Lab.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** C. Galli & Son

Sent to Fire Dept. 8/15/61
Taken from Fire Dept. 8/16/61

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ stories _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____ Kind of heat _____ fuel _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Sills _____
 Framing Lumber - Kind _____ Dressed or full size? _____ Corner posts _____ Max. on centers _____
 Size Girder _____ Columns under girders _____ Size _____ Bridging in every floor and flat roof span over 8 feet.
 Studs (outside walls and carrying partitions) 2x4-16" O. C. _____, 1st floor _____, 2nd _____, 3rd _____, roof _____
 Joists and rafters: _____, 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: _____, 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: _____, 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
C. Galli & Son

APPROVED:

Carl P. Johnson
CHIEF OF FIRE DEPT.

CS 501

INSPECTION COPY

Signature of owner By: John B. Revera Jr.

PH



R3 RESIDENCE ZON^F

APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd class installation
Portland, Maine, April 3, 1962

PERMIT ISSUED
APR 4 1962
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 335 Brighton Ave.
Owner's name and address Osteopathic Hospital of Maine 335 Brighton Ave. Within Fire Limits? _____ Dist. No. _____
Lessee's name and address _____ Telephone _____
Contractor's name and address E.B. Bourne & Son 56 Cross St. Telephone _____
Architect _____ Telephone 2-3907
Proposed use of building _____ Specifications _____ Plans yes No. of sheets 1
Last use _____ " _____ No. families _____
Material brick No. stories 3 Heat _____ Style of roof _____ No. families _____
Other buildings on same lot _____ Roofing _____
Estimated cost \$ _____

General Description of New Work

Fee \$ 5.00

To install ventilation system in Room 12 as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** _____ contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled 'and'? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" C. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? _____ no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____ yes

M.B. Bourne & Son

Signature of owner by: _____

APPROVED:

O.K. by M.I.C.

CS 501

INSPECTION COPY



R3 RESIDENCE ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Excavation Only
 Portland, Maine, July 20, 1961

PERMIT ISS
 JUL 20 1961
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE
 The undersigned hereby applies for a permit to erect alter repair or demolish install the following building structure equipment
 in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and
 specifications, if any, submitted herewith and the following specifications:
 Location 335 Brighton Ave.
 Owner's name and address Osteopathic Hospital Main Fire Limits? _____ Dist. No. _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address C. Galli & Sons, 53 Portland Street Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building Hospital No. families _____
 Last use _____ Heat _____ Style of roof _____ No. families _____
 Material _____ No. stories _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____

General Description of New Work

Fee \$ 2.00

To EXCAVATE ONLY for 4-story masonry addition

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in
 the name of the heating contractor. **PERMIT TO BE ISSUED TO** _____ contractors

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____ Kind of heat _____ fuel _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Sills _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to
 see that the State and City requirements pertaining thereto are
 observed? yes

APPROVED:

O.K. - 7/20/61 - ags

INSPECTION COPY

Signature of owner By:

Osteopathic Hospital of Maine
 C. Galli & Sons
James H. Galli

1927

NOTES

9-2-61 Drilling
blast ing ledge

Best of luck ready to
start Form 5 next
week

...
 ...
 ...
 ...
 ...

Permit No 117716

Location 335 Brighton Ave

Owner Carter & Sons

Date of permit 9/20/61

Notif. closing-in

Inspn. closing-in

Final Notif

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

AP- 329-335 Brighton Ave.

July 28, 1961

Mr. Gerald M. Kelley, Admins.
Osteopathic Hospital of Maine
335 Brighton Avenue
G. Galli & Sons
53 Portland Street

cc to: James Saunders Assoc.
562 Congress Street

Gentlemen:

Building permit for construction of a three story and basement addition to hospital at the above named location is issued herewith based on revised plans and specifications filed at this office on July 25, 1961 and architect's letter of July 26, 1961, but subject to the following conditions:

1. As soon as available, information is to be furnished indicating compliance with Building Code requirements for venting of pent house of passenger elevator shaftway.
2. Separate permits issuable only to the actual installers are required from this office for installation of incinerator, sprinkler and mechanical ventilation systems, and elevators.

Very truly yours,

Albert J. Sears
Building Inspection Director

AJS:m

JAMES SAUNDERS ASSOCIATES ARCHITECTS
baxter building portland maine

James C. Saunders AIA
Thomas V. Galland

July 26, 1961

Mr. Albert J. Sears
Building Inspection Director
Department of Building Inspection
City Hall
Portland, Maine

Re: Osteopathic Hospital of Maine

Dear Mr. Sears:

In reply to your Just 21st letter relative to the issuance of a building permit for the Osteopathic Hospital of Maine, we will take up the various items in the same numbered order used in your letter.

1. There are 78 parking spaces at the hospital now and it is planned to increase this number to 88 parking spaces.

The total area of the building, when the addition is completed, will be 38,242 square feet, exclusive of cellar. According to the formula of one parking space for 500 square feet of floor area, we will require 76 spaces. O.K.

2. Your attention is invited to sheets 2, 3, 4, and 5 of the drawings which show the swing of these doors in the direction of exit travel from the addition. O.K.

3. Door in question is a 1-1/2 hour "B" label with liquid closure. O.K.

4. Your attention is invited to sheet 3 of the drawings showing door #118 to be 3'8", to sheet 5 of the drawings which shows door #321 to be 3'3", and also on sheet 5, door #322 to be 3'10", and the second floor entrance door to the enclosed stairway in the present building to be 3'10". O.K.

5. Your attention is invited to sheets 19, 20, 21, 22, the electrical drawings, which show the exit lights. OK
6. Your attention is invited to drawings 3 and 16 which show this ramp to be within the one foot in twelve allowable pitch and calling for a wood float finish to insure a non-slip surface. OK
7. Your attention is invited to section 25 of the specifications which lists the hardware schedule.
8. Your attention is invited to drawings 24, 25, 26, and 27, the plumbing section, which show the stand-pipe and hose, which we believe comply with the requirements of the Building Code. OK
9. Your attention is invited to sheet 24 of the drawings which shows the extent of the automatic sprinkler system contemplated and which we believe is in compliance with the requirements of the Building Code. OK
10. Your attention is invited to section 27 of the specifications which calls for Armstrong Fire Guard ceiling system which is approved by the Underwriters for two hour protection. OK
11. Your attention is invited to sheets 13 and 14 which show that show that all steel and roof construction is either fire proof steel or reinforced concrete construction. OK
12. Your attention is invited to sheet 5 of the drawings and section 16, page 4 of the specifications which together show the extent of the steel corridor partitions and describes the system employed. OK
12. Revised drawing will be submitted showing thin glass window in the wall of the elevator shaftway above the roof level, equal to three-fourths of the area of the shaft. later

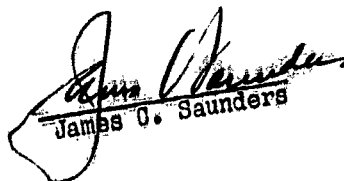
This office was erroneously informed by the State Elevator Inspection Service that compliance with the State Elevator Code would be satisfactory to your office and this information was followed in preparing the drawings.

We note that in the last paragraph of your letter that not more than two construction signs may be displayed and that the combined area of the two may not exceed fifteen square feet.

It is requested that if an examination of the drawings referred to in the foregoing shows satisfactory compliance with the Code, that a permit be issued on the assurance of this office that the elevator shaftway will be corrected to your satisfaction.

If there are any questions, we would appreciate your calling us as we are most anxious that construction of this project not be delayed.

Sincerely,


James O. Saunders

JCS:ccb

CC: Mr. Gerald M. Kelley

AP-329-335 Brighton Avenue

July 21, 1961

cc to: Gerald M. Kelley, Admins.
Osteopathic Hospital of Maine
335 Brighton Avenue

James Saunders Associates
562 Congress Street

Gentlemen:

I am still unable to issue a permit for construction of proposed addition to hospital building at the above named location because of lack of insufficient information to show compliance with Zoning Ordinance and Building Code requirements. Information concerning the following items discussed with Mr. Mitchell has not as yet been furnished:

Plan
to
Come

1. Plot plan showing existing and new off-street parking is needed. The Zoning Ordinance requires one off-street parking space at least 8 feet wide and 18 feet long for each 500 square feet of floor area or major fraction thereof exclusive of cellar.
2. Doors in existing wall between present building and addition are required to swing in the direction of exit travel from the addition. - O.K.
3. Door 319 to stairway enclosure is required to bear at least a Class "C" label and to be equipped with a liquid closer. - O.K.
4. Unless already 44 inches wide, the doors in existing wall between present building and addition in first and third stories and the entrance doors to enclosed stairway in second and third stories of present building are required to be made at least that width. - O.K.
5. Exit lights are required to indicate location of all means of ingress and egress. - O.K.
6. The slope of the ramp at first story rear entrance is greater than the one foot in 12 feet allowable. If slope exceeds one foot in 20 feet, non-slip surfacing is required. The 18 inch drop to ground at outer end of ramp is not allowable. Steps off side is O.K.
7. Vestibule latch sets or equivalent are required on all doors in a means of egress on which locking devices of any kind are to be provided. ?
8. What provision is to be made for complying with requirements of Building Code for standpipe and hose? - O.K.
9. Storage rooms and work shops in basement are required to be equipped with an automatic sprinkler system. - O.K.
10. No information has been furnished as to the type and system of acoustical tile ceilings. There is no section in set of specifications which we have that relates to this subject.

Brighton Avenue

(2)

July 21, 1961

11. All steel in roof construction, including beams across openings where window wall construction occurs at north end of addition and side wall of stair tower, is required to be fireproofed. -O.K.

12. It is understood that material of corridor partitions in third story has been changed. We have no details of such a change. -O.K.

13. Area of thin glass windows in wall of elevator shaft above roof is required to equal at least three-quarters of the area of the shaft. -O.K.

Attention is called to requirement of Section 16-A-8b that not more than two signs identifying the construction project having a combined area of not over 15 feet may be lawfully erected on the premises. -O.K.

Very truly yours,

Albert J. Sears
Building Inspection Director

AJS/js

AP-329-335 Brighton Avenue

June 15, 1961

Mr. Gerald M. Kelley, Administrator
Osteopathic Hospital of Maine
335 Brighton Avenue

cc to: James Saunders Assoc.
562 Congress Street
cc to: Corporation Counsel

Dear Mr. Kelley:

Building permit for construction of a three story and basement addition to hospital at the above named location is not issuable under the Zoning Ordinance because the height is to exceed the maximum of 2 1/2 stories set by Section 4-3-5 of the Ordinance applying to the R-3 Residence Zone in which the property is located.

We understand that you would like to exercise your appeal rights concerning this discrepancy. Accordingly we are certifying the case to the Corporation Counsel, to whose office in Room 208, City Hall, you should go to file the appeal.

Very truly yours,

AJS/jg

Albert J. Sears
Building Inspection Director

APPLICATION FOR PERMIT

Class of Building or Type of Structure

class

Portland, Maine,

June 12, 1961

PERMIT ISSUED

00909

JUL 28 1961

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 335 Brighton Ave. (329-335) Within Fire Limits? _____ Dist. No. _____

Owner's name and address Osteopathic Hospital of Maine, 335 Brighton Ave. Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address Robert C. Galli & Sons, 53 Portland St. Telephone 2-8392

Architect _____ Specifications _____ Plans yes No. of sheets _____

Proposed use of building Hospital No. families _____

Last use _____ No. families _____

Material masonry No. stories 4 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost \$ 265,000.00 Fee \$ 150.00

General Description of New Work

To construct 3-story masonry addition to existing hospital 43' x 83' as per plans and specifications.

Advance permit for excavation issued 7/20/61

Appeal sustained 6/29/61

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owners

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Osteopathic Hospital of Maine

APPROVED:

with letter by AGJ

CS 301

INSPECTION COPY

Signature of owner

by

Edward M. Kelly, Chairman

60000

NOTES

8-29-61 Forms

going up on feet in as on ladder

12-6-61 Pen and steel studs supporting roof loads appear weak for top

channel plate for wood door framing

1-11-62 roof corr. 9 @

Chimney framing at roof 7 floors

12-12-61 Arch. to boot up top channels

at 3rd floor roof

sticker Bar joists carrying chimney

holders - all floors @

1-19-62 All above re-designed & installed

by Amendment # 2

3-26-62 Third floor OK. Closed in

~~XXXXXX~~

~~XXXXXX~~

~~XXXXXX~~

~~XXXXXX~~

~~XXXXXX~~

~~XXXXXX~~

~~XXXXXX~~

~~XXXXXX~~

~~XXXXXX~~

~~XXXXXX~~

~~XXXXXX~~

~~XXXXXX~~

~~XXXXXX~~

Permit No. 51/909

Location 33113 1/2 St. N. S. W. Ave.

Owner *W. J. ...*

Date of permit 9/18/61

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

2-26-62

Fire doors

alarm

Hose

Vent. Permit

Incinerator

~~XXXXXX~~

done



R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine,

June 15, 1961

PERMIT ISSUED
JUN 26 1961
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 335 Brighton Ave. Within Fire Limits? Dist. No.

Owner's name and address Osteopathic Hospital of Maine 335 Brighton Ave. Telephone

Lessee's name and address Telephone

Contractor's name and address Benjamin Wrecking Co, 99 Main St., Portland Telephone 3-3585

Architect Specifications Plans no No. of sheets

Proposed use of building Hospital No. families

Last use Style of roof Roofing

Material frame No. stories 3 Heat No. families

Other buildings on same lot Estimated cost \$ Fee \$ 1.00

General Description of New Work

To demolish existing 3-story frame building (attached to existing hospital)
To brick up walls of hospital where portion was removed.

Do you agree to tightly and permanently close all sewers or drains connecting with this public or private sewers from this building or structure to be demolished under the supervision and to the approval of the Dept. of Public Works of the City of Portland? Yes.

This portion removed will be used for construction.

Graduation letter sent 6-15-61
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size front depth Thickness, top bottom earth or rock?

Material of foundation No. stories Roof covering Kind of heat fuel

Kind of roof solid or filled land? cellar

No. of chimneys Rise per foot Material of chimneys Dressed or full size? Roof covering Kind of heat fuel

Framing Lumber-Kind Columns under girders Size Corner posts Sills

Size Girder Bridging in every floor and flat roof span over 8 feet.

Studs (outside walls and carrying partitions) 2x4-16" O. C. 1st floor , 2nd , 3rd , roof

Joists and rafters: 1st floor , 2nd , 3rd , roof

On centers: 1st floor , 2nd , 3rd , roof

Maximum span: 1st floor , 2nd , 3rd , roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Osteopathic Hospital of Maine
Benjamin Wrecking Co.

Signature of owner by: Benjamin Wrecking Co

APPROVED:

H. E. M.

INSPECTION COPY

H. E. M.

NOTES

7-11-61 Down to 1st floor -
11-20-61 Completed

Permit No. 611714
Location 335 Bayshore Ave.
Owner *Delaparte Properties, Inc.*
Date of permit 6/26/61
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final insp. _____
Cert. of Occupancy issued _____
Sinking Out Notice _____
Form Check Notice _____

Vertical form with multiple lines for notes and data entry. Includes fields for 'No. families', 'Rooming', and 'No. of rooms'. The form is mostly blank with some faint markings.

7 7 18

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Osteopathic Hospital of Maine
335 Brighton Ave.
Portland Maine

June 15, 1961

Gentlemen:

With relation to permit applied for to demolish a ~~building~~ or portion of building at 335 Brighton Ave. it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

Albert J. Sears

Albert J. Sears
Inspector of Buildings

AJS/jg

Eradication of portion of building has been completed.
(this is a 3-story frame building attached to existing hospital brick building).

OK
J. M. M.

Won't be entry until 6-26-61

APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR USE OF PREMISES

Portland, Maine May 22, 1959

Location 335 Brighton Ave.

Zone _____

To the INSPECTOR OF BUILDINGS, Portland, Maine

The undersigned hereby applies for a certificate of occupancy to allow the use of the above named premises for Off-street parking (extension of existing parking lot) as set forth on the attached site plan (made by _____ whose address is _____) to show compliance with the Zoning Ordinance according to the intended use and the zone in which the property is located; and in accordance with the following pertinent information:-

Owner (name, address and phone number) Osteopathic Hospital of Maine

Lessee (name, address and phone number) 335 Brighton Ave.

Is proposed use to be accessory to a building or other use on this lot? yes
If so, what is use of building or other use _____

If off-street parking is sought, what is proposed maximum number of vehicles to be parked—passenger cars? 16; commercial vehicles? _____

Have you secured on the site plan the written approval of existing and proposed entrances to and exits from the premises for vehicles over public sidewalks by the Traffic Engineer (Dept. of Pub. Works)? No new entrances
And, if access to the premises is available from more than one street, have you secured similar approval by the Planning Board? _____

Have you shown on the site plan the true location of all trees on the public street along the frontage of the premises (both streets if a corner lot)? None

Do you propose to remove or disturb any tree on a public street? No
If so, have you secured on the site plan the written approval of the Director of Parks and Recreation? _____

Signature of Owner Osteopathic Hospital of Maine

By Samuel M. Miller, Chairman
(duly authorized in retoro)

To 8/17/59 work inspected satisfactory & decided to issue no certificate because of delay and small messy area on S. side of lot

COMMENCING the above proposed use of the premises would be IN VIOLATION of the Zoning Ordinance unless a Certificate of Occupancy is first procured from the Department of Building Inspection.

However, improvement of the premises according to the site plan and the above application may now proceed without further authorization, but subject to the conditions indicated below—notice of readiness for final inspection to be given to this department when the premises have been placed in compliance with the requirements:-

(Date) _____

Inspector of Buildings