



APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd class

Portland, Maine February 10, 1959

PERMIT ISSUED

FEB 10 1959

CITY of PORTLAND

To the INSPECTOR OF BUILDING - PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 335 Brighton Ave. Within Fire Limits? no Dist. No. _____
 Owner's name and address Osteopathic Hospital of Maine, 335 Brighton Ave. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Pettengill-Ross Co. 57 Cross St. Telephone 2-6223
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building Hospital No. families _____
 Last use _____ No. families _____
 Material brick No. stories 3 Heat _____ Style of roof _____ No. families _____
 Other buildings on same lot _____ Roofing _____
 Estimated cost \$ _____

General Description of New Work

Fee \$ 2.00

To remove existing duct work and provide new and larger duct work and fan (in X-Ray room) as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the contractor. **PERMIT TO BE ISSUED TO** _____ contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____ Kind of fuel _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Corner posts _____ Sills _____
 Framing Lumber-Kind _____ Dressed or full size? _____ Size _____ Max. on centers _____
 Size Girder _____ Columns under girders _____
 Kind and thickness of outside sheathing of exterior walls? _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Osteopathic Hospital of Maine
Pettengill-Ross Co.

APPROVED:

OR 2-10 53 772

INSPECTION COPY

Signature of owner by: [Signature]

F.M.

NOTES

7-26-59 Mr Miller to
phone labor in
to cut holes in
space time next
month. (HP)

7-29-59 Completed
all OK (MAC)

N

to be done.

Permit No. 59/187

Location 33' S. 1/2 Sec. 16, T. 12N., R. 10E., S. 1/4

Owner B. J. Miller, Highway 10, Lawrence, Mo.

Date of permit 3/10/59

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice



Class of Building

RESIDENTIAL HOME
FOR PERMIT
August 5, 1958
Portland, Maine

PERMIT ISSUED
01019
AUG 7 1958
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 335 Brighton Avenue Within Fire Limits? Dist. No.
Owner's name and address Osteopathic Hospital of Maine, 335 Brighton Ave. Telephone.
Lessee's name and address Telephone.
Contractor's name and address Pettengill Ross Co., 57 Cross St. Telephone 2-6223
Architect Specifications Plans yes No. of sheets 1
Proposed use of building Hospital No. families
Last use " No. families
Material brick No. stories 2 Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ Fee \$ 2.00

General Description of New Work

To install ventilation system for boiler room as per plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Pettengill-Ross Co.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Column under girders Size Max. on centers
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot. to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

OK-8/6/58-ajj

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Osteopathic Hospital of Maine
Pettengill-Ross Co.

INSPECTION COPY

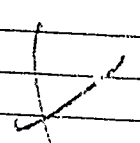
Signature of owner By: Amelia Pettengill

PH

PERMIT
PROJ

NOTES

8-17-58 Net start
 8-29-58 Hole started
 thru boiler room
 roof. need of fire
 damper - To call Sears. (IP)
 9-8-58 Fire Damper in
 No more done (IP)
 9-24-58 Completed (IP)



PERMIT

Type of S

Capacity issued

in closing-in

util. closing-in

of permits

It No

58 / 1019

9-8-58
9-23-58
9-29-58

tion 335 Buehler Case

W. H. ...

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(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION #395 Brighton Ave.

Issued to Osteopathic Hospital of Maine Inc.

Date of Issue April 23, 1958

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 56/1158, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES
with section addition at rear of former
new wing and reconstructed front portion of
original building.

APPROVED OCCUPANCY
Type A Hospital

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date) Nelson F. Cartwright
Inspector

Waverly
Inspector Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



APPLICATION FOR PERMIT

Class of Building or Type of Structure

01458

Portland, Maine, Sept. 11, 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~the following building~~ ~~in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:~~

Location 335 Brighton Ave. Within Fire Limits? no Dist. No. _____
 Owner's name and address Osteopathic Hospital of Maine, Inc., 335 Brighton Ave. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Paul B. McLellan Co., 52 Marginal Way Telephone 2-5951
 Architect _____ Specifications _____ Plans yes No. of sheets 59
 Proposed use of building hospital No. families _____
 Last use _____ No. families _____
 Material _____ No. stories 3 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 508,000. Fee \$ 150.00

General Description of New Work

To construct exterior masonry walls; erect structural steel, including steel joints, but excluding fireproofing for the present; To construct floor and roof framing and structural slabs and underfloor and under roof construction, excluding penthouse; To construct walls of elevator shaftway enclosure, and adjust wall between present wing and new part, but excluding all interior walls and partitions and ceilings for the present; also excluding all work on standpipe and hose system. All of the above applies to that part of building adjacent to present wing, and work in connection with altering original building is excluded.
 Advance permit for excavation only issued.
 Advance permit for portions of foundation only issued 7/20/56.

Permit sustained 3/16/56

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Paul B. McLellan Co.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent see that the State and City requirements pertaining theret observed? yes

Osteopathic Hospital of Maine, Inc.
 Paul B. McLellan Co.
 Signature of owner by: [Signature] Engineer

INSPECTION COPY

NOTES

9-17-56 Foundation
 completed except rear
 wall section
 2 right hand 1st floor
 slabs sections poured.
 OK

9-23-56 Rear wall
 + inside footings pour.
 OK

10-2-56 Hallways ready
 to go in. OK

10-16-56 Checked over
 10" WF Beams resting
 on window lintels with
 Frank Murphy OK

11-5-56 Existing
 floor pans of hall
 floors 1st & 2nd floors
 start off resting
 on new joining steel
 beams. OK

11-16-56 Heavy lintels
 on 1st & 2nd floors
 (2) on each floor
 have no bearing
 plates.

11-29-56 Using solid
 2" x 2" steel plate
 spacers between
 bolted channels on
 all floor levels
 joining new & old
 Blags. OK

12-12-56 Went over
 steel erection -
 found missing bolts
 welds & spacers
 bolts not tight
 Mr. Murphy to have
 steel erector go
 over entire job then
 OK for another
 section. OK

When checking
 steel erection
 triple check
 wall bearing.

Permit No. 56/1458
 Location 335 Franklin Ave.
 Owner C. J. [unclear]
 Date of permit 9/11/56
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy Issued 4/23/58
 Staking Out Notice
 Form Check Notice

plates 2nd floor
 over corner boiler room
 1-11-57 better window
 1-15-57 Incinerator in
 operation. Conc. slab
 + fire proof steel beam
 add in place. Temporary
 fire door installed
 as out swinging fire
 door can't be hung. OK

2-8-57 Phone Mr. Wharton
 Door Jamb # 232 to
 close to kitchen. OK
 Above moved OK

2-19-57 Floors all
 floors moved. OK

3-12-56 hallways not
 fireproofed between ceiling
 + conc. floor slab. OK W.M.C.D.

3-13-57 First floor ready
 for closing except over
 fire shutter + fire wall. OK

3-13-57 better W.M.C.D.

3-18-57 Not done OK

3-29-57 OK to close in
 third floor operating
 rooms etc. OK

4-15-57 2nd floor fire
 wall partition OK above
 ceiling next to fire shutter
 OK

4-29-57 Fire wall 2nd floor
 has been pierced by pipes in
 oversize holes section
 over head bet. Elev. & right wall.

10
 0
 0

Location 335 Brighton Ave

Complaint No. _____

Permit No. 56/1458

May 1-57 O.K. to close in 2nd floor. <u>CP</u>	11-18-57 Bldg Framed out + floor slabs being poured. Waiting for elec. service to close in New Front. <u>CP</u>
5-13-57 O.K. to close in first floor fire wall O.K. between ceiling + slab <u>CP</u>	11-26-57 O.K. to close in third floor of new front addition <u>CP</u>
5-29-57 O.K. to close in ground floor-basement <u>CP</u>	12-3-57 O.K. to close in 1st floor of front addition <u>CP</u>
7-2-57 Went over exit lights with Director Blin Lumsden & Geo. Wheaton. Need exit signs 2nd & 3rd floors middle of corridors where drop ceilings occur. <u>CP</u>	12-5-57 O.K. to close in 2nd floor front addition <u>CP</u>
7-25-57 Temp. wooden stairway 44" wide to be provided at 2nd floor level to patio over boiler room. while old wooden front being removed. <u>CP</u>	12-16-57 O.K. to close in basement + use double plaster under top two risers cutting thru fire wall of stairs up from basement <u>CP</u>
8-9-57 Door changed on Temp. Emer. Exit stairs from 2nd floor <u>CP</u>	1-20-58 Nearly ready for final. Exit lights ready to go on Boiler room door needs closer - put on Incinerator room wall to be finished - back corner <u>CP</u>
9-9-57 Work started on basement of new part of old wooden front slab under 12" fire wall OK To fire proof over Basement fire door some how around pipes <u>CP</u>	2-4-58 ... cape moved over rear ... ding down needs footings under stair landing + 1 column. Vent in incinerator room OK Exit signs in front stairwell Replace fire doors " " OK
	4-15-58 All completed <u>me</u>

X me



APPLICATION FOR PERMIT

R3 RESIDENCE ZONE

Class of Building or Type of Structure 1st Class

Portland, Maine, February 28, 1958

PERMIT ISSUED

00183

FEB 27 1958

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 335 Brighton Avenue Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Osteopathic Hospital of Maine, 335 Brighton Ave. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owners Specifications _____ Plans yes _____ No. of sheets 1
 Architect _____ Telephone _____
 Proposed use of building hospital No. families _____
 Last use _____ Style of roof _____ No. families _____
 Material masonry No. stories 4 Heat _____ Roofing _____
 Other building on same lot _____
 Estimated cost \$ 125. _____ Fee \$ 2.00

General Description of New Work

To erect 8" concrete block partitions in basement for toilet rooms and storage space as per plan or to use metal studs and perforated gypsum lath and plaster
 Toilets to be vented into louvre through outside wall - forced ventilation
 Sprinkler system to be extended to cover this area

SEE LOCATION OF THIS WORK ON SHEET #2 OF GENERAL CONSTRUCTION PLANS

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owners

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Kind and thickness of outside sheathing of exterior walls? _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated ...
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Osteopathic Hospital of Maine

APPROVED:

OK-2/27/58-ags

INSPECTION COPY

Signature of owner By:

Carol Miller

PH

NOTES

3-10-58 Conc. block
toilet walls going in (10)

4-23-59 Completed
vents in (10)

X

Permit No. 58/183

Location 335 Bi-Alta Ave.

Owner *Deborah West*

Date of permit 3/27/58

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Sealing Out Notice

Form Check Notice

3-15
2-18



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, March 20, 1958

PERMIT ISSUED
00257

MAR 21 1958

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter-repair-demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 335 Brighton Ave. Within Fire Limits? no Dist. No.
Owner's name and address Osteopathic Hospital of Maine, 335 Brighton Ave. Telephone
Lessee's name and address Telephone
Contractor's name and address Carroll Miller, 335 Brighton Ave. Telephone 4-3921
Architect Specifications Plans no. No. of sheets
Proposed use of building Hospital No. families
Last use " No. families
Material frame No. stories 3 Heat Style of roof Roofing
Other building on same lot
Estimated cost \$ 100.00 Fee \$.50

General Description of New Work

To erect (2) non-bearing partitions one 12' long -the other 14' long in basement.
Covered with sheetrock 2x4 studs.

THIS WORK IS IN WOOD FRAME PORTION OF DOULING

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owners

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot....., to be accommodated. number commercial cars to be accommodated...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

OK- 3/21/58 / [Signature]

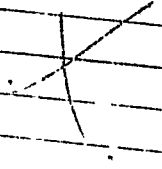
Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person who is not a resident of the City of Portland? no
Will the State and City requirements be observed? yes

Osteopathic Hospital of Maine

NOTES

4-23-58 Completed
Spec. & loc. heads OK
None



Permit No. 58/257
 Location 335 Brighton Ave.
 Owner *Robert L. Roberts*
 Date of permit 3/21/58
 Staff, close-in
 Insp'n. on scene in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice

A large section of the document consisting of numerous horizontal lines, intended for additional notes or data entry. The lines are mostly blank, with a large 'X' mark in the upper portion.

January 22, 1958

AP - 335 Brighton Avenue

Moguler & Jones Company
33 Pearl Street
Osteopathic Hospital of Maine
335 Brighton Avenue

Gentlemen:

Permit for extension of fire escape on rear of wood frame portion of hospital at the above named location is issued herewith based on plan filed with application for permit and subject to condition that concrete foundation extending at least four feet below grade or to ledge if that is found at a lesser depth is to be provided for bottom of lower run of stairs as indicated on plan.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS:M



R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, January 15, 1958

PERMIT ISSUE
00075
JAN 22 1958
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 335 Brighton Ave. Within Fire Limits? Dist. No.
 Owner's name and address Osteopathic Hospital of Maine, 335 Brighton Ave. Telephone
 Lessee's name and address Telephone
 Contractor's name and address Megquier & Jones, 33 Pearl St. Telephone 3-6472
 Architect Specifications Plans yes No. of sheets 1
 Proposed use of building Hospital No. families
 Last use No. families
 Material masonry No. stories 2 Heat Style of roof Roofing
 Other building on same lot Fee \$ 2.00
 Estimated cost \$ 190.

General Description of New Work

To erect metal fire escape second floor to ground on rear of frame portion of building as per plan.

Permit Issued with Letter 1/17/58
No. 4 from Fire Dept. 1/21/58

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Megquier & Jones

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Material of underpinning Height Thickness
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Kind and thickness of outside sheathing of exterior walls?
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor , 2nd , 3rd , roof
 On centers: 1st floor , 2nd , 3rd , roof
 Maximum span: 1st floor , 2nd , 3rd , height?
 If one story building with masonry walls, thickness of walls?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no.
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Osteopathic Hospital of Maine
Megquier & Jones

APPROVED:

with letter by ags
Carl P. Johnson
CHIEF OF FIRE DEPT.

NOTES

2-4-58 Completed
except footings *JP*
Completed *JP*

X

Permit No. 58175
Location 335 13th Ave
Owner *W. J. ...*
Date of permit 1/30/58
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued
Staking Out Notice
Form Check Notice

[Faint, mostly illegible text in the lower section of the notes area]

W. J. ...



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1

Portland, Maine, January 21, 1958

PERMIT ISSUED

JAN 22 1958

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 57/1616 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 335 Brighton Ave. Within Fire Limits? no Dist. No.
Owner's name and address Osteopathic Hospital of Maine Inc. 335 Brighton Ave. Telephone
Lessee's name and address Grinnell Company, 501 Fore St. Telephone
Contractor's name and address Grinnell Company, 501 Fore St. Telephone 3-3879
Architect Plans filed yes No. of sheets 4
Proposed use of building Hospital No. families
Last use " No. families
Increased cost of work Additional fee .50

Description of Proposed Work

To reconnecting old system that was disconnected during construction work, as per plan

Details of New Work Permit to contractor

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof F's per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved: Albert J. Sears

Grinnell Company Signature of Owner by: E. J. [Signature]

Approved: 1/22/58 [Signature] Inspector of Buildings FM

INSPECTION COPY CS-105



APPLICATION FOR PERMIT

Class of Building or Type of Structure Masonry
Portland, Maine, Oct. 16, 1957

RECEIVED
OCT 17 1957
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ~~alter~~ ~~repair~~ ~~demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 335 Brighton Ave. Within Fire Limits? no Dist. No. _____
Owner's name and address Osteopathic Hospital of Maine Inc, 335 Brighton Ave Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Grinnell Company, 501 Fore St. Telephone 3-3879
Architect _____ Specifications _____ Plans Yes No. of sheets 1
Proposed use of building Hospital No. families _____
Last use Hospital No. families _____
Material Masonry No. stories 4 Heat _____ Style of roof _____ Roofing _____
Other building on same lot _____
Estimated cost \$ _____ Fee \$ 2.00

General Description of New Work

To install dry sprinkler system as per plan. for ground floor only.

1/22/58. Plans filed with this permit was superseded by those filed with amendment so has been destroyed.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O.V. 10/17/57-agg

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes
Osteopathic Hospital of Maine Inc.
Grinnell Company.

INSPECTION COPY

Signature of owner by: *E. J. [Signature]*

City-254-1M-3176

F.M.

NOTES
2-4-58 Completed

FOR PERMIT

Permit No.	5711616
Location	3313 B. ... Ave.
Owner	Dele ...
Date of permit	9/17/57
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	
Cert. of Occupancy issued	
Staking Out Notice	
Form Check Notice	

General Description

1. Name of building	
2. Address	
3. Nature of work	
4. Kind of work	
5. Material of construction	
6. Estimated cost	
7. Name of contractor	
8. Name of architect	
9. Name of engineer	
10. Name of inspector	
11. Name of permittee	
12. Name of owner	
13. Name of contractor	
14. Name of architect	
15. Name of engineer	
16. Name of inspector	
17. Name of permittee	
18. Name of owner	
19. Name of contractor	
20. Name of architect	
21. Name of engineer	
22. Name of inspector	
23. Name of permittee	
24. Name of owner	
25. Name of contractor	
26. Name of architect	
27. Name of engineer	
28. Name of inspector	
29. Name of permittee	
30. Name of owner	

APPROVED

Inspector	
Permittee	
Owner	
Contractor	
Architect	
Engineer	

FOR PERMIT

Permit No.	5711616
Location	3313 B. ... Ave.
Owner	Dele ...
Date of permit	9/17/57
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	
Cert. of Occupancy issued	
Staking Out Notice	
Form Check Notice	

General Description

1. Name of building	
2. Address	
3. Nature of work	
4. Kind of work	
5. Material of construction	
6. Estimated cost	
7. Name of contractor	
8. Name of architect	
9. Name of engineer	
10. Name of inspector	
11. Name of permittee	
12. Name of owner	
13. Name of contractor	
14. Name of architect	
15. Name of engineer	
16. Name of inspector	
17. Name of permittee	
18. Name of owner	
19. Name of contractor	
20. Name of architect	
21. Name of engineer	
22. Name of inspector	
23. Name of permittee	
24. Name of owner	
25. Name of contractor	
26. Name of architect	
27. Name of engineer	
28. Name of inspector	
29. Name of permittee	
30. Name of owner	

APPROVED

Inspector	
Permittee	
Owner	
Contractor	
Architect	
Engineer	

FOR PERMIT

Permit No.	5711616
Location	3313 B. ... Ave.
Owner	Dele ...
Date of permit	9/17/57
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	
Cert. of Occupancy issued	
Staking Out Notice	
Form Check Notice	

November 8, 1957

BP 335 Brighton Ave.,--Amendment # 3 relating to the roof of remaining rear portion
of original hospital

Paul B. McLellan Co.,
52 Marginal Way
Mr. Gerald Kelley, Adm.
Osteopathic Hospital of Me. Inc.
335 Brighton Ave.

Stevens & Saunders
187 Middle St.

Gentlemen:

Issued to the contractor, herewith, is the approved amendment to cover change in the proposal to construct a new roof over the remaining rear portion of the original hospital on the basis of leaving the pitch roof of that portion as it is except protection of the small portion of the roof to project above the new work, which will be made weatherproof and suitable protection where the wooden frame portion adjoins the new fire division wall at the rear of the new portion.

It is the understanding that the required fire separation wall between the new front portion and the existing rear portion will be constructed the same as shown on the plans with a parapet wall no less than 32 inches above the surface of the new roof.

It is also the understanding that neither the original permit nor subsequent amendments authorizes alterations, at least above the basement, of this existing portion to remain, and that no alterations on the floors above the basement of this existing portion are to be made unless plans showing the changes are filed with another application for amendment.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/B

6B



R3 RESIDENCE ZONE
APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #3

Portland, Maine, Oct. 23, 1957

PERMIT ISSUED
NOV 8 1957
CITY OF PORTLAND
10/23

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No 56/1458 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 335 Brighton Ave. Within Fire Limits? no Dist. No.
 Owner's name and address Osteopathic Hospital of Maine, 335 Brighton Ave. Telephone
 Lessee's name and address Telephone
 Contractor's name and address Paul B McLellan Co, 52 Marginalway. Telephone 2-5951
 Architect Plans filed No. of sheets
 Proposed use of building Hospital No. families
 Last use " " No. families
 Increased cost of work Additional fee .50

Description of Proposed Work

Plans on file show pitch roof, wanted changed to flat roof at that time, the decision is now that roof will remain same as plan,

Permit Issued with Letter

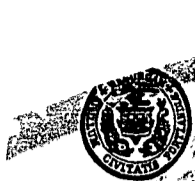
Details of New Work permit to contractor

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Material of underpinning Height Thickness
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining
 Framing lumber—Kind Dressed or
 Corner posts Sills Girt or ledger board? Size
 Girders Size Columns under girders Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridg and flat roof span over 8 feet.
 Joists and rafters: 1st floor , 2nd , roof
 On centers: 1st floor , 2nd , 3rd , roof
 Maximum span: 1st floor , 2nd , 3rd , roof

Approved:

Osteopathic Hospital of Maine
 Paul B McLellan Co.
 Signature of Owner by: [Signature]
 Permit Issued with Letter
 Approved: 11/8/57 W. Wareham [Signature]
 Inspector of Buildings
 F. M.

INSPECTION COPY
 CS-105



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, August 1, 1957

PERMIT ISSUED

AUG 2 1957

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location: 325 Brighton Ave. Use of Building: Hospital No. Stories: 3 New Building Existing " Name and address of owner of appliance: Osteopathic Hospital of Maine Installer's name and address: Thompson-Winchester Co., 1299 Boylston St., Boston, Mass. Telephone: Comm. 6-4500

General Description of Work

To install Two Gas Ranges-one gas fryer-one gas broiler-1 gas-fired combination steam cooker & stock kettle. all fireproof construction. (basement)

IF HEATER, OR POWER BOILER

Location of appliance Any burnable material in floor surface or beneath? If so, how protected? Kind of fuel? Minimum distance to burnable material, from top of appliance or casing top of furnace From top of smoke pipe From front of appliance From sides or back of appliance Size of chimney flue Other connections to same flue If gas fired, how vented? Rated maximum demand per hour Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner Labelled by underwriters' laboratories? Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? Type of floor beneath burner Size of vent pipe Location of oil storage Number and capacity of tanks Low-water shut off Make No. Will all tanks be more than five feet from any flame? How many tanks enclosed? Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance: basement Any burnable material in floor surface or beneath? none If so, how protected? Height of Legs, if any: none Skirting at bottom of appliance? 4" Distance to combustible material from top of appliance? none From front of appliance: none From sides and back: none From top of smokepipe: none Size of chimney flue Other connections to same flue Is hood to be provided? yes If so, how vented? thru roof Forced or gravity? forced If gas fired, how vented? thru roof Rated maximum demand per hour: 6200 cfm 3/4 sp

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Gas-fired appliances will be equipped with device which will automatically shut-off all gas supply in case pilot flame is extinguished. Combination BTU for all appliances except combination steam cooker & kettle will be 298,500.

Amount of fee enclosed? 4.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

OK 8-1-57 MZE

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes Osteopathic Hospital of Maine Thompson-Winchester Co.

C17 MAINE PRINTING CO.

INSPECTION COPY

Signature of Installer

by:

Karl W. DeFuria FM

August 16, 1957

BP-335 Brighton Ave.
Temporary certificate of occupancy for new addition to Osteopathic Hospital

Mr. Gerald M. Kelley, Adm.
Osteopathic Hospital of Me., Inc.
335 Brighton Ave.

Copy to Paul B. McLellan Co.,
Stevens & Saunders
Chief of the Fire Dept.

Dear Mr. Kelley:

This letter will supersede that of August 2 which was a temporary certificate of occupancy for the use of the first, second and third floors of the "T" portion of the new addition and that portion of the ground floor used for the new X-ray department, but reaffirms use of those areas and also includes the new kitchen and nurses' and doctors' dining rooms on the ground floor.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS/B

OSTEOPATHIC
HOSPITAL OF MAINE, INC.

335 BRIGHTON AVENUE - PORTLAND, MAINE

EXECUTIVE OFFICE

August 16, 1957

Mr. Warren A. McDonald
Inspector of Buildings
Department of Building Inspection
City of Portland, Maine

Dear Mr. McDonald:

I would like, at this time, to apply for a temporary
certificate of occupancy for the balance of the ground floor
of the "T" portion of our new wing.

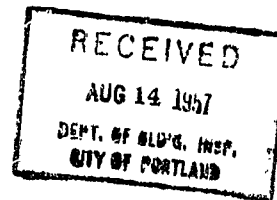
If this request is granted I am planning to start operating
the new kitchen and dining rooms on Friday of this week.

Your usual cooperation will be much appreciated.

Yours truly,

Gerald M. Kelley
Gerald M. Kelley
Administrator

GMK:jmcg



August 2, 1957

BP 335 Brighton Ave.—Temporary certificate of occupancy
by letter for use of the first, second and third floors of the "T" portion plus the use of
a portion of the ground floor of the same portion of the new part of the Osteopathic Hospital

Mr. Gerald M. Kelley, Adm.
Osteopathic Hospital of Maine, Inc.

Copy to Paul B. McLellan Co.,
Stevens & Saunders
Chief of the Fire Dept.

Dear Mr. Keller:

This letter will supersede that of June 28, which was a temporary certificate of occupancy for the use of second and third floors of the "T" portion, but reaffirms that use and also includes the first floor and that portion of the ground floor to be used as the new X-ray Department; all subject to the following conditions:

1. In view of the demolition of the front portion of the original hospital, thus eliminating the stairway from second to first floor, a new temporary stairway is being built from the second floor corridor to the first floor outdoor patio, as indicated on architects' plan No. X-11, dated August 2, 1957. This stairway is to be available, suitably marked and kept in service in lieu of the stairway in the front part of the original hospital until such time as the new enclosed stairway is completed and ready for use. It is understood that this arrangement has received the approval of the Fire Chief.

2. The "inside" fire alarm system in the "T" portion will be in operation and coordinated with the fire alarm system in the other parts of the hospital which are in use as a hospital.

3. The standpipe and hose system will be kept in working order and always accessible all during the transition period and thereafter.

4. If not already covered, safe emergency means of lighting the operating rooms and of the means of egress as deemed adequate by Chief Johnson of the Fire Department, who is also City Electrician, to comply substantially with Section 20913 of the Building Code.

5. Adequate, even if temporary, illuminated facilities for directing to all means of egress will be provided so that all available means of egress will be clearly evident.

6. As soon as the balance of the ground floor is ready for occupancy, we should be notified in writing and request for another temporary certificate made.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/B

OK
by
Fire
Chief
4-2-57

Osteopathic Hospital of Maine, Inc.

PORTLAND 4, MAINE

EXECUTIVE OFFICE

VISITING HOURS
2 TO 4 P. M.
7 TO 8:30 P. M.

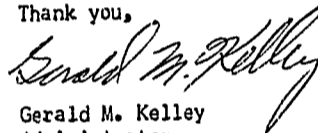
Mr. Warren Mac Donald
Building Inspector
Department Of Building Inspection
Portland, Maine

Dear Mr. Mac Donald:

I would appreciate a temporary certificate of occupancy for the X-- Ray Department on the ground floor and the first floor of the "I" portion of our new wing.

We have complied with the requests of your department and also with the recommendations of the Fire Department.

Thank you,



Gerald M. Kelley
Administrator

June 28, 1957

BP 335 Brighton Ave.--Temporary certificate of occupancy for the use of second and third floors of the "T" portion of the new part of the hospital

Mr. Gerald . Kelley, Administrator
Osteopathic Hospital of Maine, Inc.

Copies to Paul B. McLellan Co.
Stevens & Saunders
Chief of the Fire Dept.

Dear Mr. Kelley:-

This letter will serve as a temporary certificate of occupancy to authorize the use of the second and third floors of the "T" portion of the new work that your adjustments may be made to the end that the other proposed work may be underway and completed; but subject to all of the conditions indicated below, this temporary certificate having the verbal approval of Chief Johnson of the Fire Department. If these conditions are not understood or you are unable to comply with them, please take the matters up immediately with Chief Johnson or this department whichever seems pertinent.

The following conditions are those mentioned in your letter of June 21st requesting this temporary certificate.

1. The existing stairways (especially the front stairway in the wooden frame part of the hospital) will be maintained until the enclosed stairway has been completed and is ready and accessible for use. *ok.*

2. The "inside" fire alarm system in the "T" portion will be in operation and co-ordinated with the fire alarm system in the other parts of the hospital in use as a hospital. *OK
4-21-56*

3. The new standpipe and hose system will be placed and kept in working order all during this transition period and thereafter. *ok.*

The following conditions are not contained in your letter, but they are important and the certificate is issued on the basis that these will be care for:

4. Steps will be taken to provide, at least temporarily, safe emergency means of lighting the operating rooms and of the means of egress in compliance with Section 20913 of the Building Code. In the case of doubt as to adequacy, question should be taken up with Chief Johnson who is also City Electrician. *ok.*

5. Adequate, even if temporary, illuminated facilities for directing to means of egress will be provided so that all available means of egress will be safely and, if necessary, directionally indicated. *ok.*

Without particular regard to this temporary certificate of occupancy, your attention is called to the following matters:

--our field inspector reports that the cabinets containing the fire hose *7B*

Mr. Gerald H. Kelley, Administrator - - - - - #2
Osteopathic Hospital of Maine, Inc

June 28, 1957

racks have locks on them. This matter should be referred to Chief Johnson for his decision. It does not seem safe to us. You will remember that when we were having our discussions about the standpipe and hose system, as soon as practicable you were to ask Chief Johnson to either come himself or send someone to instruct your staff in the proper use of these hose lines in case of emergency. It seems to me that ought to be done now or as quickly as possible.

—while the Fire Department is out there in connection with the standpipe and hose arrangement, will you be good enough to have them also instruct your staff as to the operation of the automatic rolling fire shutters near the new elevators not only as to how they are to be closed and opened by hand, but their function to create an area of refuge to the extent that if a fire or smoke or other emergency should take place on one side of a fire shutter on a given floor, the staff will know how to move the patients to the other side of the shutter and close the shutter by hand. This also applies to the formerly installed steel fire shutters nearer the old section of the hospital. So many times perfectly good safety devices are installed at large expense, but do not meet the needs at time of emergency because their operation is either defective or not understood.

OK

OK
7/20

Very truly yours,

Warren McDonald
Inspector of Buildings

WHCD/G

7B
7B
8B

Stevens & Saunders
Paul B. McLellan Co.

2

May 9, 1957

A check should be made before the door hardware or the doors themselves, if the hardware comes with the doors, are purchased to make sure that all such doors in the required means of egress are equipped with vestibule latches making it always possible to open the door without fail on the part of those going in the direction of egress.

19.97 Not involved in this particular part of the work, but of considerable importance, is the matter of closing-off the pipeshaft from the boiler room with fire-resistance of not less than 2-hours. This was discovered last week and called to the attention of the architects. If access to the pipeshaft is required from the boiler room, it should be by means of a Class B fire door.

Firestop
OK
5-29-57
mrl

Very truly yours,

Warren McDonald
Inspector of Buildings

WMCD/B

JB



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #2

Portland, Maine, April 24, 1957

PERMIT ISSUED

MAY 13 1957

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE 56/1458

The undersigned hereby applies for amendment to Permit No. 527 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 335 Brighton Ave.

Owner's name and address Osteopathic Hospital of Maine, Inc., 335 Brighton Ave. Within Fire Limits? no Dist. No.

Lessee's name and address

Contractor's name and address Paul B. McLellan Co., 52 Marginal Way Telephone

Architect

Proposed use of building Hospital Plans filed yes No. of sheets

Last use

Increased cost of work

Additional fee 50

Description of Proposed Work

To demolish existing portion of existing (old part) of hospital (toward Brighton Ave.)
To construct 2-story ~~frame~~ addition as per plans

Permit Issued with Letters (2) #19420

Details of New Work Paul B. McLellan Co.

Is any plumbing involved in this work?

Is any electrical work involved in this work?

Height average grade to top of plate

Height average grade to highest point of roof

Size, front

depth

No. stories

solid or filled land?

earth or rock?

Material of foundation

Thickness, top

bottom

cellar

Material of underpinning

Height

Thickness

Kind of roof

Rise per foot

Roof covering

No. of chimneys

Material of chimneys

Framing lumber—Kind

Dressed or full size?

Corner posts

Sills

Girt or ledger board?

Girders

Size

Columns under girders

Size

Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor....., 2nd....., 3rd....., roof

On centers: 1st floor....., 2nd....., 3rd....., roof

Maximum span: 1st floor....., 2nd....., 3rd....., roof

Approved:

Signature of Owner BY: Paul B. McLellan

Osteopathic Hospital of Maine

Approved: 5/13/57

Inspector of Buildings

INSPECTION COPY

CS. 105

May 13, 1957

BP 335 Brighton Ave. Amendment # 2 Osteopathic Hospital of Maine, Inc.,
Construction of front part of original hospital building

Letter No. 20

Paul B. McLellan
52 Marginal Way
Stevens & Saunders
187 Middle St.

Copy to Osteopathic Hospital of Maine, Inc.
335 Brighton Ave.
McLellan Co.

Gentlemen:

Amendment #2 of original permit to cover reconstruction of the front part of the original hospital building is issued to the contractor herewith subject to the conditions contained in our letter of May 9 (letter No. 19) and subject to the following:

20.98 A short time ago we took up with Mr. Ward of the architects (he was to go over the detail with Mr. Wheaton) a detail at the front and exterior side wall of the portion covered by this amendment where our field inspector had found that the plans seemed to rely upon supporting upon the fireproofing of the steel spandrel beams the steel angle which would support the outer course of the exterior brick wall. The architects were to look into this matter and furnish a more definite detail of how this masonry was to be supported and the load transferred to the steel. Our field inspector later reported that these steel spandrel beams to support the masonry over the glass exterior walls of the first story had been found on the job and that the steel contractor had solved the problem by connecting the steel angle, intended to support the outer masonry face directly upon the spandrel beam by a more or less standard connection. Thus, if we have the right information now in this and any similar situation, the detail works out satisfactorily without any further details from the architects.

20.99 If there is not agreement about the above condition and those contained in letter No. 19, it is hoped that the architects will discuss the matter with us quickly. Otherwise, since we are now issuing the amendment, please let us have written instructions from owner to contractor authorizing whatever changes may be necessary in details or plans. If revised plans are necessary, please furnish our copy to the contractor that he may file them here. We should, of course, receive copies of letters of instruction to the contractor concerning any of these features.

Very truly yours,

Warren McDonald, Inspector of Buildings

WMcD/B

May 9, 1957

AP 335 Brighton Ave., Osteopathic Hospital of Maine, Inc.—Construction of front
part of original hospital building

Letter No. 19

Stevens & Saunders
187 Middle St.
Paul B. McLellan Co.
52 Marginal Way

Copy to Osteopathic Hospital of Maine, Inc.
335 Brighton Ave.

Gentlemen:

Check of application for amendment of original permit to cover reconstruction of the front part of the original hospital building, now in progress, discloses the following, which it seems best to call to your attention without waiting to complete the check:

- 19.93 Doors 244 in wall between old and new parts and 243 in connection with new enclosed stairway should be 44 inches wide instead of 36 inches as shown on the schedule. Door 240A (third floor) should also be 44 inches wide—it has not been located on the schedule.
- 19.94 A standard exit light should be provided on the side toward Brighton Ave., of doorway 244, and similar exit lights and white lights in the means of egress appear necessary from this doorway all the way to the ground level via the old hospital—this because this means of egress is the required second means of egress for the patients on second floor of the new part now under consideration.
- 19.95 A standard exit light is required over doorway 240A (third floor) on the side toward Prospect St., (this doorway is not shown on the electrical plans), and the exit light shown on the Prospect St. side of doorway 300 is also necessary.
A directional exit sign should be painted on or otherwise applied to the wall of enclosed stairway opposite doorway 332—this to make clear that the means of egress is down the stairs, not to the left. A similar directional exit sign should be provided on the wall of the landing of the enclosed stairway at second floor level to make clear that the means of egress is down the stairs, not out into the corridor.
- 19.96 The new enclosed stairway for means of egress is in this particular part of the work. If any of the doors involved in the enclosed means of egress, including the corridor along second story roof or the doors in the fire walls separating old and new part and doors through the rear part of the original hospital required as a means of egress, require locks or fastenings,

March 13, 1957

335 Brighton Ave.—Osteopathic Hospital of Maine, Inc.—Two-hour separation wall and rolling fire shutter on first and second floors near elevator

Stevens & Saunders
187 Middle St.
Paul S. McLoilan Co.
52 Marginal Way

Letter No. 18

Copy to Osteopathic Hospital of Maine, Inc.
335 Brighton Ave.
Three (3) copies to McLoilan Co.

Continued:

Deficiencies have been found in connection with the fire separation wall on first and second floors and the rolling steel fire shutters in the openings to provide an area of refuge to satisfy Building Code requirements—this with reference to Paragraphs 13.60, 16.80, architects' letter of 2/1/57 and Sheet X-1 of the plans, the latter bearing the last revision date of 9/25/56. Part of this was brought to Mr. Wheaton's attention over the phone on March 12.

18.90 That part of the 2-hour fire separation wall toward Highland St. is required to provide a two hour barrier for fire and smoke from the concrete deck of the floor below to the under side of the deck of the floor above except for the net opening for the actual steel shutter. This means that this two-hour barrier cannot extend only to the under side of a ceiling, but must extend clear to the under side of the deck of the floor above with full 2-hour fire resistance, and must similarly extend across over the fire shutter opening in the corridor from the top of the net opening to the under side of the floor deck above on one side or the other of the casing of the rolling steel shutter mechanism.

OK
MRE

18.91 The detail of the fire shutter and its operating mechanism on Sheet X-1 seems to show the fusible link to make the shutter automatic on the side of the opening toward Prospect St. and at a level about 8 or 10 inches above the head of the actual opening in the wall. With such an arrangement a fire on the Brighton Ave. side would spread through the opening and might extensively involve the side of the hospital toward Prospect St. before the shutter closed automatically. Such shutters which we have dealt with in the past have had the fusible element underneath the head of the opening, a result which is necessary for safety and that the fire shutter accomplish its full purpose. If, with this type of shutter, it is not feasible to put the fusible element under the head of the opening, it will be necessary to provide a fusible element on each side of the opening and at a level not above the under side of the head of the opening, or preferably slightly below it.

OK
MRE

18.92 Please let us have a copy of the letter to the contractor arranging for and authorizing these changes. It is understood that the contractor is right up to closing-in these locations, and we, of course, cannot give approval for closing-in until these details are cared for.

OK
MRE

Very truly yours,

Warren McDonald, Inspector of Bldgs.

STEVENS AND SAUNDERS
ARCHITECTS
187 MIDDLE STREET • PORTLAND 3, MAINE

Members of the American Institute of Architects
JOHN HOWARD STEVENS
JOHN CALVIN STEVENS 2ND
JAMES COOPER SAUNDERS

February 19, 1957

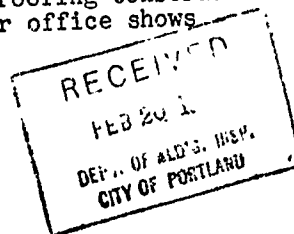
Mr. Warren McDonald
Inspector of Buildings
City Hall
Portland, Maine

Re: Osteopathic Hospital of Maine, Inc.

Dear Warren:

We will take up the various items of your letter of February 5, in the order which you used.

- 16-70 Note, blanket extension of the permit and request that installing contractor file for separate contract covering standpipe and hose racks. Such instructions have been issued.
- 16-71 A new drawing of exit lights is being submitted in accordance with the understanding as to arrangement reached between you and Mr. Brown of this office last Thursday.
- 16-72 It is our understanding that the swing of the doors from the kitchen toward Brighton Avenue as shown was covered in the above mentioned conference between you and Mr. Brown and agreed that such an arrangement is satisfactory.
- 16-73 Mr. Earl Sawyer of this office discussed the fire alarm system with the fire department personnel on several occasions, doing the design of same. Subsequently, shortly after September 5, a drawing was left with Captain Flaherty at the fire department. Apparently this drawing was not turned over to former Chief Marr or been seen by Chief Johnson. A new print is being submitted forthwith.
- 16-74 Electric generator has been relocated from the original intention and is now in the boiler room which meets requirements of fireproofing construction. Our drawing No. X-6 in your office shows this new location.



Mr. Warren McDonald

-2-

February 19, 1957

- 16-75 The Owners told us that about 30 people would be the maximum which they would expect to accommodate in this area at one time. This matter was reviewed with you, however, in the previously mentioned conference with Mr. Brown, and revised drawings will show the additional exit fixture at G-27-A.
- 16-76 Sprinkler heads in the incinerator room are provided for in the specifications and will be included in the work.
- 16-77 We are attaching an amendment to our previously submitted statement of design to include the design of welded joints specifically.
- 16-78 This would appear to be covered by 16-70 above, in that such work will come under the permit issued to the Grinnell Company. We note that you are disappointed that provisions for standpipe and hose was not made in the existing frame construction which is already protected by sprinkler system. We could not justify the expense for such an installation in view of the plans already formulating for replacing this entire wood construction with a building of first class construction.
- 16-79 We have re-checked loads under bearing plates and I believe that Mr. Cartwright is familiar with any modifications which may be required. Full information will be forwarded within the next few days.
- 16-80 Change Order has been prepared supporting our letter of February 1, instructing the contractor to accomplish this work on the partition as outlined in your letter.
- 16-81 Mr. Morton, of this office, and Mr. Sears have reviewed the arrangement of duct work and a revised drawing is being submitted covering the modifications suggested.
- 16-82 Arrangements have been made with the job to have the plaster thickness around this duct increased to a minimum of 1" and changed to a perlite aggregate plaster.
- 16-83, 84
and 85 Our Drawings Nos. 9, 10, and 12 show 1" of Vermiculite plaster with from 1" to 2-1/2" free air space which we understand offers from 3 to 4 hour fire protection when taken in conjunction with steel plate and 2-1/2" topping for floor construction. The 3/4" plaster to which you refer is, I believe, found only in partitions. Following your suggestion, however, we are reviewing the whole system of fireproofing to see if some economies may be affected.

RECEIVED

FEB 20 1957

DEPT. OF PUBLIC WORKS
CITY OF PORTLAND

February 5, 1957

AP 335 Brighton Ave.—Osteopathic Hospital of Maine, Inc.—Addition
and alterations

Letter No. 16

Paul B. McLellan Co.,
52 Marginal Way
Stevens & Saunders
187 Middle St.

Copy to Osteopathic Hospital of Maine, Inc.
335 Brighton Ave.
Paul B. McLellan Co., for use
with sub-contractors

Gentlemen:

The work of checking plans and specifications in the office and of field inspections has become so involved that it seems best to attempt to clear the situation by authorizing extension of the construction work, beyond the limited permit already issued, to include completion of the "T" shaped addition and the work in the original hospital building already largely completed around location of incinerator room and oxygen platform, but excluding all work of reconstructing the front part of the original hospital building. This letter, then, represents an extension of the existing permit to that extent, subject to the conditions which appear below and to compliance with the requirements of the Building Code whether specifically mentioned herein or not. The items below are an attempt to gather up the "loose ends" of our former numbered letters in cases where the issues have not been settled. Where applicable, reference will be made to the numbered paragraphs of the former letters.

16.70 This blanket extension of the construction permit without additional applications for amendments does not eliminate the requirements of the Building Code as to applying for and securing separate permits for certain parts of the work where separate permits are stipulated to be procured by installers. In this connection, and in view of the difficulties we have had with the standpipe and hose system, will the general contractor be good enough to instruct the installing contractor for standpipe and hose to file application for a separate permit based on the plans of these features which are now being revised and which will be referred to later.

16.71 Reference 1.10-Architects should get the matter of exit lights, outside white lights and the arrangement on exit circuits and the marking of switches controlling these lights well cleared up and locations approved here before the electrical contractor gets too far to correct any mistakes. The plans in this connection do not seem to have been completed. No designation of exit lights or signs have been discovered on Sheet E-7, the arrangement at the rear of the kitchen and for passage through the kitchen to the outside being particularly important on account of the nurses' dining room. On E-8 presumably the directional exit light pointing toward the terrace is existing. It is questioned if this will be the best means of egress after the work has been completed, and it is doubtful if the stairway leading from the terrace complies with the requirements for means of egress. An exit light will also

OK
2-14-57
Mr Brown

February 5, 1957

be necessary in the corridor outside of the foot of the enclosed stairway indicating exit through the new wing or through the reconstructed portion of original building.

16.72 Reference 1.11. Before doorways included in the required means of egress, whether inside or in exterior walls, are constructed, correctness of swing of all doors should be checked; and before contractor orders the door hardware the architect should clear up and get checked here the correct designations. This becomes particularly important in the area of the ground floor toward Prospect St.

16.73 Reference 1.14. Architects' letter of September 5 says that extension of existing inside fire alarm system will be submitted to the Fire Chief for approval. On November 6 former Chief Varr reported that this matter had not been presented to him. As soon as Chief Johnson's approval has been secured please advise with any revised plans reflected by his consideration.

16.74 Reference 1.15. Architects' letter of September 5 says that an electric generator to care for emergency lighting will be installed in an additional fireproof room adjacent to the incinerator room. Location and details of this room is not discovered on the latest plans. In this connection see Section 20913 of the Code.

16.75 Reference 3.30. Presumably the door at G27A will be the emergency means of egress from the nurses' dining room. On behalf of the owner, the architects should find out and notify this office in writing what the maximum capacity of the nurses' dining room will be in persons, bearing in mind that it may be convenient to use this room for instruction classes or social activities. G27A and the door normally used for entrance to the dining room require vestibule locksets favoring the dining room side. G27A will require a standard exit sign over it if the maximum capacity might be over 50. The exit situation at this point requires study. Would the double doors at G26 not be a required means of egress for persons in part of ground floor toward Brighton Ave.? If so, should they not swing toward the kitchen? If that is done, G27A should also swing toward the kitchen instead of as shown. This situation indicates a clear passage for means of egress through the kitchen to space G25 and thence to out of doors, with proper exit lights and white lights on exit circuits and proper hardware.

16.76 Reference 5.37. Note that new incinerator room is to be covered by sprinkler heads supplied by an extension from the existing system.

16.77 Reference 6.44. No answer to this inquiry about designer of welded joints is remembered. Will the architects advise in writing whether or not Mr. Wheaton's statement of design for the other structural work includes the design of the welded joints. If his statement does not include the welded joints, please advise who does take the responsibility and have that party furnish his own statement of design for the welded joints.

16.78 Reference 12.57 and 12.58. The plumbing plans as far as they show the standard standpipe with its branches and hoserack stations have been revised to show the intent of providing a "small" installation with two hoserack stations at each floor level but the third. It became evident that 75 feet of one and one-half inch hose would not give length enough to reach all parts of