File: Cit

ENGINEERING SERVICES, INC.

844 Stevens Avenue PORTLAND, MAINE 04103 July 8, 1975

City of Portland
Department of Building Inspection
City Hall
389 Congress Street
Portland, Maine 04111

JUL 9 & 1975

OFFER OF BLDG. INSP.

CHY OF PORTE AP

RECEIVED

ATTEN: Mr. Robert Brown

RE: Osteopathic Hospital of Maine

335 Brighton Avenue Portland, Maine

Gentlemen:

Enclosed please find descriptive literature for fireproofing columns which the General Contractor wishes to substitute for the original fireproofing as indicated on our drawings and as approved of by the Building Inspection Department.

Drawing No.2 and No.26 indicates interior column - 3 hour rating to be covered with 2" concrete.

- 1. Where columns are going to be concealed within partition lines, we would like your approval to substitute Zonolite (spray-applied) Monokote-5 Fireproofing 3 hour as described on Data Sheet No. MK-138 enclosed. This has been tested in accordance with ASTM F119 and ASTM E-84 as noted and referenced.
- 2. Where columns are going to be exposed to view, we would like your approval to substitute Gold Bond plaster in accordance with the enclosed data sheet giving a 3 hour rating with 1 3/8" plaster on 3.4 lb. diamond mesh metal lath...reference UL 3187-4-5-7.

May we have your decision at your very earliest convenience ? Thank you.

Very truly yours,

John Hoch

JWP/HN

Enclosur. cc: Consolidated Constructors & Builders, Inc.

3: 1

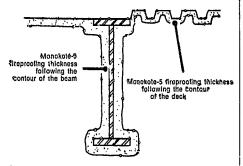


ÖNOLITE" MONOKOTE"-5

Data Sheet No. NK-138

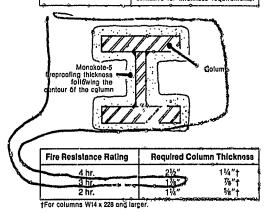
Fireproofing Spray-Applied Plaster (Cementitious) Structural Fire Protection

The Monokote-5 fireprooling thickness required to achieve a articular fire rating will depend upon local requirements. For the reasons described herein under "Fire Resistance," contact your nearest office of the Zonolite Construction Products Division, W. R. Grace & Co., or processing distributor for specific Monokote-5 fireproofing thicknesses and local fire resistance criteria



E		Required Be	am Thicknose	O
Rating	Hr.	Restrained	Unrestrained	/ These thicknesses are based on
Resistance	4	11/4"	21/85	ASTM E119 time-temperature criteria of 1100 F average and
턞	3	7/8"	\$1/44	1300 F maximum Contact the nearest Zonolite representative
æ	2	1/2"	7∕a ⁴³	for thickness requirements un-
Fire	1	716"	1/22	der criteria other than 1100/

Fire Resistance Rating	Required Floor and Roof Thicknesses
4, 3, 2 or 1 hz.	Bycause the complexities of floor and roof assemblies and the veri- oties of sleel floor configurations are too great to irst, and because the 1973 ASTM E119 require both restrained an unrestrained rating contact the nearest Zonolite repre- sontative for thickness requiremen



MONOKOTE-5 FIREPROOFING

Monokote-5 fireproofing is the trade name for a fire protection material developed by Zonolite Construction Products Division, W. R. Grace & Co., specifically for fast application, high fire resistance, and low cost. The material is spray-applied by any one of several plastering machines. Monokote-6 fireproofing is a cementitious (plater), mill-mixed material, requiring only the addition of water at the job. It is applied directly to steel, concrete and other surfaces requiring fire protection.

Monokote-5 irreprobling meets the requirements and is in compliance with the U.S. Environmental Protection (EPA) Regulation 40 C.F.R., Chap. ir 1, Subsection \$1.22E, promulgated by EPA on April 6, 1973.

TECHNICAL DATA

FIRE RESISTANCE

Monokote-5 irreproofing has been fire tested and, rated by Underwriters' Laboratories, Inc., in accordance with test method ASTM E119 Fire ratings up to 4 hours have been achieved. Each bag of material bears the UL label verifying. compliance with UL's quality control inspection program and the appropriate fire resistance rating.

The 1973 revision to ASTM test method E119 in general (1) introduces a new system for rating the hourly performance of assemblies and structural members and (2) provides for two ratings from the same fire test. The Underwriters' Laboratories Indox of Fire Resistance Ratings refers to two ratings -one based on time-temperature performance (unrestrained) and the other based on a combination of structural and lesser time-temperature performance criteria (restrained). Because local building codes may not yet have adopted the F119-73 criteria, contact the jurisdictional municipal authority for verification.

Monokote-5 fireproofing has been tested for other properties such as adhesion, corrosion resistance, deflection, bond impact, surface hardness, air elosion resistance, damageability resistance, etc. The test soults comply with, and if most instances exceed, General Services Administration (GSA) requir ments.

Tested and reported in accordance with ASTM E-84 by Underwriters' Laboratories, Inc. Flame Spread-10, Fuel Contributed-5, Smoke Developed-0.

Approximately 18-20 pcf. Underwriters' Laboratories, Ing. fists 16 pcf as minimum density.

SPECIFICATION (SHORT FORM)
Sprayed fireproofing material shall be Monokote-5 fireproofing as manufactured by Zonolite Construction Products
Division, W. R. Grace & Co., or its processing distributor, 43 shall be applied by machine to the thickness required by local codes and in the areas shown on the drawings. The method of mixing and application shall comply with the dignulacturer's recommendations.

Specifications

1. SCOPE

a) Work included

a) Work Included Provide all labor, materials and equipment required for complete installation of all sprayed fireproofing and related work as shown on the drawings or specified here and in accordance with all applicable requirements of the Contract Documents.

b) Work Not Included

- 1. Structural steel encased in concrete.
- 2. Trowelled plaster fireproofing as specified under appropriate section.
- 3. The cleaning of the surfaces to receive sprayed fireproofing.

c) Codes and Regulations

c) Codes and Regulations
This specification shall be supplemented by the applicable requirements of the Building Codes and all authorities having jurisdiction. Conflicts and/or discrepancies between Contract Documents, ordinances, etc., noted by the subcontractor shall be immediately brought to the architect's attention.

2. MATERIAL

2. MATERIAL

a) The sprayed fireproofing material shall be Monokote-5 as manufactured by the Zonolite Construction Products Division, W. R. Grace & Co., or its processing distributors. All manufactured material shall be delivered in original, unopened packages bearing the name of the manufacturer, the brand, and the UL label verifying compliance with UL's quality control inspection program and the appropriate fire resistance ratings.

The material shall be kept dry until ready for use. The packages of material shall be kept off the ground, under cover, and away from sweating walls and other damp surfaces. Material that has been exposed to water before actual use shall be discarded.
b) Water shall he clean, fresh, suitable for domestic

b) Water shall be clean, fresh, suitable for domestic consumption, and free from such amounts of mineral or organic substance as would affect the set of the fireproofing material.

3. ACCEPTANCE AND PERFORMANCE CRITERIA

a) The sprayed fireproofing shall have been tested by Underwriters' Laboratories, Inc. in accordance with the procedures of ASTM E 119. The structural steel member shall be protected with proper fireproofing thicknesses and densities to provide the following fire resistance ratings:

- b) The sprayed fireproofing beneath the deck assembly together with properly proportioned concrete fill above the metal decking shall provide a _____hour (restrai ad/unrestrained) fire resistant deck assembly as substantiated by a fire test in accordance with the procedures of ASTM E119, and performed by Underwriters' Laboratories, Inc. or other such recognized testing agency.

 c) The fireproofing material shall not be subject to losses from the finished application by sifting, flaking or dusting. This performance shall be measured by the results of a test for erosion resistance when subjected to high velocity air flow across the surface of dried samples. The samples thus tested must be representative of machine-applied material similar to that which can be

expected on the project. The air velocity shall be not less than ______feet per minute, and the duration of the test shall be at least ______ho

Note to Specifier:

Recommended Quality Criteria:

- a) The architect will select and the owner will pay an independent testing laboratory to sample and verify the density of the direct-to-steel fireproofing as applied.
- b) Contractor shall control thickness, utilizing a workable depth gauge to meet minimum thickness as required. He shall cooperate with the owner's inspector in furnishing samples for tests.

Samples of sprayed fireproofing shall be submitted for approval in accordance with the applicable provisions of the Special Conditions. These samples shall be representative of the material as applied in accordance with Acceptance & Performance Criteria as stated.

INSTALLATION

- a) Application of sprayed fireproofing shall be in accordance with the printed instructions of the material manufacturer and the fire test report information.
- b) Upon request a qualified manufacturer's representa-tive can be present for initial application to guide and assist applicator's personnel.
- c) All surfaces to which sprayed fireproofing will be applied shall be free of oil, grease, dirt, loose paint, mill scale or any other matter which would impair bond. Painted steel surfaces may require a test application of the sprayed fireproofing to determine that the paint formulation will not impair adhesion.
- (d) All clips, hangers, supports, sleeves and other attachments to the fireproofing bases, as covered under other sections of the specifications, are to be placed by others prior to the application of the fireproofing material, where these attachments can be anticipated in advance.
- e) All patching and repairing of sprayed fireproofing, due to cutting by other trades, shall be performed under this section and paid for by the trade(s) that performed the cutting.

TEMPERATURE AND VENTILATION

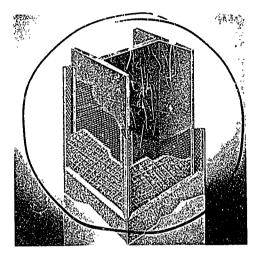
6. TEMPERATURE AND VENTILATION
When the prevailing outdoor temperature at the building site is less than 40°F, an air and steel temperature of 40°F shall be maintained for 24 hours before an: 24 hours after application of fireproofing material.
Provisions shall be made for providing natural ventilation to properly dry the fireproofing during and subsequent to its application. In glazed buildings, this shall be accomplished by keeping windows open approximately 2" top and bottom (or side pivoted windows approximately 4") to provide air circulation; and in enclosed areas or buildings lacking openings for natural ventilation, by circulating interior air and exhausting it to the outside by use of temporary circulators, exhaust fans, or the air-conditioning system.

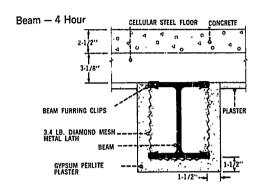
After completion of fireproofing work, equipment shall be removed and all exposed wall and floor areas cleaned of deposits of sprayed fireproofing materials.

GRACE CONSTRUCTION PRODUCTS oht 1973 Zonolite and Monokote are registered trademarks of Construction Products Division W. R. Grace & Co., 62 ore Ave., Cambridge, Mass 02140 We hope the Information given here will be helpful. It is based on our best age and we believe it to be true and accurate. Please read all statements, recommendations or suggestions, sort of the use oction with our conditions of sele which apply to all goods supplied by us. W. dessume no responsibility for the use statements, recommendations or suggestions, nor do we intend them as a recommendation for any use which would



fireproofing columns and beams with metal lath





DESCRIPTION

Gypsum plaster, mixed with sand or light weight aggregate, is applied over a met 'ath base providing an economical fire protective covering for structural steel columns

ADVANTAGES

- a. light-weight This system of fireproofing weighs only half as much as tile and one quarter as much as standard concrete for equivalent fire resistive ratings. This means a reduction up to ½ in dead load weight, reducing the size and cost of footings, foundations and structural framing.
- b. fire resistance Fire resistive ratings up to 4 hours can be
- economy Lath is low in cost, quick and easy to apply, there-by effecting savings in material and labor costs.

LIMITATIONS

In warehouses or other occupancies where columns might be damaged, angle iron guards are recommended to protect column corners to the necessary height.

SPECIFICATIONS

A. Material Metal lath shall be G-B Diamond Mesh Lath or Self-Furring Diamond Mesh Lath, weighing not less than 3.4 lb. per sq. yd.

B. Application

Diamond Mesh Lath shall be formed to fit around the column and shall be fur ed at least 1/4" from the face of the steel flange to provide space for the plaster to key with rods or channel brackets. Self-furring Diamond Mesh Lath shall be installed with indentations to the face of the column and require no additional furring.

Edges of lath shall be lapped 1" over the web area of the column and tied at vertical spacing of 6" to 8" with 18 gauge

Galvanized Tie Wire.

G-B No. 1 Expanded Corner Bead shall be attached to corners of column in a manner to allow for necessary plaster thickness. For a four-hour fire rating apply scratch, brown and finish coats to a total thickness of 1¼". G-B Gypsum Plaster mixed 100 lb. to 2 cubic feet of Perlite aggregate for scratch coat and 100 lb. to 3 cubic feet of Perlite for brown coat. Apply brown coat to within ½" of corner beads to allow for finish coat. Finish coat plaster shall be as selected and specified else-

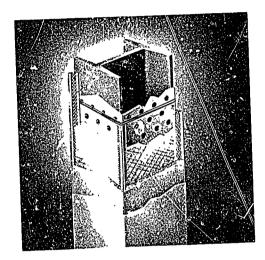
FIRE RATING TABLE (Based on 10 WF-49 or heavier columns)

Columns	type metal lath	plaster	plaster* thickness	fire rating	reference
	metal lath	gypsum-sand 1:3, 1:3	3/4"	1 hr.	BMS 92 - Table 4
steel	self-furring lath	gypsum-perlite 100:2, 100:3 y	1"	2 hr.	UL. 3187-4-5-7
section	colf-furring-jeth	gypsum-perlite 100.4, 100:3	13/5"	3 hr	UL 3187-4-5-7
	self-furring lath	gypsum-perlite 100:2, 100:3	1¾"	4 hr.	UL 2851-5-6 & 3187-4-5-7
beams					
steel beams with	self-furring lath	gypsum-perlite 100:21/2, 100:21/2	11/8″	2 hr.	
embrane fireproofing	self-furring lath	gypsum-perlite 100:21/2, 100:21/2	11/4"	3 hr.	UL 4197
Beam Furring Clips)	self-furring lath	gypsum-perlite 100:21/2, 100:21/2	11/2"	4 hr.	

ess of plaster on metal lath is shown from face of lath.



fireproofing columns with gypsum lath



DESCRIPTION

Gypsum plaster, mixed with sand or light weight aggregate, is applied over a gypsum lath base providing an economical fire protective covering for structural steel columns.

ADVANTAGES

- a. light-weight This system of fireproofing weighs only half as much as tille and one quarter as much as standard concrete for equivalent fire resistive ratings. This means a reduction up to ½ in dead load weight, reducing the size and cost of footings, foundations and structural framing.
- b. fire resistance Fire resistive ratings up to 4 hours can be
- c. economy Lath is low in cost, quick and easy to apply, ther by effecting savings in material and labor costs.

LIMITATIONS

In warehouses or other occupancies where columns might be damaged, angle iron guards are recommended to protect column corners to the necessary height.

SPECIFICATIONS

A. Material a. material Lath shall be G-B % " x 16" x 48" Perforated Gypsum Lath or 1/2" Long Length Lath.

Plaster shall be G-B Gypsum Plaster.

B. Application

1 Hour. Place G-B 1/6" x 16" x 48" Perforated Gypsum Lath vertically against column flanges and bridging web spaces. Cut as required to box the column. Wrap and tie lath with double strands of 18-gauge tie wire 2" from ends of lath and at intermediate points not exceeding 15" o.c. At each corner, wire tie G-B No. 1 Expanded Corner Bead to the wire ties encircling lath to form grounds for 1/2" of plaster. Mix G-B Gypsum Plaster 1 part to 2½ parts of sand by weight. Apply in a double-back operation to within 1/6" of grounds and leave rough for finish. B. Application 1 Hour. Place G-B %" x 16" x 48" Perforated Gypsum Lath

(11/2 Hours. Same as for 1 Hour except set grounds for 5/4"

(2 Hours, Same as 1 Hour except set grounds for 1" of G-B Gypsum Plaster mixed 100 lbs. to 2½ cubic feet of Perlite or Vermicullic aggregate. (I sand is used, plaster thickness shall be 1% "; scratch 1:2; brown 1:3.)

(3 Hours. Same as for 1 Hour except set grounds for 13%" of G-B Gypsum Plaster rilked 100 lbc to 2 cubic feet of Perlite or Vermiculite aggregate or scratch coat and 100 lbs. to 3 cubic feet of Perlite or Vermiculite aggregate for brown coat. With sand as aggregate, grounds shall be 2", scratch 1:2, brown 1:3.)

brown 1:3.)

(4 Hours. Box column with two layers of G-B ½" Long Length Gypsum Lath placed vertically against the column flanges and bridging the 'b' spaces. Cut as required. Wrap and tle lath with double strands of 18-gauge tie wire 24" o.c. Wrap column and lath with 1" hexagonal 20-gauge galvanized wire mesh tying cut ends to give continuity around the column. At each corner, wire tie G-B No. 1 Expanded Corner Bead to form grounds for 1½" of plaster. Mix G-B Gypsum Plaster with Perlite or Vermiculite aggregate in the ratio of 100 ibs. to 2 c · ft. for scratin coat and 100 ibs. to 3 cu, ft. for the brown coat. Plastor in two separate coats, allowing the scratch coat to set hard before application of the brown. Apply brown coat to within ¼" of grounds and leave rough Apply brown coat to within 1/6" of grounds and leave rough for f nish.)

TARIF

FIRE RATING TABLE			plaster	fire rating	referenco	
columns	typo gypsum lath	plaster	thickness	rating 1 hr.	BMS 135-Test 273	
steel section	%" perforated lath %" perforated lath %" perforated lath %" perforated lath ½" plain gypsum lath (2 layers) plus 1" hex. wire mesh	gypsum-sand 1:2½ gypsum-sand 1:2½ gypsum-periite 100:2½ gypsum-periite 100:2, 100:3 gypsum-periite 100:2, 100:3	5%" 1" 1%"	1½ hr. 2 hr. 3 hr. 4 hr.	RMS 135-Test 274 BMS 135-Test 275 Unpublished-Test 321 BMS 135-Test 278 and 294	



APPLICATION FOR PERMIT

DEPARTMENT OF BUILDING INSPECTIONS SERVICES

ELECTRICAL INSTALLATIONS

			June 6	, 19 <mark>.77</mark>
			Receipt and Permit number	A10022
To the CHIEF ELECTRICAL INSPECTO The undersigned hereby applies for a the Portland Electrical Ordinance, the Nati	nermit to make e	ne: lectrical installations ode and the following	in accordance with the law	
LOCATION OF WORK: 337 BF19 OWNER'S NAME: Osteopathic			5 Brighton Ave.	
OUTLETS: (number of)				
Lights				FEES
Receptacles Switches				
Plugmold (numbe	r of feet)			
	•••••			
FIXTURES: (number of) Incandescent				
Electron cont	t include strip fluc	orescent)		
TOTAL Strip Fluorescent, in feet				
Parallel Company of the Company of t				
SERVICES: Permanent, total amperes200	<u>)</u>			3.00
Temperary				.50
METERS: (number of)				
MOTORS: (number of)				
Fractional	• • • • • • • • • • • • •			
		•••••		
RESIDENTIAL HEATING: Oil or Gas (number of units)				
Electric (number of rooms) -				
TO THE OWNER OF THE PERSON AND THE	ATING			
Oil or Gas (by a main boiler) . Oil or Gas (by separate units) .				
Oil or Gas (by separate units). Electric (total number of kws).				
APPLIANCES: (number of)				
Ranges		Water Heaters		
Cock Tops		Disposals Dishwashers		
Vall Ovens		Compactors		
Fans		Others (denote)		
TOTAL				
MISCELLANEOUS: (number of)			••••	
Branch Panels Transformers				
C. C. Mariana				
Signs				
A la maria mana da serimana				
Repairs after fire Heavy Duty, 220v outlets Emergency Lights, battery				
Emergency Lights, battery —— Emergency Generators ——				
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FOR PERFORMING WORK WITHOU	UT A PERMIT (L AMOUNT DUE:	
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Will be ready on Kurt F	elix			-
CONTRACTORS TOTALES. Stee	n Falls. M	ine		-
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MASTER LICENSE NO.: 1469		SIGNATURE OF	CONTRACTOR:	
LIMITED LICENSE NO.:		-TUNY		

INSPECTOR'S COPY

LIMITED LICENSE NO.: ___

COMPL COMPL	Service called in	mit Number 1002 2 mit Number 1002 2 mation 337 Bright ner 0 to grathine 14 ner 6-6-77 te of Permit 6-6-77 mit Application Register Page No.
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Luck Fickey

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

PERMIT ISSUED

MAY 26 1977

B.O.C.A.	TYPE	OF	CONSTRUCTI
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ion ()38 /····· CITY of PURTLAND PORTLAND, MAINE, ... May. 27,...19.7.7 ZONING LOCATION_ To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if my, submitted herewith and the following specifications: LOCATION . 335. Brighton Ave. Fire District #1 [], #2 [] 1. Owner's name and address .Osteopathic .Hosp...of. Me. - . same...... Telephone .7.74-39.21. 3. Contractor's name and address .. Consilated Const. & Bldrs. -616. Congredents. .. 77.4-2626 4. Architect No. of sheets Plans No. of sheets Material No. stories Heat Style of roof Roofing FIELD INSPECTOR—Mr. Marge..... GENERAL DESCRIPTION @ 775-5451 This application is for: Permit to make renovations of first floor Ext. 234 for pediatrics area, as per plans. 1 sheet of plans. Dwelling Garage Masonry Bldg. Stamp of Special Conditions merations Lanolitions Change of Use Other .hospital..... NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals. PERMIT IS TO BE ISSUED TO 1 2 3 21.4 Other: DETAILS OF NEW WORK Is connection to be made to public sewer? If not, what is proposed for sewage? Height average grade to top of plate Height average grade to hir juest point of roof Size, front depth No. stories solid or filled land? earth or rock? Material of foundation Thickness, top bottom cellar Kind of roof Rise per foot Roof covering No. of chimneys Material of chimneys of lining Kind of heat fuel Framing Lumber—Kind Dressed or full size? Corner posts Sills size Girder Columns under girders Size Max. on centers Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. 1st floor , 2nd , 3rd , reof 1st floor , 2nd , 3rd , roof On centers: 1st floor, 2nd, 3rd, roof ..., roof ... Maximum span: IF A GARAGE No. cars now accommodated on same lot . . ., to be accommodated . . . number commercial cars to be accommodated . . . Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? MISCELLANEOUS DATE APPROVALS BY: BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? . . BUILDING CODE: 0.16.6.1.5./26/17... Will there be in charge of the above work a person competent Fire Dept.: to see that the State and City requirements pertaining thereto Health Dept.: are observed? Signature of Applicant Wesald & Curlew Phone # same

1. D INSPECTOR'S COPY

and Address

Type Name of above .Derald Curless 1 1 2 2 3 2 4 1

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By ERNOLD	INSPECTOR				HEATERS'	 	
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APPLICATION FOR PERMIT

PERMIT ISSUED

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B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE, .. Sept. .21., 1976 CITY of PORTLAND

	To the DIRECTOR OF BUILDING & INSPECTION SEI The undersigned hereby applies for a permit to erect, a	RVICES, PORTLAND, MAINE o lter, repair, demolish, move or install the following building, struc-
	ture, equipment or change use in accordance with the Laws	of the State of Maine, the Portland B.O.C.A. Building Code and pecifications, if any, submitted herewith and ile following specifications.
	LOCATION 335 Brighton Ave	Fire District #1 [], #2 []
	1. Owner's name and address Osteopathic .Ho 2. Lessee's name and adddress	ospital
	4. Architect S	pecifications Plans No. of sheets
	Last use	No. families
	Other buildings on same tot	Style of roof
	Estimated contractural cost \$18,000	Fee \$72.00,
	FIELD INSPECTOR—Mr	
,	Dwelling Ext. 234 Garage	Permit to make renovations for pharmacy room as per plans - 1 sheet of plans
•	Masonry Bldg	room as per plans - I sheet of plans
	Metal Bldg	Stamp of Special Conditions
	Demolitions	
	Change of "Jse	•
	Other xxxxxxxxxx hospital NOTE TO APPLICANT: Separate permits are required	by the installers and subcontractors of heating, plumbing, electri-
	cal and mechanicals.	10 mg 4 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -
	PERMIT IS TO BE ISSUE	**DTO 1 □ 3 □ 3 □ 4 □ ** Cther: ••••••••••••••••••••••••••••••••••••
	DETAILS	OF NEW WORK
		Is any electrical work involved in this work?
		If not, what is proposed for sewage?
	Height average grade to top af mate	Height average grade to highest point of roof
		ss, top bottom cellar
		of lining Kind of heat fuel
		? Corner posts ills
	Size Girder	Size Max. on ters
	Joists and rafters: 1st floor	2nd, 3rd, roof
		2nd, 3rd, roof
		ls? height?
	IF .	A GARAGE
	"No. cars now accommodated on same lot, to be accommodated on same lot, to b	ommodated number commercial cars to be accommodated airs to cars habitually stored in the proposed building?
	APPROVALS BY: DATE	MISCELLANEOUS
	BUILDING INSPECTION—PLAN EXAMINER	
	BUILDING CODE: Q. K. C.K. 9/21/7.6.	O The second of
	Fire Dept.:	
	Others:	
		in To Judicies
		n.FHutchings1 2 2 3 4
	BIELD INSPECTOR'S COPY	Other
	5 IIIGI EGIGILO 601 /	CDO ANATOCC

9-29-7: Stated worked Approved Remove from & to i 1-3-76

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B



APPLICATION FOR PERMIT

DEPARTMENT OF BUILDING INSPECTIONS SERVICES

ELECTRICAL INSTALLATIONS

		Date June 11,	
		Receipt and Permit numb	
To the CHIEF ELECTRICAL INSPECTOR, Portland, Man The undersigne hereby applies for a permit to make the Portland Electrical Ordinance, the National Electrical C	electrical installation	is in accordance with the	laws of Maine
LOCATION OF WORK: 335 Brighton Ave.			
OWNER'S NAME: Osteopathic Hospital	_ ADDRESS:	same	
OUTLETS: (number of) Lights310			
Receptacles 370			FEES
Switches Plugmold Po (number of feet)			1 223
Plugmold (number of feet)		•	67.00
FIXTURES: (number of)		. , , , , , , , , , , , , , , , , , , ,	
Incandescent (Do not include strip fluorescent	Aracaant \		
TOTAL	Acscent)		
Strip Fluorescent, in feet			
SERVICES: Permanent, total amperes2500			0.00
Temporary			9.00
METERS (number of)			
MOTORS: (number of)			
Fractional HP or over			************
RESIDENTIAL HEATING:		• • • •	-
Oil or Gas (number of units)			
Electric (number of rooms)			
COMMERCIAL OR INDUSTRIAL HEATING: Oil or Gas (by a main boiler) Oil or Gas (by separate units) Electric (total number of kws)			
APPLIANCES: (number of)			
Ranges Cook Tops	Water Heaters		
Wali Ovens	Disposals Dishwashers	May 1 affirmment to annual	
Dryers	Compactors		
Fans	Others (denote)	· many may make the page to	
! GLIANEOUS: (number of)			
Branch Panels 17			17.00
Fransformer: 6 Air Conditioners			12.00
Fire/Burglar Alarms1			5.00
Circus, Fairs, etc. Alterations to wires		• • • • • • • • • • • • • • • • • • • •	
Repairs after fire			
Heavy Duty, 220v outlets			
Emergency Lights, battery Emergency Generators			5.00
	INSTALLA	TION FEE DUE:	7.00
FOR ADDITION L WORK NOT ON ORIGINAL PERMI	T DOI	JBLE FEE DUE:	
FOR REMOVAL OF A 'STOP ORDER" (304-16.b) FOR PERFORMING WORK WITHOUT A PERMIT (304		· · · · · · · · · · · · · · · · · · ·	
The state of the s		AMOUNT DUE:	115.00
INSPECTION:			
Will be ready on 19_; or Will C			
CONTRACTOR'S NAME: Eastern Electric Corp.			
ADDRESS: P.O. Box 346 Portland TEL: 772-6762			
3279	SIGNATURE OF C	QNTRACTOR:	
LIMITED LIC	VI) C		

INSPECTOR'S COPY

INSPECTIONS: Service
Service called in Service - Service called in Se
Service
PROGRESS INSPECTIONS: 1-9-2/1/6 = 1 V U = 2
CODE 2775/12-12-13/13-16-16 18 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
COMPLIANCE 8-15-75, 12-31-75, 9-1-72 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
COMPLETED 9-5-75, 2-23-76.
DATE 12 +3-76 10-17-75 5-24-76
DATE: REMARKS:
7-9-75 very little work started.
8-4-75 Vrogeess good,
8-15-75 Keep close look on conduct beids,
7-5-75 "C" put in long conduit runs.
1



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP B.O.C.A. TYPE OF CONSTRUCTION

SEr ... 1976

- CONSTRU	CIIUN		1
ZONING LOCATION	PORTLAND, MAINE,	\$ept. 21,	1976 LITY d

ZONING LOCATION	ONPORT	LAND, MAINE, Sept. 21, 1976 CITY of POPTIANI
To the DIRECTOR OF BUIL		
The undersigned hereby a	pplies for a permit to erect, al	ter, repair, demolish, nove or install the following building, struc-
ane, equipment or change use	e in accordance with the Laws	of the State of Maine, the Portland R.O.C. A. Building Code and
Zoning Ordinance of the City	of Portland with plans and st	pecifications, if any, submitted herewith and the following specifica-
110/13.		
LOCATION 335. Bric	hton.Av.	Fire District #1 [], #2 []
miles a miles and addition	22 4.4.4.4.4.4.4.4.4.4.4.4.4.4.4.4	584544 Tolombono 774-3921
2. Lessee's name and addor	ESS	Tr-11
or contractor a maine and ad	uressLonsolidated	L.Constractore 616 Congradu 774 2626
THOMESON	· · · · · · · · · · · · · · · · · · ·	Decifications Plane No es above
x roposed ase or building n	OSDital······	No familia
and 140@for car	• • • • • • • • • • • • • • • • • • • •	No. famille
***************************************	nics Fieat	Style of roof Dc_
Estimated contractural cost \$4.		** ************************************
	T#65 T 6	Fee \$ 64.00
This application is 6		GENERAL DESCRIPTION
This application is for:	@ 775-5451	
Dwelling	Ext. 234	Permit to renucation for autopsy
Garage		room as per plans 1 sheet
Masonry Bldg		• • • • • • • • • • • • • • • • • • • •
Metal Bldg	, .	Stamp of Special Conditions
Alterations		
Change of Use		
Otherhospital		
	man a control of the	
cal and mechanicals.	parate joinnits are required by	y the installers and subcontractors of heating, plumbing, electri-
The mine modification	PERMIT IS TO BE ISSUED	170 15 as a
	. 2. C	
	DEWATER	Other:
Is any nlumbing involved in the	DETAILS ()	F NEW WORK
Is connection to be made to my	ls work?	Is any electrical work involved in this work?
to bu	one sewell	. If Hot what is proposed for courses?
Height average grade to top of	nlota T	Form notice sent?
Size, front denth	No stories	leight average grade to highest point of roof
Material of foundation	Thickness	solid or filled land? earth or rock? top bottom cellar
Kind of roof	Rise per foot	Roof covering
No. of chimneys	Material of chimneys	of lining Kind of heat fuel
Framing Lumber—Kind	Dressed or full size?	Corner posts Sills
Size Girder	Columns under girders	Size Max. on centers
Studs (outside walls and carry	ing partitions) 2x4-16" O. C.	Bridging in every floor and flat roof span over 8 feet.
Joists and rafters:	1st floor 2r	dd, 3rd, roof
On centers:	lst floor2r	id, 3rd, roof
The state of the s	ioi nooi i i i i i i i i i i i i i i i i	10
If one story building with maso	onry walls, thickness of walls?	height?
	TF A	CATACE
No. cars now accommodated or	n same lot to . e accomi	modated number nomerous to the second
Will automobile repairing be d	one other than minor repairs	to cars habitually stored in the proposed building?
APPROVALS BY:	DATE	
BUILDING INSPECTION—P		MISCELLANEOU?
ZONING:		Will work require disturbing of any tree on a public street?
ZONING: BUILDING CODE:	E.8. 3/21/76	Will those he in the state of
Fire Dept.:	· · · · · · · · · · · · · · · · · · ·	Will there be in charge of the above work a person competent
Icalth Dept.:	*************	to see that the State and City requirements pertaining thereto
Othersa		are observed? yes
	// //	r TW.
Sig	nature of Applicant If and	.f
Ту	pe Name of above // John	F. Hutchings Phone # same
	/	Other
FIELD INSPECTOR'S COPY	·	and Address

NOTES 9-29-76 Cleaned out Ram - Bernoved won bearing
10-15-76 SAME MO
10-27 76 putting in Am underground exist- Nod - Carley tole? FAIC



FILL IN AND SIGN WITH INK

PERMIT ISSUED

SEP 4 1975 731 CITY of PORTLAND

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, S opt. 4, ... 1975.

to the INSPECTOR C	OF BUILDINGS,	PORTLAND, 1	ME.
--------------------	---------------	-------------	-----

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

ance with the Laws of Maine, the Buildin	g Code of the City of	Portland, and the fo	, cooking or pow Mowing specifica	er equipi tions:	went in acco
Location 335 Brighton Ave Name and address of owner of appliance	Use of Building Csteopathic Ho	Oste nt athic Hosp Spital	pi.ta¥o. Stories	4.	New Build Existing "
The and address That do	Dewaters 39 W	arren Ave., West	brook Teleph	one 854	-9393-
To install three cleaver brooks	General Danes			~~~	8312
· _					
Location of appliance basement	F HEATER, OR P	OWER BOILER			
If so, how protected?	Any burnable mate	rial in floor surface or	beneath? no		
Minimum distance to hurnable material for					,
Minimum distance to burnable material, free From top of smoke pipe From	om top of appliance o	r casing top of furnac	e nothing bu	ırnable	·
Size of ality of con-	a tront of appuaince	From s	ides or back caa	ppliance	
If gas fired, how vented?	r connections to same	flue none			
Will sufficient fresh air be supplied to the se	nlinus	Rated maxim	um demand per	hour	•
Will sufficient fresh air be supplied to the ap	phance to insure prop	er and safe combustion	ı? yes		
NT	IF OIL BU	RNER	•		
Name and type of burner Cleaver Brook	cs	Labelled by u	iderwriters' laho	ratorias	
Will operator be always in attendance? Yes	Does oil sup	ply line feed from wi	or bottom of to	nk? to	yes
Type of floor beneath burner concrete	Siz	e of vent pipe 2	1/2"		P.
Location of oil storage outside Low water shut off yes	N	umber and capacity of	f tanks 2 10.00))) m1	
	74151KG:	ald Miller	No.	o gar	
Will all tanks be more than five feet from an area of the control of any existing storage tanks	y flame? yes for furnace burners	How many tanks encl 20,000 gal			•
•	IF COOKING A	PPLIANCE		•	
Location of appliance		ble material in floor si	urfage on how at	,	
If so, how protected?	-	Height of Leg			
Skirting at bottom of appliance?	Distance to combi	stible material from to	o, it any		
From front of appliance Fi	UID SICIES and back	_	top of smokepi		
Size of chimney flue Other	connections to same	flue	. top or smokepij	DC .	
is mode to be provided?	If so, how vented?		orced or gravity		
If gas fired, how vented?		Rated maximur	n demand per ho	ι	•
MISCELLANEOU	S EQUIPMENT O	P CDECTAY THE	demand her no	ur	
		W SPECIAL INFO	RMATION		
		•			
	* * *				
	•		•		
	***				** **
mount of fee enclosed? 45.00					
VED:					

APPROV	ED:	
	O.K. 2.B.	9/4/75
	•	
		** ************************************

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of Installer Fred J. De Waters B.C.A.





State of Maine

AIR EMISSION LICENSE

LICENSE	Nº	778	EXPIRES June 23, 1978
		Os teopathi	c Hospital of Maine, Inc.
7		335 Bright	on Avenue, Portland, Maine
•	anted an	Air Emission Lices	nse from the State of Maine, Department of Environmental
Protection,	according	to the Provisions	of Maine Revised Statutes Amended, Title 38, Section 590,
and Depart	ment of	Environmental Pr	otection Regulations published pursuant thereto for the
following e	mission s	ources:	
		#2 Boil	er 8.4 million BTU per hour er 8.4 million BTU per hour er 8.4 million BTU per hour
		Class V 50 lb	I incinerator with afterburner s/hr
in	Me	tropolitan Port	Ambient Air Quality Control Region.
Subject to	the attach	ed conditions "a."	through (6) inclusive and all emission standards and
egulations i	applicable.		
Given under	our hand	and seal this	23rd day of June 1976.
			BY: LCan Calculation Commissioner
:			ONN OF BOUTUNE. ORDI OF BOLD ORDI O
Licensee			NA /

CONDITIONS ON EMISSION LICENSE

Osteopathic Hospital of Maine, Inc. 335 Brighton Avenue, Portland, Maine

LICENSE NUMBER: 778

LICENSEE:

M

DATE: June 23, 1976

(a) Employees and authorized representatives of the Department of Environmental Protection shall be allowed access to the promises of the licensee during normal business or operating hours, and at such other times as the Commissioner of the Department of Environmental Protection deems necessary, to perform such tests and inspections and examine all records relating to emissions.

- (b) A new Emission License shall be required prior to the commencement of a
- (c) All applicable ambient air quality standards, emission standards, regulations, orders and local ordinances shall be complied with.
- (d) The licensee shall maintain sufficient records to accurately complete the application for an Emission License.

OF SELLING SEL

APPLICATION FOR PERMIT B.O.C.A. USE GROUP

PERMIT ISSUED

CITY of PORTLAND

•	ZONI	ING	LOCATION	_

B.O.C.A. TYPE OF CONSTRUCTION PORTLAND, MAINE, July 14,1976

To the DIRECTOR OF BUILDING & INSP	ECTION	SER	VIC	CES, F	ORTLAND	, Maine
To the DIRECTOR OF BOILDING WILL		. 1.		-anais	. domolish	move o

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifica-.335. Birghton Ave..... Fire District #1 [], #2 []

LOCATION335D.L	Osteopathic Hos	same
1. Owner's name and addre	SS	Telephone
2. Lessee's name and addor	desc. CoNsolidated. Co	onst616 .Congress .St. Telephone 774-2626
3. Contractor's name and a	Idress . Conscient Spec	ifications Plans No. of sheets
4. Architect	hosp.	ifications
Proposed use of building	, , , , , , , , , , , , , , , , , , , ,	No. families Style of roof Roofing
Last use	West	Style of roof
Material No. s	ories Heat	Fee \$36.00
Other buildings on same lot		Fee \$. 36.00
Estimated contractural cost	;9 ₇ 000	CENTRAL DESCRIPTION
FIELD INSPECTOR-Mr.		GENERAL DESCRIPTION
This application is for:	@ 775-5451	To install incinerator as per plans.
Dwelling	Ext. 234	To install inclinerator as F 1
Garage	• •	
Masonry Bldg		Stamp of Special Conditions
Metal Bldg	••	Statip of Special Continues
Alterations		
Demolitions		
Change of Use	• •	
		t bester plumbing electri-
NOTE TO APPLICANT:	Separate permits are required b	y the installers and subcontractors of heating, plumbing, electri-
cal and mechanicals.		
cat and meentiness.	PERMIT IS TO BE ISSUE	OTO 1□ 2□ 3점 4□
•		Other:
	DETAILS	OF NEW WORK
		vlangest work involved in this WOTK?
Is any plumbing involved	in this work?	Is any electrical work involved in the state of the st
Is connection to be made	o public sewerr	If not, what is proposed for sewage Form notice sent?
Has septic tank notice be	an sent?	Height average grade to highest point of roof
Height average grade to to	op of plate	earth or rock?
Size, front de	epth No. stories	hottem cellar
Material of foundation .	I mean	Boof covering
Kind of roof	Rise per root	of lining Kind of heat fuel
No. of chimneys	Material of chimneys	of lining Kind of heat fuel
Framing Lumber—Kind	Dressed or full size	
Size Girder	Columns under girders	a national in every floor and flat roof span over 8 feet.
Studs (outside walls and	l carrying partitions) 2x4-16" C	C. Bridging in every floor and flat roof span over 8 feet.
Joists and raiters:	1st floor	, 2nd
On conters:	1st floor	, 2nd roof
	1st floor	, 2nd, 3rd, roof
. If one story building wi	h masonry walls, thickness of wa	lls? ne gae.
No cars now accommo	lated on same lot , to be ac	commodated number commercial cars to be accommodated
No. cars now accommo	ng he done of r than minor re	pairs to cars habitually stored in the proposed building?
	DATE	
APPROVALS BY:		t and the formation of multip street?
BUILDING INSPECT	ION—PLAN EXAMINER	With MOSK todaile assurements
ZONING:	::	Will there be in charge of the above work a person competent
BUILDING CODE:	2.16-8.8.7/15/	to see that the State and City requirements pertaining thereto
Fire Dept.:		
Health Dept.:		are observed es
Others:		• • •
-	Cincours of Applicant	Phone #
	Digitative of Approving 1.	in Hutchins 1 2 3 4 C
	Type Name of aboveJ.	Other
		and Address
INDEPENT OF C	עטר	Antonia a management of a control of the control of

FIELD INSPECTO 'S COPY

NOTES No Ked Date of permi 630 :-.

PERMIT ISSUEI

	USE GROUP							
B.O.C.A.	TYPE OF CONSTRUCTION	•	•	•	•	•	٠.	•

SEP 9 1975 7.50 CITY of PURTLAND

ZONING LOCATION		
		Minn

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, FORLERS, that the following building, structure, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code at ture, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code at ture, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Specific Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specific
Zoning Ordinance of the City of London with France

Zoning Ordinance of the City of	f Portland with plans and specif	icalions, sj airy, submitted to the	
ions: 335 Brighton	Ave.	Fire District #1], #2 🔲
LOCATION .335 Brighton			
1. Owner's name and address	···· dancotradita	Telephone	,,,,,,,,
2. Lessee's name and adddres	S PoWaters	39. Warren. Ava Telephone 854-	8393
Contractor's name and add	ress ,5,794, v.v. Adulabat b Speci	ifications Plans No. of she	ėts
4. Architect	ospital	No. families	
Proposed use of building	***************************************	ifications Plans No, of sheet No. families No. families	
Last use		Style of roof Roofing	
Material No. stor	les . / Heat		
Other buildings on same lot.		Fee \$.ou
Estimated contractural cost \$.	Marc !	CENERAL DESCRIPTION	
FIELD INSPECTOR-Mrf.	offises	To install a self contained rooftop	jest,
This application is for:	@ 775-5451	air conditioning funit. 219 ton	9/8/75
Dwelling	Ext. 234	all countries here.	
Garage			
Masonry Bldg		Stamp of Special Con	iditions
Metal Bldg			
Alterations		•	
Demolitions		•	
Change of Use	•	_	
Other	Canarate normits are required by	y the installers and subcontractors of heating, plum	bing, electri-
NOTE TO APPLICANT: S	eparate permits and the		
cal and mechanicals.	PERMIT IS TO BE ISSUED)TO 1□ 2□ 3½ 4□	
	•	Other:	
,	DETAILS (OF NEW WORK	J +
		1	
Is any plumbing involved in	nublic sewer?	If not, what is proposed for sewage?	• • • • • • • • • •
Is connection to be made to	cent?	Form notice sent?	
Has septic talk notice occu	of plate	Height average grade to highest point of roof	
Height average grade to top	h No. stories	solid or filled land? earth or rock?	
Meterial of foundation	Thicknes	s, top bottom cellar	
Vied of roof	Rise per foot	Roof covering	fuel
No. of chimneys	Material of chimneys	of lining Kind of heat	Luci ,
Framing Lumber—Kind	Dressed or full size?	Corner posts Sills	
Size Girder	Columns under girders		R feet.
Studs (outside walls and c	arrying partitions) 2x4-16" O.	C. Bridging ir. every floor and flat roof span over	
Joist, and rafters:	1st floor	2nd, 3rd, roof	
On centers:	1st floor	2nd, 3rd, roof . 2nd, 3rd, roof . height?	
Maximum span:	1st floor	2nd height? .	·-
If one story building with	masonry walls, thickness of wal	is? height? .	·
	IF .	A GARAGE	4 4 . 4

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...

MISCELLANEOUS DATE BUILDING INSPECTION—PLAN EXAMINER 97-9-7 Will work require disturbing of any tree on a public street? ...

BUILDING CODE: A Stiffey at the one will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes.

Signature of Applicant Field J. De Maters B. C. A. . . 1 2 2 3 1 4

FIELD INSPECTOR'S COPY ---iak

and Address

11-22-76 Although every This would have caught an 39.CE

|--|

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

PERMIT ISSUED

and Address

ZONING LOCATION	N PORTLA	ND, MAINE, Sept. 9, 1975.	ores of I DUITING
ture, equipment or change use it Zoning Ordinance of the City of tions:	olies for a permit to crect, alter, in accordince with the Laws of If Portland with plans and speci	CES, PORTLAND, MAINE repair, demolish, move or install the fo the State of Maine, the Portland B.O.S. specifications, if any, submitted herewith and	C.A. Building Code and
1. Owner's name and address 2. Lessee's name and address 3. Contractor's name and add	Osteopathic mospital Section Heating & Irss . 1891 Williston Rd.	Same Fire I Same Te Ventilating Co. To South Berlington, VermontTe	elephone 802–658–0500e
4. Architect	ospital Spec	ifications Plans N	o. families
Other buildings on same lot. Estimated contractural cost \$.			Fee \$
	→ (+ SE.S		s for the heating
Masonry Bldg		Stamp of	Special Conditions
	Permit issued to sparate permits are required by	: Gary Potvin Box 4535 Downtown Station, Portlan the installers and subcontractors of h	d eating, plumbing, electri-
cal und mechanicals.	PERMIT IS TO BE ISSUED	TO 1 2 3 4	above
			•
Is connection to be made to p Has septic tank notice been s Height average grade to top o Size, front depth Material of foundation	nis work?	Is any electrical work involved in this If not, what is proposed for sewage? Form notice sent? eight average grade to highest point of solid or filled land? top bottom cellar	roof
No. of chimneys	. Material of chimneys	Roof covering	fuel
Size Girder	Columns under girdersrying partitions) 2x4-16" O. C	Size Max of Size in every floor and flat roof	on centers
Joists and rafters: On centers:	1st floor	nd , 3rd	. , roof
Maximum span: If one story building with ma	sonry walls, thickness of walls?	·	height?
	if A	GARAGE	
No. cars now accommodated Will automobile repairing be	on same lot, to be accome done other than minor repair	nmodated number commercial cars s to cars habitually stored in the propos	to be accommodated
		MISCELLANE Will work require disturbing of any	tree on a public street?
Tite Dept	Hoffin as you vyen	Will there be in charge of the above to see that the State and City requires are observed?	work a person competent rements pertaining thereto
Others:		h 02-6	. "
	Signature of Applicant	y Potvin	hone #
	Tabo Hamo of anoto	Ciner	

FIELD INSPECTOR'S COPY

j.ak

Memo for GL file:

In reference to the Osteopathic Hospital - 335 Brighton Ave.

Received at 9:05 A.M. from Patricia Meally of Corporation Counsel, word that it is permissable to issue to Consolidated Constructors & Builders, Inc. a permit for excavation and

It is understood that before blasting takes place, an arrangement between the hospital, local homeowners and the contractor will

On the strength of this conversation with Mrs. Meally, I will issue the required permit to Consolidated Constructors.

- Director



APPLICATION FOR ELEVATOR PERMIT

PERMIT ISSUED
SEP 11 1961 45

Portland, Maine, Septl 6, 1961

to the INSPECTOR OF RUIT DYNAMING, Maine, 1961	FILL OF HIRLY
The undersigned hereby applies for a permit to install alterelevator x following specifications: Location _ 335 Brighton Ave.	(A) (I,,
following and frame, the Building Cal permit to install along	
Location 335 Brighton Ave. Owner's name and address Osteopathic Hospital of Haine 335 Brighton Ave Elevator contractor's name and address Otis Elevator Co.550 Forest Ave	iu a 1
Location 335 Brighton Ave.	ubmitted to with the Laws
Mark and a ti	nerewith, and the
Owner's name and address Osteopathic Hospital of Maine 335 Brighton Ave Plans filed as part of application yes	_
Plans filed as part of address Otis Elevator Co France 335 Brighton Av	Dist. No
Elevator contractor's name and address Otis Elevator Co. 550 Forest Ave. Last use of building	
Proposed	Telephone
M	
No. of stories 2Style of roof No. of existing cievators To install (2) hydraulic elevators. (one passenger	No. families
Style of roof	_No. families
No of	eel
To install (2) hydraulic elevators. (one passenger and one freight) Details of P	in building 1
elevators. (one passences	Fee \$ 3.00
D. " and one freight)	1 cc \$ 2.00
Di Paris V. Waller J. M. 173 WOLK Dy Alexandro	
Oxent of work, by owner new wife (2) elevators	
STREET, STREET	
Gapacity of clevator 243412-3500 lbs. No. elevator stops 21 Material of cables 243413-2500 lbs. Speed in feet per service of the stops 21 No. elevator stops 21	
Material of cables 2434.12-3500 lbs. No. elevator stops.24	13412-4 Stown
Per minute 21012	i June
Manual Ma	ft.per min.
Minimum discrete of sheaves none	o.per milii.
Minimum clearance above car at topmost floor level 243112-313 3/4" No. and size of hoisting cables Minimum clearance above car at topmost floor level 243112-313 3/4" Type of power No. and size of hoisting cables Material of supports con ent blk. of guides Minimum clearance above car at topmost floor level 243112-313 3/4" Type of power No. elevator stops 2/2 Material of supports con ent blk. of guides Minimum clearance above car at topmost floor level 243112-313 3/4" Type of power No. elevator stops 2/2 Material of supports con ent blk. of guides Minimum clearance above car at topmost floor level 243112-313 3/4"	steel
Typesee buffer plates and speciment level 243412-313 3/4"	eams
Militerin clearance buffer plates and springs when car is at lowest floor level 243412-313 3/4" Type of power hydraulic AC Type of machine 243413-6" 243413-6" 243413-6" 243413-6" 243413-6" 243413-6" 243413-6"	
Will elerator be equipped with the following safety devices:—governor?—no—, car safety?—no— Passenger capacity?—20 hydraulic AC Type of machine 2434,13-6" 24 2434,12-6" Type of machine 2431,13-6" 24 2434,12-6" Passenger Rlevet Passenger Rlevet	
Type of machine 243/12-6" 243/13-6" 243/13-6" 243/13-6" 243/13-6" 243/13-6" 243/13-6" 243/13-6" 243/13-6" Area of platform 243/13-5 4 m × 81/1"	63412-174
car safety? po	73413-54"
Passenger capacity of the Passenger capacity	, electric brakes?
Passenger capacity? 20 Area of platform 243/12-51/41x81/41 Will elevator Type of gates door	noor stops?yes
Will eland door	
Will describe automatic or will operator to interlocked yes	<u>teel</u>
Area of platform 243/12-5 \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	levice? yes
Will doors in shaftway enclosure be interlocked? yes automatic or will operator be in attendance? automatic closing of the shaftway enclosure be interlocked? yes	168
Will shaftway be enclosed? yes Self-closing hatch gates? yes Height? ON-9/1164 Obsignature of elevator contractor. If Freight Elevator Height of enclosure— Self-closing slatted gates? no Height? Height?	
No. outside entrances to shaftway? 2 Self-closing hatch gates? yes Height? 614,11 Bi-parting do ON-9/1164 Obignature of elevator contractor Height? 10-14,11 Bi-parting do Height? 10-14,11 Bi-parting do	
ON-9/11/64 Signature of elevator contractor Self-closing slatted gates? no Height? Height? Height?	61311
Olygnature of elevator courses slatted gates? no	ors? yes
Contractor Manual Pleight?	
	Shit
STATEMENT OF ELEVATOR TESTS	
I,PORTIAND	*********
as an employee of	
installation or alterations to the elevator—, harchways and enclosures at locking and all other safety devices, and I do have personally supposed to the safety devices, and I do have personally supposed to the safety devices, and I do have personally supposed to the safety devices.	
under Building Permit , and have personally supervised tests of loading capacity and of all safely carry the maximum rated loading and all brakes, interlocking and other safety devices are in the safety devices.	
safely and all other safety devices and have personally sa	upervised the
safely carry the maximum rated loading and all brakes, install, supervised tests of loading capacity and of all its carry the maximum rated loading and all brakes, install the safety according to my best known.	as permitted
brakes, interlocking and orben (when a few feet knowledge and belief at	brakes, inter-
locking and all other safety devices, and I do here state that, according to my best knowledge and belief, the elections and all brakes, interlocking and other safety devices are in satisfactory compared to the	evator_will
Les KOV	Judition,
CUMREDI AND	
CUMBERLAND, SS: Personally appeared the above page 1	
ubscribed are true.	
SPECTION -	
Personally appeared the above namedand made oath the statemen	te h. t.
	ts by him
Notary Public Justice of the Peace	
· •	p .



E,

APPLICATION FOR PERMIT

R3 RESIDENCE ZONE

MAR 28 1962

Fee \$ ___5.00

Class of Building or Type of Structure I:15tallation To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE Portland, Maine, Larch 28, 1962. The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment and an analysis of the State of Maine the Ruilding Code and Tonina Ordinance of the City of Portland, blane and

The undersigned hereby applies for a permit to erect after repair demotish install the following of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland; plans and CITY of PORTLAND Location 335 Brighton Ave. Owner's name and address Osteopathic Hospital of haine, 335 Brighton Ave-Telephone Contractor's name and address Hahnel Bros. Co., 42 Main St., Leviston Proposed use uilding _____Hospital Last use Telephone.... Material brick No. stories Heat HeatNo. of sheets No. families Other buildings on same lot Estimated cost \$___ Style of roof No. families Roofing ____

General Description of New Work

To install ventilation system entire new addition as per plans

It is understood that this permit does not include installation of heating the name of the heating contractor. PERMIT TO BE ISSUED TO Is any plumbing involved in this work? Details of New W	
It is understood that this permit does not include installation of heating the name of the heating contractor. PERMIT TO BE ISSUED TO Is any plumbing involved in this work? Details of New W.	
PERMIT TO BE received	apparatus
Is any plumbing involved in this work? Is connection to be made to public sewer? Has septic tank notice been sent? Height average grade to top of plate Size, front Material TO BE ISSUED TO Details of New W Is any ele Form not Height Average grade to top of plate Material Height	Hahnol B to be taken out sales
Is connection to be work? Details of New W.	Z-1
Has come. In the Dublic comments of the Commen	
Height average Houce been sent? If not, wh	not not work involved in this many a
Size, front Form par	inters proposed for sewage?
Is connection to be made to public sewer? Is any elements are provided in this work? Is connection to be made to public sewer? Is any elements are provided in this work? Is any elements are provided in this work? Is any elements are provided in this work? If not, where the provided in this work? Is any elements are provided in this work? If not, where provided in this work? Is any elements are provided in this work? If not, where provided in this work? Is any elements are provided in this work. Is any elements are provided in this w	ice sent?
Kind - e	TIKEPST no.
No. of alt	ed land?
1176 Cim 1	The state of the s
No. stories solid or fille Kind of roof Rise per foot Roof covering No. of chimneys Material of chimneys of lining Framing Lumber—Kind Dressed or full size? Size Girder Columns under girders Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every content of the co	Kindet
Coutside walls and carrying and girders	Corner posts fuel
Joists and rafters: Size	Sills
Size Girder Dressed or full size? Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every building size of the story building size of the s	Wery floor and flat roof span over 8-feet. , 3rd, 3rd, roof, 3rd, roof, 3rd, roof, 3rd, roof, 3rd, roof, 3rd, 3rd, 3rd, roof, 3rd, 3rd
Maximum span:	very floor and flat roof span over 8-feet. , 3rd, roof, roof, 3rd, roof, roof, roof
11 one story building with most	, 3rd
If one story building with masonry walls, thickness of walls? No. cars now accommodated on same lot, to be accommodated	, 3rd , roof , roof , roof , leight?
No. cars now occur	, roof
Will all tomobiles	height?
No. cars now accommodated on same lot., to be accommodated number of the commodated number of th	- contractores titles.
FRITTEN	per commercial care to t
N-3/28/153 CO II	stored in the properate
Will work require disturt	Miscellaneous
Will Work require distur	Ping of
Will there be	Miscellaneous bing of any tree on a public street? no of the above work a person competent to City requirements pertaining at
see that the State and	of the above work a person competent to City requirements pertaining thereto are
observed?	city requirements pertaining at
INSPECTION COPY	mel Bros. Co.
Signature of owner By	1-100. CO.
By water By	0 0
Dr. Dr.	7-120
ten el	eck of
Signature of owner By: See See S	

P.H.



R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation.... Portland, Maine, Harch 16, 1962

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment Ine undersigned hereby applies for a permit to erect after repair demotish install the following building structure equipment sherifications if and colonies and the said and the following building code and Zoning Ordinance of the City of Portland, plans and of PORTLAND Location 335Bright on Ave.

Owner's name and address Osteopathic Hospital of Laine, 335 Brighton Ave. Telephone. Contractor's name and address & Fred J. De Waters, Inc., 27 Belknap St. Proposed use of building ______Hospital____ Telephone..... Last use ... Material brickNo. stories Other buildings on same lot No. families ----- Heat Estimated cost \$....Style of roofRoofingRoofing No. families General Description of New Work Fee \$__5,00__

To extend sprinkler system as per plan for new addition

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO

	TO BE ISSUED	g apparatus which is	
Is any plumbin.	TO BE ISSUED TO	Dellat one is to be taken out separate	
Is connection to be	Details of New 1	g apparatus which is to be taken out separately by Devlaters	y and
Has septic to be made to public sewer?	Is any	Deliaters Work electrical work involved in this work? what is proposed for sewage? otice sent?	
Height areas	If not, y	what a real work involved in this work?	
Size from	Form n	otice is proposed for sewage?	******
Matarial depth	Height areas	***************************************	
Kind A	storiessolid or e	In a state to nighest point of roof	
No of the	Thickness, top	TARREL MARKET PARTY	
Framing Motors Motors of the Property of the P	ot	bottomella_	A10150000000
Size City	himneys of line	ring	***********
Size Girder Columns under Studs (outside walls and carrying partitions) Joists and rafters: 1st floor. Maximum and Columns under Studs (outside walls and carrying partitions) Ist floor.	d or full size?	age grade to highest point of roof led land?earth or rock? bottomcellar ringKind of heatfuel Corner postsSills izeMax. on centers	
ottuds (outside walls and carrying	girders	Corner posts fuel	
Joists and rafters:	2x4-16" O. C. B.:	ize Sills	
On centers:	2nd	every floor and flat	
Studs (outside walls and carrying partitions) Joists and rafters: On centers: Maximum span: If one stored walls and carrying partitions) 1st floor 1st floor	2nd	every floor and flat voof span over 8 feet. , roof	
If one story building with many	254	, 3rd, roof	
Will automobile	If a Garage	height?	•••
repairing be done other then	be accommodated		***
QVED:	nor repairs to cars habitual	mper commercial cars to be account	
N cars now accommodated on same lot to Will automobile repairing be done other than min	7	my stored in the proposed building	
Will automobile repairing be done other than min	Will work room	Miscellaneous	

.....number commercial cars to be accommodated.... Miscellaneous

CS 301

Will work require disturbing of any tree on a public street?....no Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are

Fred J. Dewaters, Inc.

"INSPECTION COPY

} }

Signature of owner By:

Memorandum from Department of Building Inspection, Portland, Maine

FIRE HAIM STATEM.

Location 135 Briston Ave.

February 9, 1962

When each a system has been installed, the owner and lessee of the building are responsible for keeping the system in working order at all times so that the system may always be on guard to warn the occupants of the building in case a fire starte. To discharge this responsibility and to have good conumnes that he will not be held either financially or originally liable in case of injury or loss of life in his building the to fire, it to my bolles that the owner and looses must see to it that the clara agotom is tested every twenty-four hours. This may be done by merely propering very briefly the test button to see if the bells ring loud and clear. Nest of there systems have dry batteries for their power, and the batteries will deteriorate in time so that they will not ring the alors bells estisfactorily, if at all. If the batteries are used briefly by this test every day, they will last longer than when tested less frequently. because this is a cafety device whenever it is found that the bells do not ring loud and plear or any other defeats appears in the cysten, the came. or his again should notify in ediately some predetermined party who has agreed in advance to come at ones and service the system, whether day or It is recommended that the came of such a party and the address and telophone number be posted passamently on or in the control box of the system.

H3 RESIDENCE ZONE



APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd-class.

Portland, Maine, February 7, 1962

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

in accordance	hereby applies for	ND, MAINE	100,000 100,000 000,000 000,000	Land to the fact of
specifications is	aws of the State of Permit	to erect alternation		A. A. Laline
Loverine 200 any, su	hereby applies for a permit aws of the State of Maine, the bmitted herewith and the following the con Ave.	the Building Co.	lish install the following	
Brig	ht on Ave	owing specification and Z	Coning Ordinance of the	uilding structure equipment
Owner's name and add	100- O	- toogetations:	mance of the	ily of Portland, plans and
Lessee's name and	ress Ostheopatnic dos	ni t-3	thin Fire tank	Dist. No.
Contract (1)	:SS	hard of maire 33	5 Basinite Limits?	Diet N-
THALLOT S' Dame on 1		The second secon		10t' IAO''''

Owner's name and		Frontiums:	the City of Portland Alan
Lessee's name and a	address Ostheopath	Le Hospital Within	Fire I in the
Contractor's name	iddress	of Maire 335 B	righton A. Dist. No.
Architect	nd address	tie si	Plans No. 1219
Proposed use of built	1220	Minot Ave Augurn Div. of past	Telephone
Last use	ing	Specifications 430 F	ore Stre Equip Telephone 4-2421
Material	***************************************	leat Style of roof	Telephone Telephone Telephone APL21 Ore St. Plans No. of sheets No. families
Other buildings	No. storiesH	P. +	No. families
Estimated cost &	ne lot	Style of roof	No. families
cost 3	***************************************		Floofing

General Description of New Work (200/or (250)

To install automatic fire alarm system using, Firelites, thermastats, Models #51 to 54, from any wall or partition extending to ceiling, to cover than 15 at right angles and stair halfs, any closet with electrical equipment or entire building, all public as to arouse all persons for whose protection intended-current by dry batteries of capacit for all gangs simultaneously at full strength signal, number and location one year installed in substantial cabinet no less than 15 sauge steel or well-seasoned nor above 100 degrees—test buttor, rigidly fastened in place, considered or well-seasoned provided, will be so arranged athat alarm will sound if sitch is thrown to "silent" position and testing of system and where and how to secure servicing iff system gets the name of the strength of system and where and how to control bax full instructions as to populate to be used on floor will seast and for sitch is thrown to "silent" position of order.

Men alarm is not sounding, installer will sound if sitch is thrown to "silent" position of order. It is to be used on floors instead of gongs with buzzer at switchboard. The name of the name of the heating contractor. PERMIT TO BE ISSUED TO address in Auburn.

Details of New Work capacity t" position as to

•	BE ISSUED TO	raius which is to I SWI tchboard
Is any plumbing :	Details of Name of Nam	ddress in Auburn.
Is connection to be made		
Has septic tank made to public set	wer?s any electric	al mont.
Height average cond	If not, what a	al work involved in this work? proposed for sewage? ade to highest point of roof. earth or rock?
Size, front	Form notice	proposed for sewage? sent? de to highest point of roof earth or rock?
Material of foundation	No. stories Height average gra	ade to hist
Kind of roof	This solid or filled la	ade to highest point of roof nd? earth or rock? cellar Kind of heat
No. of chimneys	er foot	earth or rock? ctom cellar Kind of heat fuel
Framing Lumber-Kind Material	of chimneys	cellar
Size Girder Dr	essed or full sine	77.
Studs (outside walls and carrying partition of the stude	ider girders Cor	Kind of heat fuel Max. on centers floor and flat roof span over 2 f
Joists and raftern	ons) 2x4-16" O C = Size	Sills
On centers: 1st floor	O. C. Bridging in every	floor and flat roof span over 8 feet.
If one story building mist	, 2nd	Brd
with masonry walls, t	hickness of and	roof
No. care no.	or walls/	ord , roof , roo
If one story building with masonry walls, to No. cars now accommodated on same lot. Will automobile repairing be done.	If a Garage	height?
automobile repairing be don	, to be accommodated	

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?....., to be accommodated.....number commercial cars to be accommodated... APPROVED:

ohnson CHIEF OF FIRE DEPA

INSPECTION COPY

Signature of owner by:

Miscellaneous

Will work require disturbing of any tree on a public street?..... Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are

Automatic Fire Alarm Div. of Eastern Fire Equip. Co.

MEMORANDUM FROM DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

August 16, 1961

Before tank and piping is covered from view, installer is required to notify the Fire Covering warning of readiness for inspection and to refrain from covering were covering to the covering warning notify the from covering up until approved by the fire for inspection and to refrain covering up until approved by the

This tank of 1000 gallons capacity is required to be of steel or This tank of two gallons capacity is required to be of steel or wrought iron no less in thickness than # 10 gauge; and before installation wrought iron no less in thickness than # 2000 and the beautiful to be protected against convergence of the protected against conver wrought from no less in thickness than # meange; and before installation is required to be protected against corrosion, even though galvanized, by is required to be protected against corrosion, even though gaivanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and two coats of tar, asphaltum, or other soil, such as cinders or the like, special protection wherein corrosive soil, such as cinders or the like.

Pipe lines connected to underground tanks, other than tubing and except ripe lines connected to underground tanks, other than tubing and except
fill lines and test wells, must be provided with double swing joints arranged rill lines and test wells, must be provided with double swing joints arrang to permit the tank to settle without impairing the efficiency of the pipe

Owner and installer will have to bear the responsibility for the Structural capacity of the tank to support loads from above such as heavy connections. motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or Weighting must be provided waver or "ground" waver, auc.idace anchorage or westly so.
to prevent "floating" when tank is empty or hearly so.



APPLICATION FOR PERMIT s of Building or Type of Structure Installation

PERMIT ISSUED AUG 16 19922

To the INSPECTOR OF BUILDINGS, PORTLAND, MAIN

To the INCOM	a servicinos	Install	1000	1:1
THISPECTOR OF PIL	Portland, Maine	Installation August 15 100	Aug . 010	_
To the INSPECTOR OF BU The undersigned hereby of in accordance with the Laws of specifications	ILDINGS, POPER	Installation August, 15, 1961	AUG 16 1907	:2
charge with the T	upplies for -	E	עיויון	_
vetifications, if any author of t	he State of Permit to erect at	!a	LOILI OF POPTIA	
Location 335 Suomitted h	serewith a Maine, the Build	er repair demolish in	CITY of PORTLAI	Ш
Location 335 Brighton Owner's name and address Lessee's	ave and the following spe	ing Code and Zoning On the	AUG 16 1992 CITY of POPTLAI following building structure equipment nee of the City of Portland, plans and its? Dist. No. Telephone Telephone	
Lesson's and address		incations:	nce of the City of Structure equipment	
Canada and address	Usteopathic	With:	Portland, plane	
Contractor's name	Lagon Control	of has	its?	
Architect and address	C. 277.		Dist. No	
Proposed use of building Last use	SOL ES	The same of the sa	Telephone	
Last use of building	manusanananananan mana	ertland st.	Tolont	
Last use Material	Hospit	cations	T.	
Material	LEUTORI	- Plans	I elephone	
Contractor's name and address Contractor's name and address Architect Proposed use of building Last use Material No. stories	II.	***************************************	No. of short	
Material No. stories Other buildings on same lot Estimated cost	Heat	***************************************	Telephone Telephone No. of sheets 1 No. families	
cost !	Property or and property of the second of th	Style of roof	No 6	
***********************	and the same of the same of the same and the	***************************************	amilies	
	Go.,	***************************************	1/00fing	
m.	General Description	_	***************************************	
replace erical	General Description	of New Way		
To replace existing 1-1000		AA (DEE	Fee \$ 2.LL	

To replace existing 1-1000 gallon fuel oil tank

Tank to be buried at least 3' below grade; coated with asphaltum; bears Und. Lab.

It is understood that this permit does not include installation of heating apparatus which is to be larger for Dept. 8/10/6/6/6/6/6/10/11 Separately by and in

	TO TO TO BE	Police	A	611
Is any plumbin.	A BE ISSUEL	To apparatus whi	ch in the Del	ot. 8/11/6
Is any plumbing involved in this was a septic tank notice been sent? Height average grade to top of plate size, front depth Material of foundation Kind of roof	Details of Ne	C. Gall	Sent to Fire Del ch is to be have from Fire i. & Son	Dept 8/16/
Has septic tank notice been sent? Height average grade to top of plate Size front depth Material of foundation Kind of roof				usely by and
Height tank notice been	sewer?sa	ny electrical		
Simulation average grade to to	If n	or what a new work in	volved in this	
Size, front top of plat	eForm	a Rotice Proposed	for sewaged	*************
Material of foundation	Height :	Trong Sent?	Bct	
Kind of roof	storiessolid	verage grade to high	inct	
No. of chim	Thickness +	or filled land?	point of roof	
Height averag: grade to top of plate Size, front	per foot	bottom	earth or mol-	*****************************
Size	at of Chimner - 1001 (Overing	········· cellar	**********************
Shade	Dressed or full at of linit	1g	~~~~~~	***************************************
ottida (outside walls and	under girdo-	Kin	d of heat	*************
Joists and raftern.	tions) 2-4	ci- Corner posts	manus fi	el
On centers 1st floor	2x4-16" O. C. Bridgin	- JIZE	Man Sills	***************************************
Mass:	- O-15	in every a	On center	***************************************
Size Girder Columns Studs (outside walls and carrying parti Joists and rafters: 1st floor. Maximum span: 1st floor. If one story building with masons.	tions) 2x4-16" O. C. Bridging , 2nd , 2nd thickness of walls? If a Garage	3rd	uat roof span over a re	***************************************
y building with masons		3rd	700f	ec.
walls,	thickness of mall		manus roof	***************
o. cars now accom	or Mailes.	DIO (m.	management Pool	ţeereneeneer es
Ill automobile	II a Cana		Later tool	141914-444
If one story building with masonry walls, o. cars now accommodated on same lot	to be accome		reight?	
VED:	an minor repaired	number com		****************
The second secon		· commercial	na	

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?number commercial cars to be accommodated....

APPROVED: CHIEF OF FIRE DEPT.

Will work require disturbing of any tree on a public street?..... -Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are C. Galli & Son

INSPECTION COPY

Signature of owner By: John B. Centrally July

R3 RESIDENCE ZONF



APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd oloss installation

PERMIT ISSUED
AP' 00283
TITY I DODGE -

and the same of th	2nd oloca	installation
To the INSPECTOR OF BI	Zontana, Maine, April 3, 1	1962 TITY of Bonne
The understand		
in accordance with the T	applies for a permit to exect alternation	118
specifications, if any submitted	the State of Maine, the Building Colon	install the following huilding the
Location 335 Bright on	OILDINGS, PORTLAND, MAINE y applies for a permit to erect alter repair demolish f the State of Maine, the Building Code and Zone the herewith and the following specifications:	ing Ordinance of the City of Portland, plans and
The profile and adding	(10 + 0 - 1)	5-1
Lessee's name and address	Gsterathic Hospital of Laine 335	Brighton Ave. Dist. No.
Contractor's name and att		Telephone
#TChitoot	W DOIL OD LIPORE	I Picha-
Proposed use of building	Specifications	Telephone 2-3907
≃ast use	The second secon	NO. OI Sheete
M serial brick N	11	No. families
Other buildings on servi	es 3 Heat Style of roof	No. families
Estimated cost \$		Roofing
	M 2+2+2+4	***************************************
	General Description of New We	Fee \$ 5,00
To install vent	s.	

To install ventilation system in Room 12 as per plan.

To any platitoing inve	_	I COPAGIA . F N. V	ting apparatus which i TO contractor Work	
25 connection to be n	gade to public sewers	Is an	y electrical work invo	land to the
Has septic tank notic	ce been sent?	If no	t, what is proposed for	ved in this work?
Vize, iront		"""" Height a-		The state of the s
Willterial of foundation		cornes eatta		- bout of 1001
i alla of tool	***************************************	····· I MICKNESS, top	•	cartiff of tock?
110. Of Chimpson	100t	· · · · · · · · · · · · · · · · · · ·		Coldi
Size Girder	Dressed o	or full size?	ng Kind	of heat
Stude Contride	Columns under gi	irders	Corner posts	l of heatfuel
Taias (outside Walls at	ed carrying partitions) 2x	x4.16" (), C, D, A.	Size	of heatfuel Sills Max. on centers lat roof span over 8 feet.
Joists and rafters:	1st floor	o. C. Bridgin	g in every floor and f	at roof
On centers:	1st floor	, 2nd	, 3rd	lat roof span over 8 feet.
Maximum span:	1st floor	, 2nd	3rd	roof span over 8 feet.
At one story building wi	th masonry wells	, 2nd	3rd	roof
	· · · · · · · · · · · · ·	esa of Malla}	***************************************	F001
No. cars now access		If a Comm		ueignt/
Will pytom the	ated on same lot to	be accomment as		
williblie repairin	5 he done other than min	or me-	number commercial	Cara to be com-
PROVED:		repairs to cars ha	bitually stored in the	Droposed Latter
UNAU NOTO			- 1	hasbosed offidings
and nac	, Bearings,	Will work require	Miscellane	CLE
	******************************	Will there be in	e distifting of any tre	ee on a public street? no
and the state of t	***************************************	see that AL C.	charge of the above	work a person competent to
***************************************	4.00.00.00.00.00.00.00.00.00.00.00.00.00	Observed VAS	ite and City requirer	work a person competent to ments pertaining thereto are
301				re-remining thereto are
		M.B. Bourne	& Son	
INSPECTION COPY				

R3 RESIDENCE ZONE



APPLICATION FOR PERMIT

Class of Building or Type of Structure . Excavation Only

PERMIT ISS 1961 983 1961

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE Portland, Maine, July 20, 1951 The undersigned hereby applies for a permit to erect alter repairs a molish install the following building structure equipment of the Laws of the State of Maine, the Build: , fode we'd Zoning Ordinance of the City of Portland, plans and CITY of POPILAN in accordance with the Laws of the State of Maine, the Build perific thiens, if any, submitted herewith and the following sp. ican. Location 335 Brighton ave. ode un? Zoning Ordinance of the City of Portland, plans and Owner's name and address Osteopathic Hospital Lessee's name and address Liain Fire Limits? Contractor's name and address C. alli & Sons, 53 Fortland Street Ale, 335 Brighton Avorelephone ... Dist. No... Proposed use of building ______Hospital Telephone..... Specifications Plans No. of sheets Material____ -----No. stories HeatStyle of roof Other buildings on same lot No. families Estimated cost \$____ No. families Roofing ____

General Description of New Work

To EXCAVATE ONLY for 4-story mascnry addition

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractors Is any plumbing involved in this work?

Is any electrical work involved in this work?

If not, what is proposed for sewage? Has septic tank notice been sent? Height average grade to top of plate ______ Height average grade to highest point of roof______ Size, front depth ______No. stories _____solid or filled land? _____earth or rock? _____ Kind of roof Thickness, topbottom......cellar Rise per foot Roof covering No. of chimneys Framing Lumber-Kind___ nd______ Dressed or full size?_____ Corner posts _____ Sills _____ Size _____ Max. on centers _____ Size Girder_ Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. 1st floor......, 2nd....., roof 1st floor. _____, 2nd_____, roof ____ If one story building with masonry walls, thickness of walls?.... , 2nd_____, 3rd _____

No. cars now accommodated on same lot......., to be accommodated......number commercial cars to be accommodated..... Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellancous

Will work require disturbing of any tree on a public street?__no____ Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are

Osteopathic Hospital of Maine C. Galli & Sons

INSPECTION COPY

Signature of ownery:

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NOTES Form Check Notice Staking Out Notice Final Inspn. Final Netif Cert. of Occupancy issued Notif. closing-in Inspn. losing-in - ...วลาปอเปล่า enlime: o. witimat no 37000

AP- 329-335 Brighton Ave.

July 28, 1961

Kr. Gerald M. Kelley, Admins.
Osteopathic Hospital of Maine
335 Brighton Avenue
G. Galli & Cons
53 Portland Street

ce to: James Saunders Assoc. 562 Congress Street

Centlement

Building permit for construction of a three story and becoment addition to hospital at the above named location is issued herwith based on revised plans and specifications filed at this office on July 25, 1951 and orchitect's letter of July 26, 1961, but subject to the following conditions:

- 1. As soon as available, information is to be furnished indicating compliance with Eucliding Code requirements for venting of pent house of passenger elevator shaftway.
- Separate permits issuable only to the actual installars are required from this office for installation of insinerator, sprinkler and mechanical ventilation systems, and elevators.

Very truly yours.

Albert J. Sears Building Inspection Director

AJSIM

P.

MES SAUNDERS ASSOCIATES ARCHITECTS

portland maine

James C. Saunders AIA Thomas V. Galland

July 26, 1961

Mr. Albert J. Sears
Building Inspection Director
Department of Building Inspection
City Hall
Portland, Maine

Re: Ostaopathic Hospital of Maine

Dear Mr. Sears:

In reply to your Just 21st letter relative to the issuance of a building permit for the Osteopathic Hospital of Maine, we wil. take up the various items in the same numbered order used in your letter.

1. There are 78 parking spaces at the hospital now and it is planned to increase this number to 88

The total area of the building, when the addition is completed, will be 38,242 square feet, exclusive of cellar. According to the formula of one parking space for 500 square feet of floor area, we will require 76 spaces.

- 2. Your attention is invited to sheets 2, 3, 4, and 5 doors in the direction of exit travel from the
- 3. Door in question is a 1-1/2 hour "B" label with liquid closure.
- 4. Your attention is invited to sheet 3 of the drawings showing door #118 to be 3'8", to sheet 5 of the drawings which shows door #321 to be 3'3", the second floor entrance door to the enclosed stairway in the present building to be 3'10".

- 5. Your attention is invited to sheets 19, 20, 21, 22, the electrical drawings, which show the exit () \(\int \).
- 6. Your attention is invited to drawings 3 and 16 which show this ramp to be within the one foot in twelve allowable pitch and calling for a wood float finish to insure a non-slip surface.
- 7. Your attention is invited to section 25 of the specifications which lists the hardware schedule.
- 8. Your attention is invited to drawings 24, 25, 26, and 27, the plumbing section, which show the standpipe and hose, which we believe comply with the requirements of the Building Code.
- 9. Your attention is invited to sheet 24 of the drawings which shows the extent of the automatic sprinkler system contemplated and which we believe is in compliance with the requirements of the Building Code.
- 10. Your attention is invited to section 27 of the specifications which calls for Armstrong Fire Guard ceiling system which is approved by the Underwriters for two hour protection.
- 11. Your attention is invited to sheets 13 and 14 which show that show that all steel and roof construction is either fire proof steel or reinforced concrete construction.
- 12. Your attention is invited to sheet 5 of the drawings and section 16, page 4 of the specifications which together show the extent of the steel corridor partitions and describes the system employed.
- 12. Revised drawing will be submitted showing thin glass window in the wall of the elevator shaftway above the roof level, equal to three-fourths of the area of the shaft.

This office was erroneously informed by the State Elevator Inspection Service that compliance with the State Elevator Code would be satisfactory to your office and this information was followed in preparing the drawings.

We note that in the last paragraph of your letter that not the more than two construction signs may be displayed and that the more than two construction signs may be displayed and that the more than two construction signs may be displayed and that the more than two constructions are a feet.

It is requested that if an examination of the drawings referred to in the foregoing shows satisfactory compliance with the Code, that a permit be issued on the assurance of the that a permit be issued on the corrected to your office that the elevator shaftway will be corrected to satisfaction.

If there are any questions, we would appreciate your calling us as we are most anxious that construction of this project not be delayed. not be delayed.

JCS ; ccb

cc: Mr. Gerald M. Kelley

AP-329-335 Brighton Avenue

July 21, 1961

Junes Saunders Associates 562 Congress Street ce to: Gerold M. Kelley, Admins. Osteopethic Hospital of Maine 335 Brighton Avanue

Gentlemen:

I am still unable to issue a permit for construction of proposed addition to hospital building at the above named location because of lack of insufficient information to show compliance with Zoning Ordinance and Building Code requirements. Information concerning the following items discussed with Mr. Mitchell has not as yet been furnished:

1. Plot plan showing existing and new off-otreet parking is needed. The Zoning Ordinance requires one off-street parking space at least 8 feet wide and 18 feet long for each 500 square feet of floor area or asjor fraction thereof exclusive of cellar.

2. Doors in existing wall between present building and addition are required to suing in the direction of exit travel from the addition.

3. Door 319 to stairmay enclosure is required to bear at least a Class "C" label and to be equipped with a liquid closer.

4. Unless already 144 inches whis, the doors in existing wall between present building and addition in first and third stories and the entrance doors to enclosed stairey in second and third stories of present building are required to be made at least that width.

5. Exit lights are required to indicate location of all means of ingress and egress.

6. The slope of the ramp at first story rear entrance is greater than the one foot in 12 feet allowable. If slope exceeds one foot in 20 feet, non-willin curracing is required. The 18 inch drop to ground at outer end of ramp is not allowable.

7. Vertibule latch sets or equivalent are required on all doors in a means of egress on which locking devices of any kind are to be provided.

8. What provision is to be made for compling with requirements of Building Gode for standpipe and hose?

9. Storage rooms and work shops in basement are required to be equipped with an automatic sprinkler system. — \bigcirc , \bigvee

10. No information has been furnished as to the type and system of securities to dellings. There is no section in set of specifications which we have that relates to this subject.

Plan to

The state of the s

16. All steel in roof construction, including beams across openings where window wall construction occurs at north and of addition and side wall of stair tower, is required to be fireproofed. quired to be fireproofed.

12. It is understood that material of corridor partitions in third story has been changed. We have no details of such a change.

13. Area of thin glass window in wall of elevator shaftway above roof is required to equal at least three-quarters of the area of the shaft.

Attention is called to requirement of Section 15-4-65 that not more than two edges identifying the construction project having a combined area of not over 15 feet may be lawfully erected on the promises.

Very truly yours,

MS/18

albert J. Sears Building Inspection Director

AP-329-335 Brighton Avenue

June 15, 1961

Mr. Gerald M. Keller, Administrator Ostocjathic Mospital of Maine 335 Brighton Avenue

ce to: James Saundern Assoc. 562 Congress Street ce to: Corporation Counsel

Doar Mr. Kelley:

Building permit for construction of a three story and basement addition to hospital at the above named location is not issuable under the Ecning Ordinance because the height is to exceed the maximum of 2% stories set by Section 16-3-5 of the Ordinance coplying to the 18-3 Hesidence Zone in which the property is located.

rights concoming this discrepancy. Accordingly we are cortifying the case to the Corporation Counsel, to whose office in Foom 208, City Hall, you should go to file the appeal.

Very truly yours,

AJ3/18

Albert J. Soors Building Inspection Director

APPLICATION FOR PERMIT



Class of Building or Type of Structure Class

PFAMIT ISSUED
OOSOS
JUL 28 1587

June 12, 1961 Portland, Maine,

	Portland, Maine,		
To the INSPECTOR (OF BUILDINGS POPTLAND	June 12, 1961	
in accordance with the L specifical ons, if any, su Location 335 Brig	hereby applies for a permit to erect all aws of the State of Maine, the Build bmitted herewith and the following sp hton Ave.	lter repair demolish install th ling Code and Zoning O-di ecifications:	ne following building structure equipm nance of the City of Portland, plans a
Owner's name and add	ress Osteonathic Possit-1	Within Fire L	imits? Dist No
Contractor's name and	css es		Telephone 2-8392
Architect	•		DU
Proposed use of built	Spe	cifications Pla	ns yes No. of sheets
Last use	Hospital		ns yes No. of sheets No. families
Material maconnes	## ***********************************	· ····· · · · · · · · · · · · · · · ·	No. of sheets
Other building N	o. stories 4 Heat	Style of roof	No. families
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Estimated cost \$ 265,	0.00.00		Fee \$ 150.00
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Form Check Notice Staking Out Notice Cert. of Occupancy issued Final Inspn. Final Notif. Notif. closing-in Date of permity Inspn. closing-in Slow al end 45 ł,



APPLICATION FOR PERMIT

Class of Building or Type of Structure

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June 75	30

PARMIT ISSUED
JUN 26 1961
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Location 335 To Suomitte	by applies for a permit to erect alter repair de ed herewith and the following specifications: Osteopathicaria	emoliet :	- Carrier
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To demolish existing 3	General Description of New	Work Fo	SC 9 T (X)
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To demolish existing 3-story frame building(attached to existing hospital) To brick up walls of hospital where portion was removed. Do you agree to tightly and permanently close all sewers or drains connecting with this public or private sewers from this building or structure to be works of the City of Portland? Yes.

This portion removed will be used for construction.

It is understood that his permit was not include installation of heating apparatus which is to be taken out separately by and in contractor

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No cars now accommodated on same lot ______, to be accommodated _____number commercial cars to be accommodated ______ Will automobile repairing be done other than ; osed building?.....

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Signature of owner ...

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Finat Notif.

Finat raspn.

Cert. of Occupancy issued

Staking Out Notice Foun Check Notice Notif. closing-in Date of permit 20-6 ger bo aurgenate Lugipau Luracope, mance y sic very of Portional plans Dist. Notice Teleptions Car rorland akalone view ŧ No. (amiliar No. families Rooning . . . 1051 W. E. W. ing hospital) ser of tribition 112- 1 40 6110 67 12 n- M thed it this work? 1.16 ः विद्वारक्षक को विश्वरक्ष aloos to in. earth or rock? 4 a in white - 7. 1,

1. S. A

CITY OF PORTLAND, MAINE DEPARTMENT OF BUILDING INSPECTION

Osteopathic Hosmital of Maine 335 Brighton Ave. Portland Maine June 15, 1961

Gantlemen:

With relation to permit applied for to demolish a **Exactions** or portion of building at 335 Brighton Ave. it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up: with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

Very truly yours,

AJS/jg

Albert J. Sears
Inspector of Buildings

Eradication of portion of building has been completed. (this is a 3-story frame building attached to existing hospital brick building).

Moon't be ently until 6-26-6;

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APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR USE OF PREMISES	
OR USE OF PREMISES	
NO SELECTION OF THE SECRETARY OF THE SEC	
Portland, Maine Nay 22, 1959	
Location 335 Brighton Ave.	
TITIENTON AVO	
Zona Zona	
ASSESSOR AND	
To the IMSPECTOR OF BUILDINGS, Portland, Maine The undersigned hereby applies for a certificate of occupancy to allow the use of the above named premises for Off-street parking (and	
indundersigned hereby applies for a continu	
as set forth on the attached site plan (made by	;
as set forth on the attached site plan (made by	lot)
~ 850 kG 170 ** (JPM no. 1)	1
located; and in accordance with the following pertinent information:	7
actordance with the following pertinent inch the property is	į
Owner (name, address and phone number) Osteopathic Hospital of Maine 335 Brighton	- (
Lessee (name, address and phone number) Osteopathic Hospital of Maine 335 Brighton Ave.	1
priorite mimhen)	. !
Is proposed use to be accessory to a building or other use on this lot?	٠,
If so, what is use of hudden or other use	,
If one this lot? yes	¥ #
If off-street parking is sought, what is proposed maximum number of vehicles to be have you secured on the	ĺ
parked—passenger cars? 18	ì
Have you secured on the sit	4
entrances to and exits from it.	j
Have you secured on the site plan the written approval of existing and proposed entrances to and exits from the premises for vehicles over public sidewalks and, if access to the premises is available from more the	!
	ļ
MODIOVAL NV + ha Da	
	1
Have you shown on the site plan the true location of all trees on the public street along the frontage of the premises (both streets if a corner lot)? None To see the premise of the premise (both streets if a corner lot)? None	
Do you propose the public street of a corner lot 12 None	1
Do you propose to provide any tree on a public street? If so, have you secured on the site plan the written approved to provide any tree on a public street? No	}
of Parks and Recreation? No	Ì
If so, have you secured on the site plan the written approval of the Director	į
Action 1	-
Signature of Owner Osteopathic Hospital of Maine	
By Sand B. Rielle Colonia (duly authorized phereto)	1
by Sent B. Rall .	· .
(duly authorized alforsto)	į
	1
THIS IS NOT A THE	4
TO TO A CERTIFICATE OF OCCUPANCY	; ;
E while in held sold sold of the	
to theme the control of the control	, I
THIS IS NOT A CERTIFICATE OF OCCUPANCY TO COMMENCING the above proposed use of the premises would be IN VIOLATION of the ment of Building Inspection. However, improvement	in .
Zoning Onds the above proposed the control of the c	M.
Zoning Ordinance unless a Certificate of Occupancy is first procured from the Depart-	
Inspection.	,
However, improvement of the premises according to the site plan and the above ditions indicated below—notice of read ness thorization, but subject to the	
application may now proceed without a seconding to the	i
application may now proceed without further authorization, but subject to the conditions indicated below—notice of readiness for final inspection to be given to ments:—	į
ments:- when the premises have been also final inspection to be seen	
this department when the premises have been placed in compliance with the require-	\$
- one require-	
	† *
(Date)	
/ Pave/	3
Inspector of Buildings	,
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