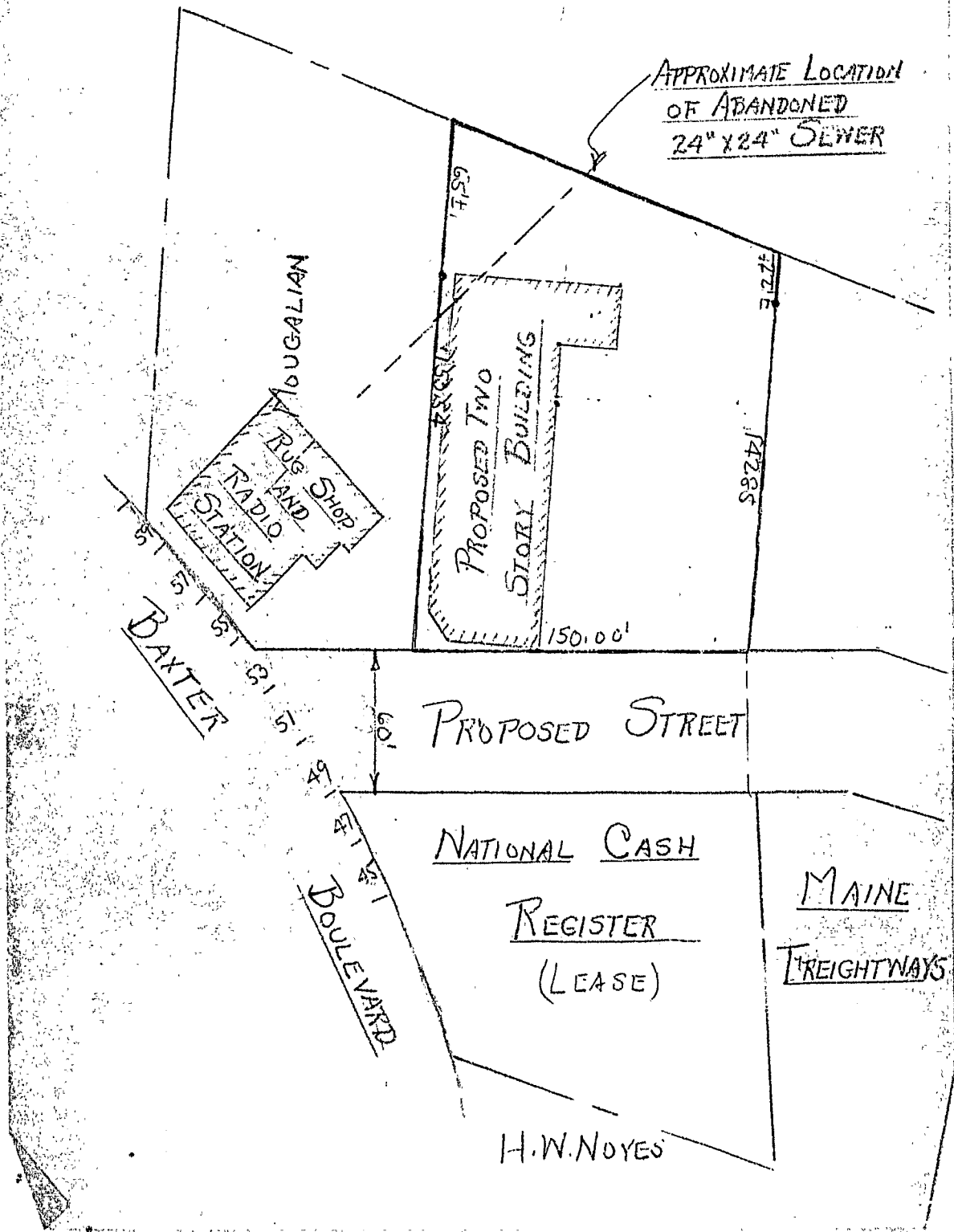


PROPOSED ST. (OFF 51 BAXTER BOULEVARD)





Inquiry-Rear-53-Baxter Boulevard

June 29, 196A

Mr. Clifton M. Bryant
Bryant Press
53 Baxter Boulevard

cc to: Corporation Counsel

Dear Mr. Bryant:

The present Zoning Ordinance which became effective on June 5, 1957, shortly after work on your building at the above named location was well under way, provides that no building shall be erected on a lot which does not abut a street as defined in Section 27 of the Ordinance unless the Municipal Officers (City Council) have previously approved other means of access to such lot as provided in the Ordinance. This section defines a street as "a public way established by or maintained under public authority, or a way dedicated to the use of the public and appearing on the official map of the City of Portland."

Investigation indicates that the so-called proposed street on which your property borders, and over which it is necessary to travel from Baxter Boulevard in order to reach it, is privately owned and does not qualify as a street under the definition in the Zoning Ordinance. Under these circumstances I shall be unable to issue a permit for erection of a new building or an addition to the existing building on your property unless approval of the so-called proposed street as a means of access to your lot has been secured from the Municipal Officers. It is suggested that you consult the Corporation Counsel's office as to the procedure to be followed to secure such approval.

It seems best to inform you of this condition right away so that it can be cared for while work on the plans for the proposed construction is progressing. Since the property is located in an I-2 Industrial Zone where front, side and rear yards are required for buildings and since application of yard requirements may differ according to whether a new building or an addition to the existing building is to be built, it is rather difficult to determine what requirements may be unless definite information is furnished as to what you would like to do. I understand that you are having a plot plan prepared showing a proposal on which a decision can be made.

Very truly yours,

Albert C. Sears
Building Inspection Director

ADS:m

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION Rear 51 Baxter Boulevard

Date of Issue October 2, 1958

Issued to **Bryant Fross**
Rear 51 Baxter Boulevard

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 58/525, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

First floor
Second floor

APPROVED OCCUPANCY
Offices and printing shop
offices

Limiting Conditions:

This certificate supersedes
certificate issued 9/18/58

Approved:

10/2/58 *A. C. Clark*
(Date) Inspector

Albert J. Sears
Deputy Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

September 23, 1958

Rear 51 Baxter Boulevard
Partitions for offices

Bryant Press
R. 51 Baxter Boulevard
Fred I. Merrill
22 Somerset Street
So. Portland, Maine

Gentlemen:

Upon inspection of the above job on September 22, 1958, the following defects were found:

--Exit signs have not been provided to show rear means of egress. On the present plans it would take at least two signs with arrows. As you start from the front of the building to go to the rear exit an exit sign would be needed at the end of the corridor with an arrow pointing right. The second exit sign would need to be on the rear wall between the window and rear exit door pointing right.

--Before any office can be put into use a certificate of occupancy from this office is required.

--See our letter to you of May 9, 1958, paragraphs 5 and 7.

It is important that correction of these conditions be made before October 1, 1958, and notification be given this office of readiness for another inspection.

If additional information relative to the above is desired, please phone Inspector A. Allan Soule at 48221, extension 234, any week day but Saturday between 8:00 and 8:30 A.M.

Very truly yours,

A. Allan Soule
Field Inspector

AAS/18

AF-Rear 51 Baxter Boulevard

May 9, 1938

Fred I. Merrill
22 Somerset Street
South Portland, Maine
Bryant Cross
R.51 Baxter Boulevard

Gentlemen:

Building permit for erection of non-bearing partitions in second story of building at above named location to sub-divide that area into several suites of business offices is issued herewith based on plans filed with application for permit, but subject to the following conditions:

1. Hand rails are to be provided on both sides of all stairways which are over 40 inches in width.
2. If there are to be any locking devices on doors leading to stairway enclosures, vestibule latch sets or equivalent are to be provided on such doors.
3. Height of risers of new stairway is not to exceed $8\frac{1}{2}$ inches.
4. Incombustible firestopping is to be provided at floor and ceiling lines between wood strapping attached to masonry walls.
5. Exit signs are to be provided in such number and location as to indicate clearly the rear means of egress.
6. Notification is to be given this department for inspection before any covering is applied to walls, partitions or ceilings.
7. Certificate of occupancy is required from this department before any of offices are put into use.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS/jg



B2 BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Masonry
Portland, Maine, EXX May 8, 1958

PERMIT ISSUED

00525

MAY 9 1958

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Rear 52 Baxter Blvd. Within Fire Limits? no Dist. No.

Owner's name and address Bryant Press, rear 52 Baxter Blvd. Telephone

Lessee's name and address

Contractor's name and address Fred I Merrill, 22 Somerset St. So. Portland Telephone 9-3471

Architect

Specifications

Plans yes No. of sheets 2

Proposed use of building Printing Press Building No. families

Last use

Material

No. stories 2 Heat

Style of roof

Roofing

Other building on same lot

Estimated cost \$ 12,000 Fee \$ 12.00

General Description of New Work

To erect all non-bearing partitions on second floor as per plan, FOR GENERAL OFFICE USE.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work?

Is any electrical work involved in this work?

Is connection to be made to public sewer?

If not, what is proposed for sewage?

Has septic tank notice been sent?

Form notice sent?

Height average grade to top of plate

Height average grade to highest point of roof

Size, front

depth

No. stories

solid or filled land?

earth or rock?

Material of foundation

Thickness, top

bottom

cellar

Material of underpinning

Height

Thickness

Kind of roof

Rise per foot

Roof covering

No. of chimneys

Material of chimneys

of lining

Kind of heat

fuel

Framing Lumber—Kind

Dressed or full size?

Corner posts

Sills

Size Girder

Columns under girders

Size

Max. on centers

Kind and thickness of outside sheathing of exterior walls?

Studs (outside walls and carrying partitions) $2 \times 4-16''$ O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor

2nd

3rd

roof

On centers: 1st floor

2nd

3rd

roof

Maximum span: 1st floor

2nd

3rd

roof

If one story building with masonry walls, thickness of walls?

height?

If a Garage

No. cars now accommodated on same lot....., to be accommodatednumber commercial cars to be accommodated.....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Bryant Press
Fred I. Merrill

APPROVED:
with letter by AGJ

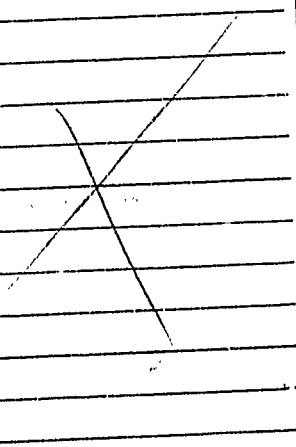
Signature of owner by:

INSPECTION COPY

NOTES

Handrail: 40" ---
 - No doors on stairway -
 - Height riser - 8 1/2" max -
 - Exit signs -
 - C of E - for every office -

5/21/58 Left G.T. to close
 - in - Corridor has been
 changed to go by chimney
 At this point the corridor
 would be only 2'10" wide.
 Told the foreman that I
 would let him know if
 we would let him leave
 it that way. - Stairway
 not finished. - Allan
 5/21/58 - Left word at
 by phone for the foreman
 that exit way beside the
 chimney must be 36" -
 Allan
 6/2/58 - Partitions up.
 Handrails, doors to stairway,
 exit signs etc. not done -
 Allan
 7/14/58 - same as above -
 Allan
 8/11/58 - Exit signs needed -
 Allan
 9/8/58 - Exit signs needed -
 Allan
 9/22/58 - same - Allan
 10/1/58 - work done - Allan



Permit No. 58/525
 Location: Room 13 B. B. Block
 Owner: B. B. Block
 Date of permit: 5/9/58
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice

58/525
 5/9/58



B2 BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd class
Portland, Maine, May 12, 1958

PERMIT ISSUED

MAY 13 1958

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ~~alter~~ ~~repair~~ ~~demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Rear 51 Baxter Blvd. Within Fire Limits? no Dist. No.

Owner's name and address Bryant Press, rear 51 Baxter Blvd. Telephone

Lessee's name and address Telephone

Contractor's name and address Grinnell Company, 501 Fore St. Telephone 3-3879

Architect Specifications Plans yes No. of sheets 1

Proposed use of building Printing Press Building No. families

Last use " " " No. families

Material No. stories 2 Heat Style of roof Roofing

Other building on same lot

Estimated cost \$ Fee \$ 2.00

General Description of New Work

To install wet sprinkler system (addition to existing sprinkler system)

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? 1. what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Kind and thickness of outside sheathing of exterior walls?

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor....., 2nd....., 3rd....., roof

On centers: 1st floor....., 2nd....., 3rd....., roof

Maximum span: 1st floor....., 2nd....., 3rd....., roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Bryant Press
Grinnell Company

APPROVED:
O.N. - 5/13/58 - ags

Signature of owner by: E. N. Sullivan

INSPECTION COPY

7-11

Permit No. 58/540

Location 1641 51 Capital Blvd

Owner Beyond Power

Date of permit 5/13/18

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Torn Check Notice

NOTES

6/2/18 Job completed
OK

~~Large area of site to be cleared and graded for foundation work. All existing structures to be demolished and removed. Foundation to be poured and set. Walls to be poured and set. Slab to be poured and set. Final inspection to be scheduled. Certificate of occupancy to be issued. Staking out notice to be posted. Torn check notice to be posted.~~

(COPY)



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION Proposed St. off 51 Baxter Blvd.

Issued to Clifton M. Bryant

Date of Issue July 18, 1957

This is to certify that the building, premises, or structure, at the above location, built—~~erected~~
—~~erected~~ under Building Permit No. 56/2019, has had final inspection, has been found to conform
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for
occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

First Floor

Offices and printing shop

Limiting Conditions:

2nd floor not to be used until use
is determined and new certificate issued

This certificate supersedes
certificate issued

Approved:

7/18/57 *A. Allen*
(Date) Inspector

W. W. Wald
Inspector of Buildings

Philip T. O'Donnell, Harbor Master,
E. PERLEY FULLOCK, South Portland, Chairman
CLARENCE E. TURNER, JR., South Portland
Edward C. Miller,
LINWOOD F. McLain, Portland

Board of Harbor Commissioners
for the Harbor of Portland
GEORGE E. McDONALD, Clerk
Office: 85 Exchange Street
Portland 3, Maine

June 10, 1957.

Bryant Press
Clifton M. Bryant, Prop
17 Myrtle Street
Portland, Maine

File copy in

Dear Sir:

It is the understanding of this Board that in the process of constructing a new building on Baxter Boulevard you are dumping fill on the flats adjacent thereto, this is in violation of Laws of Maine, 1917, Chapter 192, Sec. 5.

C
O
P
I

We respectfully suggest that you inform yourself regarding this matter. An application for a permit should be filed with this Board for a Permit.

C
O
P
Y

Very truly yours,

(signed) George E. McDonald, Clerk
of the Board of Harbor Commissioners.

GEM/s.

RECEIVED
JUN 11 1957
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Copy sent Warren McDonald, Building Inspector.

November 13, 1956

AP - Proposed Street off 51 Baxter Boulevard

Brown Construction, Inc.
22 Monument Square

Copies to Mr. Clifton M. Bryant
17 Myrtle Street
Mr. W. B. Millward Sr.
Birch Knolls,
Cape Elizabeth

Gentlemen:-

Building permit for construction of a two story masonry build 50 feet by 150 feet at the above location is issued herewith based on revised p. filed at this office on November 9, 1956, but subject to the following conditions:-

1. It is not clear what use is intended in the second story. If plastered ceiling is provided for first story as indicated in specifications, use will be limited to offices, retail sales or light manufacturing because of the design of the floor construction.

2. Work under this permit does not include erection of any partitions in second story other than those shown on plans. Before work is started on other than partitions shown, an amendment to this permit covering such work is to be secured, and with application therefore is to be filed a layout plan of partition arrangement.

3. Handrails are to be provided on both sides of all stairways more than 40 inches wide.

4. If any windows or doors in northerly wall are to be closer than 30 feet to openings in the existing building on the adjoining lot as seems possible, such windows are required to be glazed with wire glass and any such door is required to be a labelled fire door because of Fire District rules.

5. It is not clear what is meant by 4x4 header indicated on second floor framing for "kick" piece at inner ends of supports for side canopy, but in any case it should be of incombustible material such as a 4x4 angle.

6. All parts of canopy including the decking and ceiling covering is required to be of incombustible material.

7. All woodwork at eave line of building, which would otherwise be exposed to the open air, is required to be covered with metal.

8. Front entrance doors are required to be equipped with a vestibule latch-set or anti-panic hardware as indicated for other doors.

Brown Construction Co. - - - - -#2

November 13, 1956

9. Exit signs with letters at least 6 inches high are required in first and second stories to indicate the rear means of egress if there will ever be more than 20 people in either story at any one time.

10. Notification for "closing-in" inspection by this department is to be given before any lath or wall board is applied to walls, partitions or ceilings.

11. A certificate of occupancy is required from this department before any part of building is put into use.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AMS/G

SPECIFICATIONS
PROPOSED OFFICE BUILDING
for
BRYANT PRESS,
Clifton M. Bryant, Owner

Marginal Way.

Portland, Maine

I. General Terms and Conditions.

All Work to conform with the general conditions as laid out by the American Institute of Architects.

II. Excavating.

The Contractor shall do all excavating and backfilling necessary for the preparation of the site and the construction of the building. Excavation shall be 10" below ground floor and filled with gravel. Exterior grading to be done by owner.

III. Concrete and Masonry Walls.

a. Foundations and Footings.

Furnish and erect all forms for concrete footings and foundations according to dimensions shown on plans. Walls to be of thickness shown and reinforced with steel bars as shown. Furnish and place five bag transit mixed concrete as required.

b. Floors.

Ground floor to be of thickness shown and reinforced with 6/6 x 10/10 reinforcing mesh and steel troweled to a finish suitable for application of asphalt tile floor.

c. Walls.

Exterior walls on street front and north elevation as shown to be 4" brick veneer backed up with 8" cinder blocks. This veneer to return 2' on south elevation. All remaining walls to be cinder block 12" thick. All brick veneer to be parged. Contractor is to supply and install extra heavy Dur-o-wall every two courses.

Interior walls to be of cinder blocks and of thickness shown. The bearing walls to be reinforced with Dur-o-wall reinforcing every second course. Mortar to be 1-2-6 mix.

d. Lintels.

Lintels to be of steel of sizes shown on plan.

- e. Allowance of \$70.00 per thousand for brick to be picked by owner.
- f. All brick work to be cleaned and oiled before completion of job.

IV. Carpenter Work.

a. Floor Construction.

The second floor is to be supported by long span joists as shown. Subfloor to be 2" T and G hemlock plank covered with 5/8 CD plywood laid so as to receive asphalt tile. No tile to be furnished on this floor. Roof to be supported by long span joist and covered with 2" T and G hemlock plank.

b. Doors.

Door frames to be 1 1/2" thick pine double rabbitted with trim as directed by Architect. Doors to be flush panel birch of paint grade. Exterior doors to be 1 3/4" with glass as shown.

c. Windows.

All windows to be of steel galvanized. Windows in office portion to have plastered reveals with narrow moulding at junction of window frame and plaster. Stools to be of wood.

d. Stairs.

Treads to be of hard wood. Handrails and newell posts to be of birch with square pine balusters.

V. Long Span Trusses and Structural Steel.

The Contractor to furnish and erect all steel and reinforcing bars as shown. Structural steel to have one coat of paint. All anchor bolts and ties to be furnished by Contractor.

VI. Lath and Plaster.

Exterior walls of offices to be strapped and lathed and plastered. Strapping to be 1" x 3". 2/8" rock lath with browning and finish coats. Finish coat to be lime and gauging plaster. Interior masonry walls to have two coats plastered directly to blocks. Toilet walls not to be plastered. First and second floor ceilings to be hung on metal channel irons, metal lath and have three coats of plaster. All plaster to be light weight structo-plaster. Front stairwell to be plastered on blocks. No plastering on rear stairway. All corners to have metal corner beads and all interior angles to have metal angles. No plaster on shops, rear stairs and toilets.

VII. Cleaning and Patching.

Contractor to use cloths to protect against plaster and droppings and will clean all plaster spatter and droppings from building. He shall also do all necessary patching.

VIII. Painting.

All plaster surfaces to be given two coats of paint. All masonry walls in shops to receive two coats of aluminite paint.

IX. Hardware to be furnished by owner.

X. Roofing.

A four ply 20 year tar and gravel roof to be furnished including roof of marquee.

XI. Glass and Glazing.

All glass to be DSB except window in front of office #2 and two smaller windows in office #3 which will be 1/4" plate glass. These windows to have aluminum frames and sash of Pitco or Kawneer. Entrance doors to have Tubelite frames. Doors to be narrow aluminum frame type.

XII. Electrical Work.

Labor and material to be furnished by owner.

XIII. Heating.

Labor and material to be furnished by owner.

XIV. Plumbing.

All waste pipes and connections to be extra heavy cast iron type. All underground cold water supply to be K type copper. Exposed pipes to be L type. Contractor to furnish 30 gallon electric hot water tank. Cold water supply to extend 20 feet beyond front wall and to be connected to supply furnished by Portland Water District. All waste pipes to be connected with existing abandoned 24" x 24" sewer. Toilets to be Santon #3207 with vitreous china tank and Church seat #395-C. Lavatories to be #1495-V Rhodile, wall hung type, Crane or equal.

6. 11. 1911
No Paint
Paint in Back room
and Plaster and Paper

*File
2/1/76*

October 16, 1956

AP - Proposed Street off Baxter Boulevard

Brown Construction, Inc.
22 Monument Square
Mr. William B. Millward, Sr.
Birch Knolls, Cape Elizabeth, Me.

Copy to Mr. Clifton M. Bryant
17 Myrtle Street

Gentlemen:-

We have been informed by the City Legal Department that a permit cannot be issued for an encroachment of foundation footing into bed of proposed street as indicated on plot plan filed with application for permit for construction of a two story building at the above location and, because this future street is private and not public property, that the Municipal Officers have no authority to approve such an encroachment. Therefore, it appears necessary that the building be relocated or shortened so as to keep all parts of the footing within the limits of the lot on which building is to be erected or else that the footing be designed so that it will not encroach upon the street.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS/G

*JG
I mailed these
10/16/56*

October 17, 1956

AP - Proposed Street off Baxter Boulevard

Brown Construction, Inc.
22 Monument Square
Mr. William B. Millward Sr.
Birch Knolls, Cape Elizabeth, Me.

Copy to Mr. Clifton M. Bryant
17 Myrtle Street

Gentlemen:-

Examination of plans filed with application for permit for construction of a two story masonry building 50 feet by 150 feet at the above location discloses the following variances from and questions as to compliance with Building Code requirements:-

1. If building is to be located as shown on plot plan so that part of footing on which the front foundation wall is to be supported will project into the bed of the public street, approval of the Municipal Officers will need to be secured for such projection. It is important therefore that we should know as soon as possible if this is to be the case so that steps can be taken to place the matter before them for consideration.

2. It is a well known fact that sub-surface conditions in the Back Bay area are such as to afford poor soil bearing qualities. Have any steps been taken to find out the character of the soil in the vicinity of the area where the building is to be erected? If so, please furnish data indicating what the results of any soil tests may have been. If not, it is necessary that such tests be made to determine what the conditions are. The person designing the foundations should then prepare sufficient cross sections through vital parts of the structure to show character of soil on which footings are to rest and the finished grade of the ground in relation thereto. He should indicate on the plans what value as to bearing capacity of soil has been assumed as a basis for design of the foundations, as provided by Section 307b2 of the Building Code. We can assume no responsibility as to the adequacy of the design or as to the character of the soil to support the loads indicated.

3. It appears that the rear wall of the building is to be located on or very close to the edge of the banking which is reached at high tide by the waters of Back Bay. What construction is to be provided along this wall to prevent undermining and undue settlement of the wall at periods of high water?

4. Is second floor of building being designed to accommodate other than office loads of 50 pounds per square foot? If the use of second story for retail store or light manufacturing use is ever contemplated, a live load design of 75 pounds per square foot is required, while a light storage use requires a live load capacity of 100 pounds per square foot. Besides the strength of the floor

about
90 lbs.
load

October 17, 1956

Brown Construction, Inc. - - - #2
Mr. William B. Millward Sr.

framing itself, use of second story also has a bearing on design of footings beneath foundation walls.

5. Ventilation of inside toilet room has not been indicated. See Section 212d1 of Building Code. - O.K.

6. Type of hardware for front and rear exit doors has not been indicated. See Section 212e2.5. - O.K.

7. Height of risers and width of treads for stairways in accordance with specifications of Section 212e5.3 has not been shown. - O.K.

8. If stairs are to be more than 40 inches wide as appears to be the case, handrails are required on both sides. See Section 212e5.3.

9. While there is no objection to their being used if desired, fire doors shown on stairway enclosures and entrance to heater room are not required. See Sections 205f1 and f2. - O.K.

10. Although a fixed ladder leading to roof is shown in second story, there is no indication of a scuttle not less than 2 feet by 3 feet in roof as required by Section 21211. - O.K.

11. Minimum thickness of 2 inches is required for concrete fireproofing of steel lintel over large window in Office #2. See Section 303d3. Plans indicate a thickness of only $1\frac{1}{2}$ inches on inside face of beam. - O.K.

12. If any openings in wall towards Baxter Boulevard are to be closer than 30 feet to openings in the existing building on the adjoining lot, fire windows and doors are required on such openings. See Section 402a5.

13. In view of the fact that there is to be a plastered ceiling in second story the long span steel joists on the 7 foot spacing in roof construction do not figure out to provide the required carrying capacity. - *Subsequent to this*

14. What is size and spacing of bridging for steel joists in second floor and roof construction to be? O.K.

15. How is cantilevered construction of canopy along side wall of building to be supported? *See Section 402a5*

We shall be unable to issue an advance permit for excavation and construction of foundation only until matters involving approval of projection of footing into bed of street and adequacy of design of footings on basis of results of soil tests have been taken care of. Before the general construction permit can be issued it is necessary that revised plans showing all details in question to be in compliance with Building Code requirements be furnished for checking and approval.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

October 16, 1956

Copies to: Brown Construction Co.
22 Monument St.
Health Department

Mr. Clifton M. Bryant
17 Myrtle Street

Dear Mr. Bryant:-

Application having been filed by Brown Construction Company for construction for you of a two story masonry building on a proposed street off Baxter Boulevard, question has arisen as to manner in which sewage disposal facilities are to be provided.

We understand that there is an abandoned sewer running across the corner of the lot on which the building is to be erected and there has been some intimation that you may plan to connect the sewage facilities to it. Since the adequacy and arrangements for sewage disposal are subject to approval by the Health Department, it is suggested that you consult Sanitary Engineer Norman Winch of that Department to determine whether or not what you have in mind in this regard is acceptable.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS/G



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, Oct. 11, 1956

02019

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~the proposed work~~ at the following building structure ~~as per plans~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location PROPOSED ST. OFF 51 BAXTER BLVD Within Fire Limits? yes Dist. No. _____

Owner's name and address Clifton M. Bryant, 17 Myrtle St. Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address Brown Construction, Inc., 22 Monument Square Telephone 4-0359

Architect _____ Specifications _____ Plans yes No. of sheets 6

Proposed use of building Printing shop and office No. families _____

Last use _____ No. families _____

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost \$ 75,000 Fee \$ 75.00

General Description of New Work

To construct 2-story masonry printing shop and office 50' x 150' as per plans.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Brown Construction, Inc.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? not yes If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

with letter by agent

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Clifton M. Bryant
Brown Construction, Inc.

Signature of owner by: *Clifton M. Bryant*

INSPECTION COPY

NOTES

- Call on Mr. 1 in letter
 - Amen needed for partition 2nd floor, outside of plan
 - Check handrails
 - Check windows + doors near existing wldg. 14' 30" 4' 4" fire door
 - 11/4 check of canopy 2nd floor to be of iron bars with material
 - Canopy incombustible material
 - All woodwork at same line to be covered with metal
 - Front entrance door to be equipped with vestibule
 - Gatebar or equal
 - Check with Mr. (P.G.) on exit signs
 - "Closing" needed

11/16/56: Foreman needs the letter of Nov. 13th. Amen. Copy will give him - Allen
 Copy of letter mailed to Foreman 11/19/56
 12/13/56 - Formulation all in
 No other work going on - Allen
 1/7/57 - Work on T. in small room in the rear toward the center. Tell a note on G.T. following the correct way to put in steel truss for roof joists - Allen
 2/1/57 - Work progressing & work over the stairs about 4/6 windows. See above. 4/6 also with the previous - Allen
 3/8/57 - Work progressing - Allen
 3/29/57 - Handlame handrails exit lights & steamout used
 4/12/57 - Same as above
 4-26-57 - Work on to close in front of 100's
 5/10/57 - No exit signs as yet. Handrails needed - Allen

Permit No. 5612019
 Location: 1200 Broadway
 Owner: W. H. Allen
 Date of permit: 5/15/57
 Notif. closing-in: 7/12/57
 Inspn. closing-in: 7/17/57
 Final Notif.: 7/17/57
 Final Inspn.: 7/17/57
 Cert. of Occupancy issued: 7/18/57
 Sinking Out Notice: 7/18/57
 Form Check Notice: 7/18/57

5/24/57 -
 6/17/57 - No exit signs - Allen
 7/12/57 - Same - Allen
 7/17/57 - No exit signs - Allen
 Doors has moved in on the 2nd floor - Allen

REPRODUCTION COPY

Memorandum from Department of Building Inspection, Portland, Maine

Proposed St. off Baxter Boulevard--To install 1-1000 gallon fuel oil tank for Bryant Press by Ballari Oil & Equipment Co.--April 26, 1957

Before tank and piping is covered from view, installer is required to notify Fire Dept. Headquarters of readiness for inspection and to refrain from covering up until approved by the Fire Dept.

This tank of 1000 gallons capacity is required to be of steel or wrought iron no less in thickness than 10 gauge; and before installation is required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and special protection wherein corrosive soil such as cinders or the like.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double sealing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or ground water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

✓ CC: Bryant Press
17 Hyrtle St.

CS-27

Fire Dept.

(Signed) Warren McDonald
Inspector of Buildings



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1

Portland, Maine, April 25, 1957

PERMIT ISSUED

APR 29 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

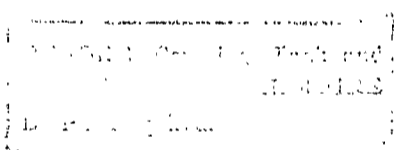
The undersigned hereby applies for amendment to Permit No. 57/32 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Proposed St. off Baxter Blvd. Within Fire Limits? Dist. No.
Owner's name and address Bryant Press, 17 Myrtle St. Telephone
Lessee's name and address Telephone
Contractor's name and address Ballard Oil & Equipment Co., 135 Marginal Way Telephone
Architect Plans filed Yes No. of sheets 1
Proposed use of building No. families
Last use No. families
Increased cost of work Additional fee \$50

Description of Proposed Work

To install 1-1000 gallon fuel oil tank - as per plans

Permit issued with amend



4/25/57
4/24/57

Ballard Oil & Equipment Co.

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved: [Signature]
CHIEF OF FIRE DEPT.

Signature of Owner By: [Signature]
Permit issued with Amend
Approved: [Signature]
Inspector of Buildings

INSPECTION COPY

January 11, 1957

AP - Proposed Street off 51 Baxter Boulevard

Hallard Oil & Equipment Co.
135 Marginal Way

Copy to Bryant Press
17 Myrtle St.

Gentlemen:-

Permit for installation of an oil-fired forced hot water heating system in building under construction at the above location is issued herewith subject to the following conditions:-

1. Permit is issued on the basis of Fire Department approval for temporarily locating the fuel oil storage tank above ground outside the building.
2. Before installation of the tank underground is started, an amendment to this permit covering such installation is to be secured. With application for amendment is to be furnished information as to whether or not the tank bears the Underwriters' label, how it is to be coated, and how far below grade the top of it is to be. Since the tank location is to be rather close to the shore of Back Bay, it seems likely that anchorage will need to be provided for the tank to prevent its floating when nearly empty. Information therefore will need to be furnished by way of a plan to show how this anchorage is to be provided unless you can definitely establish that there is no need for such anchorage.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

WJS/G



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, January 8, 1957

PERMIT ISSUED

JAN 11 1957

CITY OF PORTLAND

N.A.S.

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Proposed Street off Baxter Blvd. Use of Building Factory No. Stories 2 New Building Existing Building
Name and address of owner of appliance Bryant Press, 17 Myrtle St.
Installer's name and address Ballard Oil & Equipment Co. Telephone 1/9/57

General Description of Work

To install oil fired forced hot water heating system presently serving first floor with provisions for serving second floor later.

IF HEATER, OR POWER BOILER

Location of appliance Boiler room Any burnable material in floor surface or beneath? None
If so, how protected? Kind of fuel? #2 oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 48"
From top of smoke pipe 60" From front of appliance 8" From sides or back of appliance 8"
Size of chimney flue 20" x 20" Other connections to same flue None
If gas fired, how vented? Rated maximum demand per hour 10.0 GPH
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? Yes 2-1/2 sq. ft.

IF OIL BURNER

Name and type of burner Ballard Gun Type Model K-12 Labelled by underwriters' laboratories? Yes
Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank? Top
Type of floor beneath burner Concrete Size of vent pipe 2"
Location of oil storage Underground Number and capacity of tanks one 1,000 gal.
Low water shut off Not required Make No
Will all tanks be more than five feet from any flame? Yes How many tanks enclosed? Not applicable
Total capacity of any existing storage tanks for furnace burners None

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smoke pipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Attached drawing #OD-1474-N indicating location of oil tank is appended hereto for your information.
Permanently to use 1000 gal. oil tank 1/2 full (max) above ground with Corrosion Coll. is covered in separate request and has one objection page

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:
[Signatures]

RECEIVED
JAN 11 1957
DEPT. OF BUILDINGS

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

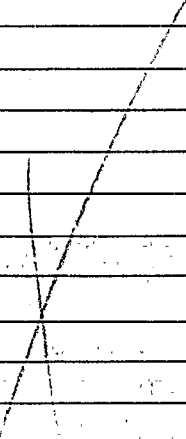
INSPECTION COPY Signature of Installer Richard J. Cole, Mgr. Oil Burner Dept.
BALDARD OIL & EQUIPMENT CO.

NOTES

- 1. Fuel Pipe
- 2. Vent Pipe
- 3. Kind of Heat
- 4. Burner Rigidity & Supports
- 5. Name & Label
- 6. Stack Control
- 7. High Limit Control
- 8. Remote Control
- 9. Piping Support & Protection
- 10. Valves in Supply Line
- 11. Capacity of Tanks
- 12. Tank Rigidity & Supports
- 13. Tank Distance
- 14. Gas Gauge
- 15. Operation Card
- 16. Low Water Shut-off

Permit No. 57/32
 Location Garfield St.
 Owner Edward P. Reed
 Date of permit 5/11/57
 Approved 5/10/57 - C.M.H.

3/29/57 - Work started
 on the boiler. - Allen
 5/10/57 - All installed -
Allen





INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure... Installation

Portland, Maine, February 15, 1957

00190
FEB 15 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 51 Baxter Blvd. Within Fire Limits? Dist. No.
Owner's name and address Bryant Press, 15 Myrtle St. Telephone
Lessee's name and address
Contractor's name and address Everett Forest Grinnell Co., 501 Fore St. Telephone
Architect Specifications Plans yes No. of sheets 1
Proposed use of building Printing shop No. families
Last use " No. families
Material masonry No. stories 2 Heat Style of roof Roofing
Other building on same lot
Estimated cost \$ Fee \$ 2.00

General Description of New Work

To install wet sprinkler system for entire building as per plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Grinnell Co., 501 Fore St.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

OK-2/18/57-agg

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Bryant Press
Grinnell Co.

Signature of owner

By: [Signature]

INSPECTION COPY

Permit No. 57190

Location Opposite 10551 Baxter

Owner Raymond Dean Reed

Date of permit 2/18/57

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

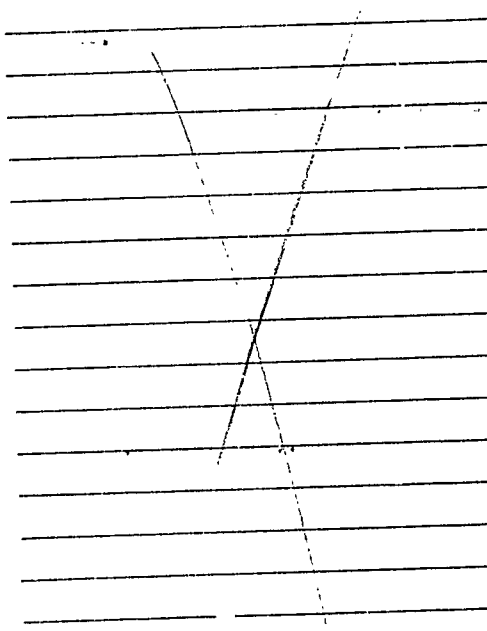
Staking Out Notice

Form Check Notice

NOTES

3/20/57 Membrane system
and air in on the 2nd
floor in the front of the
building on the first floor
to other

5/10/57- All installed
other



October 23, 1956

AP - Proposed Street off Baxter Boulevard

Brown Construction, Inc.
22 Monument Square

Copies to: W. B. Millward Sr.
Clifton H. Bryant

Gentlemen:-

Advance permit for excavation and construction of foundation only for a two story masonry building at the above location is issued herewith based on foundation plans and details filed October 22, 1956, but subject to the following conditions:-

1. We understand that it has been determined that the abandoned sewer is in a slightly different location than shown on plot plan so that the rear corner of the building will be built over it, but that wall footings have been designed so as to adequately bridge the sewer where the walls pass over it.
2. It is understood that it is now the intention to keep all parts of footing for front foundation wall within the limits of the lot so that there will be no projection into the bed of the proposed street.
3. Changes made in size and design of wall footings are to be shown on revised plans of the building to be furnished before issuance of general construction permit.
4. Should excavation disclose soil conditions different from those contemplated, thus making necessary changes in design of footings, plans showing such changes together with an application for an amendment to this permit are to be filed for checking and approval before work involving such changes is started.

P. S. Note that reinforcement bars in footings are required to be at least $1\frac{1}{2}$ inches above bottom of footing and the same distance from sides of footing.

Notice of readiness to pour concrete is required to be given to this office and no concrete or anything else but reinforcement is to be placed A/S/G in the forms until our field inspector has attached his sticker of approval to the permit card which is required to be posted in a place easily visible from the street. Reinforcement bars are to be accurately in place according to above spacing before notice for inspection is given.

Very truly yours,

Albert J. Soars
Deputy Inspector of Buildings



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____
Portland, Maine, Oct. 11, 1956

01886
OCT 13 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter, add to, or demolish~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Proposed Street, off Baxter Boulevard Within Fire Limits? yes _____ Dist. No. _____
Owner's name and address Clifton M. Bryant, 17 Myrtle St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Brown Construction Co. Inc., 22 Monument Square Telephone 4-0359
Architect _____ Specifications _____ Plans ho _____ No. of sheets _____
Proposed use of building Printing shop and office No. families _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ 1.00

General Description of New Work

To exchange and construct foundation only for proposed 2-story masonry building 50' x 150'

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner post _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

with letter by *AGJ*

Miscellaneous

Will work require disturbing of any tree on a public street? no _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES _____

Clifton M. Bryant
Brown Construction, Inc.

Signature of owner by: *Clifton M. Bryant*

INSPECTION COPY

NOTES

11/2/56 - Footing on the
back side toward the water
is O.K. - line for outside
wall toward Buster's place
is O.K. - Dred the ground
I want to check level of
footing & find wall before
it is done - Allen

11/5/56 - Just the same. We
new footings. - Allen

11/7/56 - Footing on front
of the building goes right
to the street line. Forms
on rear of building are O.K. - Allen

11/8/56 - Forms for footing on
front will be in tomorrow. They
will have a street line for us
at that time. Footing at one
corner will go right to the
street line. - Allen

11-8-56 Footing OK
to pour. - Allen

11/14/56 - Permit issued
to construct 2-story bldg. - Allen

Permit No. 56/1866
 Issued to: Leonard M. [unclear]
 Date of Permit: 10/23/56
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy Issued
 Staking Out Notice
 Form Check Notice 11/15/56