APPLICATION FOR PERMIT

1664

Class of Building or Type of Structure Third Class

Portland, Maine, Oct. 4, 1956

TO THE INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ repair ~~demolish~~ the following building ~~structure~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 3-5 Forest Park (Apts. to install 4) Within Fire Limits? no Dist. No.

Owner's name and address Forest City, Inc., 102 Exchange St. Telephone

Lessee's name and address Telephone

Contractor's name and address H. Norden & Sons, 50 Hamblet Ave. Telephone

Architect Specifications Plans no No. of sheets

Proposed use of building apartment house No. families

Last use " No. families

Material wood No. stories 2 Heat Style of roof Roofing

Other buildings on same lot Fee $ 2.00

Estimated cost $ 500.

General Description of New Work

To repair after a fire to former condition without alterations and without change of use, but if conditions in the areas of repair are found to be dangerously substandard of Building Code requirements, both Building Department and owner will be notified immediately. Fire took place last night. Faulty wiring was cause of fire.

CERTIFICATE OF OCCUPANCY REQUIRED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Forest City, Inc.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys lining Kind of heat fuel

Framing lumber—Kind Dressed or full size? Size

Corner posts Sills Girt or ledger board? Max. on centers

Girders Size Columns under girders Size

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Forest City, Inc.

Signature of owner by: Daniel Singer, Manager

INSPECTION COPY

Permit No. 56/1684

Location 3-5 Forest Park

Owner Forest City Inc.

Date of permit 10/4/56

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

APPLICATION FOR PERMIT

PERMIT ISSUED
MAY 3 1955
CITY OF PORTLAND

Class of Building or Type of Structure .....

Portland, Maine, May 2, 1955

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect/alter ~~repair/demolish/install~~ the following building ~~structure/equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 13 Forest Park (cor 246 Westbrook St) Within Fire Limits? no Dist. No. .....

Owner's name and address Forest City, Inc., 102 Exchange St. Telephone 3-6791

Lessee's name and address ..... Telephone .....

Contractor's name and address owners Telephone .....

Architect ..... Specifications ..... Plans yes No. of sheets 1

Proposed use of building ~~housing~~ storage of tractor and tool storage No. families .....

Last use ..... No. families .....

Material wood No. stories 1 Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated cost $ 75. Fee $ .50

General Description of New Work

To construct 1-story frame addition 8' x 15' on right hand side of building.
To cut in door between existing garage and new addition.
Nearest lot line is 45'

Permit Issued with Memo

Permit Issued with ~~Memorandum of Approval~~ REQUIREMENT WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** owner

Details of New Work

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate 6' 6" Height average grade to highest point of roof 8'

Size front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation concrete piers at least 4' below grade 7' 6" on centers Thickness, top 8" bottom Sonotubes cellar .....

Material of underpinning ..... Height ..... Thickness .....

Kind of roof shed Rise per foot 2" Roof covering Asphalt Class C Und Lab

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing lumber—Kind hemlock Dressed or full size? dressed

Corner posts 4x4 Sills 4x6 Girt or ledger board? ..... Size .....

Girders ..... Size ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor dirt, 2nd ....., 3rd ....., roof 2x4

On centers: 1st floor ....., 2nd ....., 3rd ....., roof 16"

Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof 8'

If one story building with masonry walls, thickness of walls? ..... height? .....

If a Garage

No. cars now accommodated on same lot ....., to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVED:
with memo by AJS

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Forest City, Inc.

INSPECTION COPY

Signature of owner by: Paul L. Seeger - manager

Permit No. 55/612

Location 43 Forest Park

Owner Forest City Inc.

Date of permit 5/5/55

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

[illegible]

[illegible]

Memorandum from Department of Building Inspection, Portland, Maine

43 Forest Park - Alterations to tool shed for and by Forest City, Inc. - 5/4/55

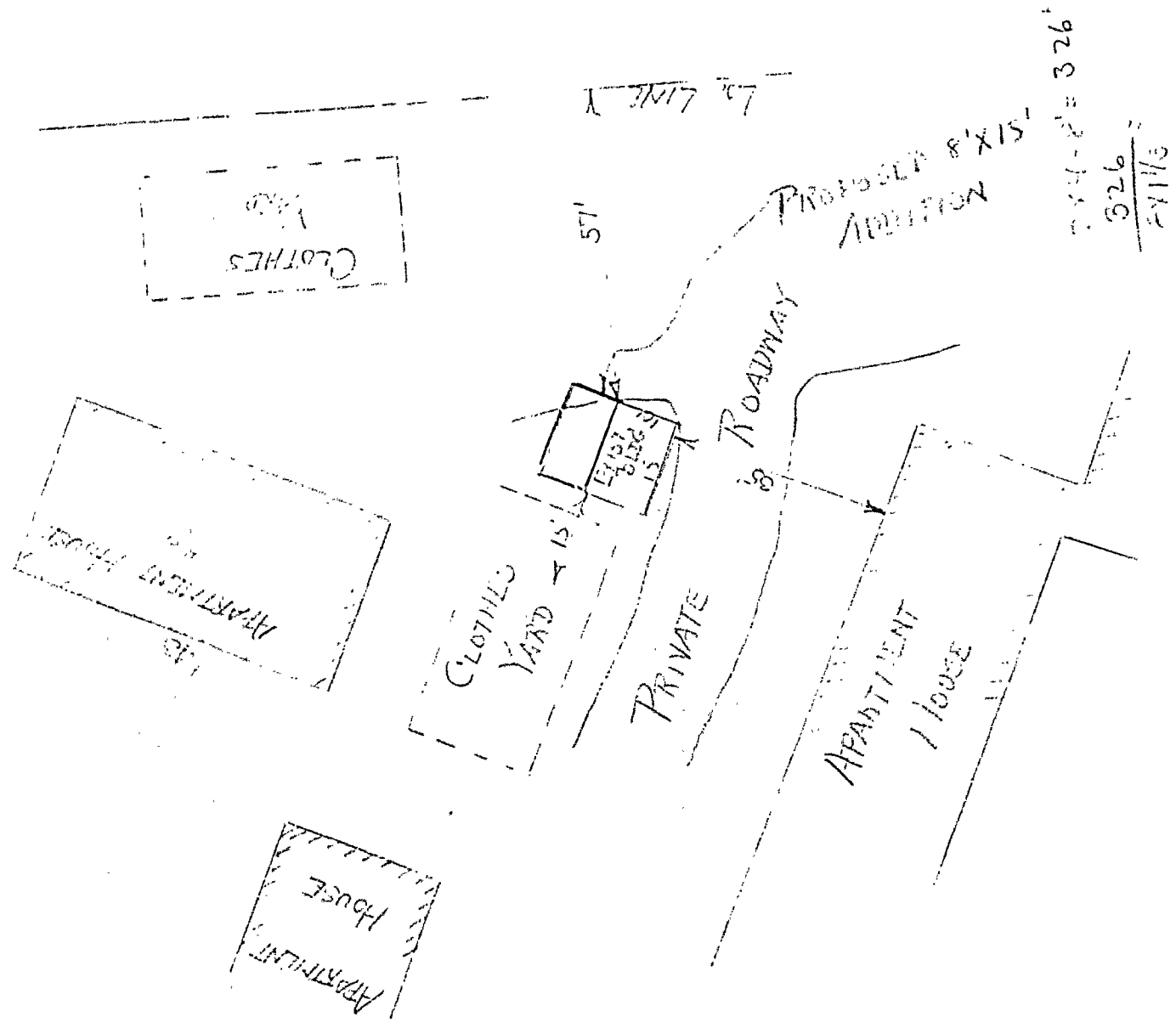
Building permit for construction of an addition 8 feet by 15 feet on side of tool shed at the above location is issued herewith subject to the following conditions:

1. If foundation of existing building extends below the surface of the ground, then piers indicated for support of the addition are required to extend least four feet below grade. If 9 inch Sonotubes are used for forms for piers, footings at least 8 inches thick are required; but if 10 inch or larger diameter Sonotubes are used, no footings are required.

2. The 2x4 rafters on a span of 8 feet will need to be spaced no more than 12 inches on centers instead of the 16 inch spacing indicated.

AJS/G

(Signed) Warren McDonald
Inspector of Buildings


Clothes Line
57'
Proposed 8'x15' Addition
Clothes Yard
Private Roadway
Apartment House
Apartment House
Apartment House

9-11 and 45-47 Forest Park

September 15, 1952

Forest City, Inc.
Att: Daniel Singer, Mgr.
102 Exchange Street
Portland, Maine

c.c. Consolidated Construction Co.
464 St. John Street

Dear Mr. Singer:-

Building permits for alterations in the second stories of 9-11 and 45-47 Forest Park to provide single apartments in the place of two existing ones are issued herewith based on the plans filed with the applications for permits, but subject to the following conditions:-

1. In each case where a new partition is to be built across the access opening to the incinerator flue, the hopper door is to be removed and the opening closed up tightly with masonry.

2. Notification is to be given this department for inspection before lath or wall board is applied to any of the new partition or ceiling work.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/C

(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
015(B)
SEP 15 1952
CITY ENGINEER

Class of Building or Type of Structure Third Class

Portland, Maine, September 9, 1952

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 45-47 Forest Park (Lot 2-40 Nathan Clifford Est.) Within Fire Limits? no Dist. No.

Owner's name and address Forest City, Inc., 102 Exchange St.

Lessee's name and address Telephone

Contractor's name and address Consolidated Construction Co., 464 St. John St. Telephone

Architect Specifications Plans yes No. of sheets

Proposed use of building Apartments No. families 7

Last use " No. families 8

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ 600.

Fee $ 4.00

General Description of New Work

To combine Apt. #4 at 45 Forest Park with Apt. #3 at 47 Forest Park, second floor. as per plans

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be to operately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** Forest City, Inc.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

with letter By [illegible]

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Forest City, Inc.

INSPECTION COPY

Signature of owner By: Daniel Singer, Manager Pl

Permit No. 52/1506

Location 45-47 Forest Park

Owner Forest City Inc.

Date of per. 9/15/52

Notif. closing-in

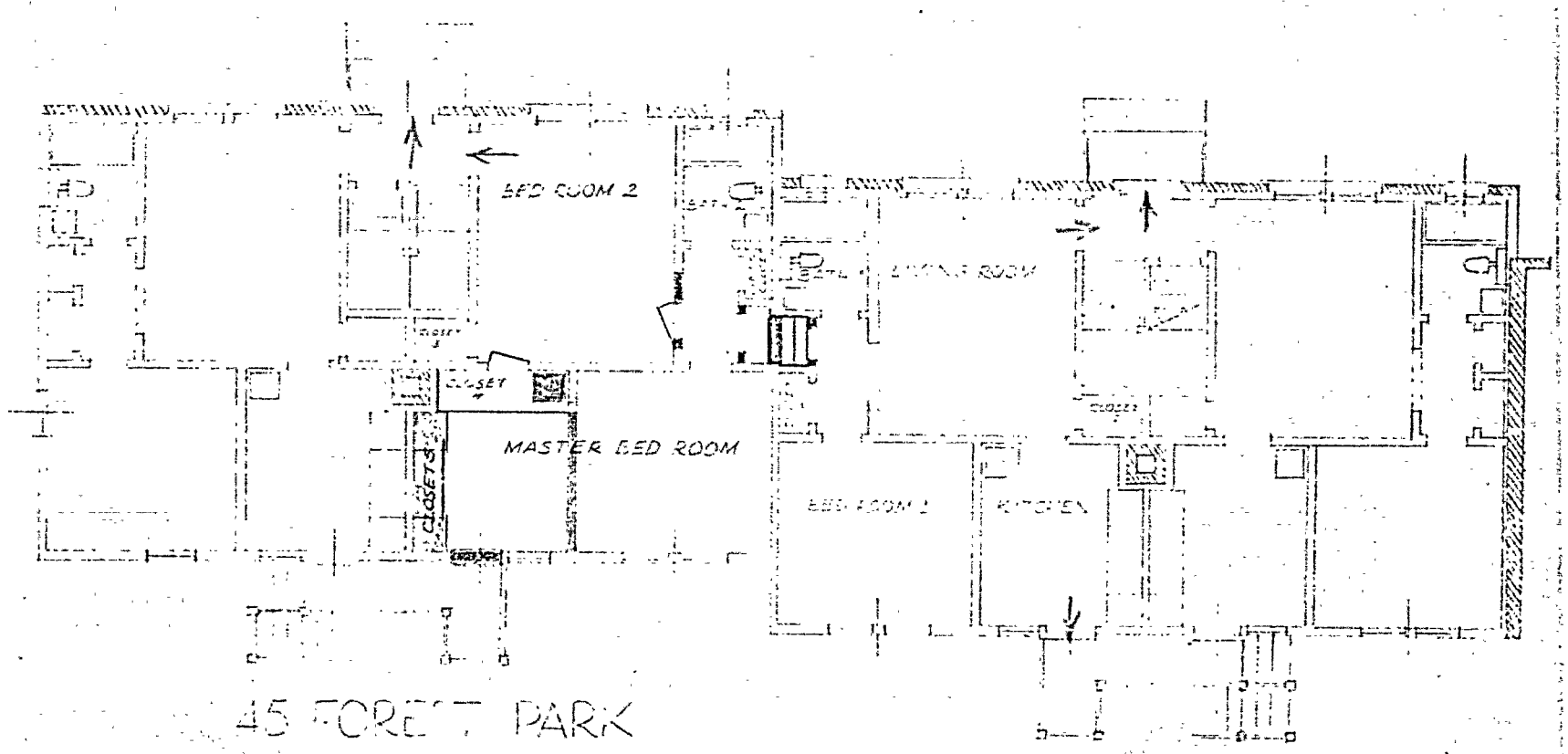
Inspn. closing-in

Final Notif.

Final Inspn. 7/24/52

Cert. of Occupancy issued none

NOTES



REMODELING SCHEME

REMOVALS IN RED
ADDITIONS IN GREEN

SCALE: 1/8" = 1'

REMODELING SCHEDULE

To Combine 45 Forest Park, Apartment #4 (45 F 4) and 47 Forest Park, Apartment #3 (47 F 3) into a single apartment of 5 Rooms and 2 Baths:

1. Remove refrigerator, range, sink and cabinets from 45 F 4. Seal off gas, water and drain lines flush with wall. Make smooth wall surface.

2. Remove linoleum from kitchen floor of 45 F 4.

3. Remove partition between kitchen and bed room of 45 F 4. Restore ceiling and wall finish around the new opening.

4. Lay hardwood flooring in "kitchen" part of the enlarged bedroom, to match existing bedroom flooring. Sand and refinish the combined floor.

5. Remove kitchen outside door and frame from 45 F 4. Cover opening, matching existing inside and outside wall construction. Enclose blanket insulation in the new portion of outside wall.

6. Remove partition between hall clothes closet of 45 F 4 and linen closet of 47 F 3. Remove doors and frames of these closets. Restore ceiling to give proper headroom in the new passage. Restore side walls to match existing finish.

7. Install 3 steps leading downward from 45 F 4 to 47 F 3 through passage made in (6.).

8. Alter present open archway between 45 F 4 livingroom and hallway to admit door and frame removed from 47 F 3 hallway clothes closet. The new door should be in direct line with the new passageway made in (6.), and should open into the livingroom of 45 F 4 as shown on plan.

9. Install a closet in 45 F 4 to occupy the area bounded by old bedroom-kitchen partition, incinerator hopper and livingroom - kitchen partition. Kitchen side is to be unbroken. Entry is to be through existing kitchen-livingroom doorway. Existing door is to be reversed to open out into livingroom as shown on plan. Install hanger rod at each end of closet, and overhead shelf at 5' height.

10. Install a closet in 45 F 4 to occupy area formerly occupied by range, sink and cabinets. Entry is to be by two sliding doors to meet in center. Install hanger bar across each end of closet, and overhead shelf at 5' height. Upper part of closet, to ceiling, shall house a cabinet with 2 sliding doors to meet in center.

11. Install overhead light in each new closet. Relocate existing switch for 45 F 4 kitchen overhead light from kitchen-livingroom partition to outside of back wall of closet #4 as shown on plan.

12. Disconnect doorbell of 45 F 4.

13. Redecorate entire apartment as necessary.

RECEIVED
SEP 1952
DEPT. OF
CITY

(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

PM 01505 BLD
SEP 15
CITY OF PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, September 9, 1972

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 9-11 Forest Park (222-40 Dartmouth St) Within Fire Limits? no Dist. No.

Owner's name and address Forest City, Inc., 102 Exchange St. Telephone

Lessee's name and address Telephone

Contractor's name and address Consolidated Construction Co., 464 Ss. John St. Telephone

Architect Specifications Plans yes No. of sheets

Proposed use of building Apartments No. families 7

Last use " No. families 8

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ 600, 500. Fee $ 2.00

General Description of New Work

To combine Apt. #4 at 9 Forest Park and Apt. #3 at 11 Forest Park, as per plans, second floor.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Forest City, Inc.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

of chimneys Material of chimneys of lining Kind of heat fuel

ing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board?

Girders Size Columns under girders Size centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every over 8 feet.

Joists and rafters: 1st floor, 2nd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:
with letter
By [illegible]

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Forest City, Inc.

INSPECTION COPY

Signature of owner By: Daniel Singer, Manager

Permit No. 52/15035

Location 9-11 Forest Park

Owner Forest City Inc.

Date of permit 9/15/52

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. none

Cert. of occupancy issued none

NOTES

2/17/53 -- No insp. made
C.S.

9-11 and 45-47 Forest Park

September 15, 1952

Forest City, Inc.
Att: Daniel Singer, Mgr.
102 Exchange Street
Portland, Maine

c.c. Consolidated Construction Co.
464 St. John Street

Dear Mr. Singer:-

Building permits for alterations in the second stories of 9-11 and 45-47 Forest Park to provide single apartments in the place of two existing ones are issued herewith based on the plans filed with the applications for permits, but subject to the following conditions:-

1. In each case where a new partition is to be built across the access opening to the incinerator flue, the hopper door is to be removed and the opening closed up tightly with masonry.

2. Notification is to be given this department for inspection before lath or wall board is applied to any of the new partition or ceiling work.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G

REMODELING SCHEDULE

To Combine 9 Forest Park, Apartment #4 (9 F 4) and 11 Forest Park, Apartment #3 (11 F 3) into a single apartment of 5 Rooms and 2 Baths

1. Remove refrigerator, range, sink and cabinets from 9 F 4. Seal off gas, water and drain lines flush [illegible] wall. Make smooth wall surface.

2. Remove linoleum from kitchen floor of 9 F 4.

3. Remove partition between kitchen and bedroom of 9 F 4. Restore ceiling and wall finish around the new opening.

4. Lay hardwood flooring in "kitchen" part of the enlarged bedroom, to match existing bedroom flooring. Sand and refinish the combined floor.

5. Remove kitchen outside door and frame from 9 F 4. Cover opening, matching existing inside and outside wall construction. Enclose blanket insulation in the new portion of outside wall.

6. Remove partition between hall clothes closets of 9 F 4 and 11 F 3. Remove doors and frames of these closets. Restore ceiling in the new passage. Restore side walls to match existing finish. INSTALL A THRESHOLD TO BRIDGE FLOORING GAP

7. Alter present open archway between 9 F 4 livingroom and hallway to admit door and frame removed from hallway clothes closet. The new door should be in direct line with the new passageway made in (6.), and should open into the livingroom of 9 F 4 as shown on plan.

8. Install a closet in 9 F 4 to occupy the area bounded by old bedroom-kitchen partition, incinerator hopper and livingroom - kitchen partition. Kitchen side is to be unbroken. Entry is to be through existing kitchen-livingroom doorway. Existing door is to be reversed to open out into livingroom as shown on plan. Install hanger rod at each end of closet, and overhead shelf at 5' height.

9. Install a closet in 9 F 4 to occupy area formerly occupied by range, sink and cabinets. Entry is to be by two sliding doors to meet in center. Install hanger bar across each end of closet, and overhead shelf at 5' height. Upper part of closet, to ceiling, shall house a cabinet with 2 sliding doors to meet in center.

10. Install overhead light in each new closet. Relocate existing switch for 9 F 4 kitchen overhead light from kitchen-livingroom partition to outside of back wall of closet #4 as shown on plan.

11. Disconnect doorbell of 9 F 4.

12. Redecorate entire apartment as necessary.

13. RECONNECT ELECTRIC SERVICE SO THAT FORMER 9 F4 SERVICE IS CARRIED ON 11 F3 METER.

RECEIVED
SEP 11 1954
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

COMPLAINT NO. C-51/169

COMPLAINT

INSPECTION COPY

Date Received December 17, 1951

Location 2-40 Dartmouth Street

Use of Building Apartments

Owner's name and address Forest City, Inc., 102 Exchange Street Agt. Daniel Singer

Telephone 3-6791

Tenant's name and address

Telephone

Complainant's name and address Occupant of Apt. 21

Telephone

Description: The oil burning equipment in the boiler room which is directly below Apt. 21 (Apt. 21 is on the second floor) is defective. They have had frequently what seems like explosions whereupon gas would immediately flow up into the apartments of that section of the building. The last occurred at about 5 A.M. on Sat. December 5, 1951.

12/18/51 - Re-called owner

1-3-52 - Mr. Singer says Mr. Mathews has requested an Engineer from the manufacturer of the burners to come here and find out what is or has caused the trouble with these burners. The Engineer is expected in about a week. Told Mr. Singer to either have the engineer or Mr. Mathews let us know what he finds out first.

Complaint No.

Location

Date Received

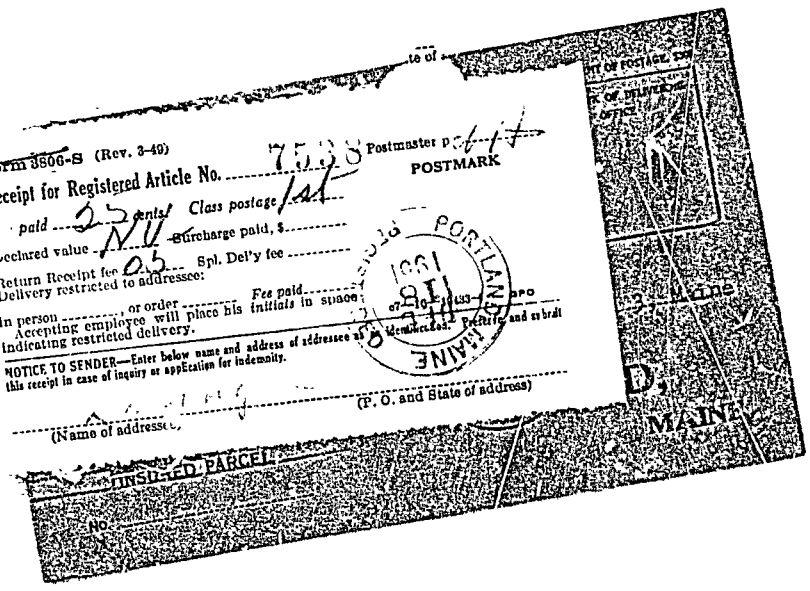
Date Disposed of

NOTES

12/17/51 A call to Mathews Sales and Service discloses that the company services this oil burning equipment.

1-29-52 a Lady in Mr. Mathews office using Engineer from Fairfax Divide Airlife then to Mrs. Jones. Asked her to have Mr. Mathews call me, after they had been over the installation.

V. Davis



Form 3806-S (Rev. 3-49)

Receipt for Registered Article No. 7538 Postmaster P

POSTMARK

F paid 35 cents Class postage 1st

Declared value NU Surcharge paid, $

Return Receipt fee 05 Spl. Del'y fee

Delivery restricted to addressee:

in person, or order Fee paid

Accepting employee will place his initials in space indicating restricted delivery.

NOTICE TO SENDER—Enter below name and address of addressee and retain this receipt in case of inquiry or application for indemnity.

(Name of addressee) (P. O. and State of address)

INSURED PARCEL

NO.

PORTLAND MAINE

1991 AUG 18

Maine

MAINE

PHONE 3-6791

DANIEL SINGER, MANAGER

FOREST CITY, INC.
VICTORY VILLAGE, INC.
102 EXCHANGE STREET
PORTLAND 3, MAINE

December 19,1951

Refer
File C-51-169-1

Warren McDonald,
Inspector of Buildings
City Hall
Portland, Maine

Dear Mr. McDonald:

In reply to your letter of December 18, 1951, regarding fire-box explosion at Forest Park on December 15, I assume that the building referred to is #21 Forest Park, since we have no such address as #2-40 Dartmouth Street on the premises.

Naturally, we are even more concerned than yourself to see that our equipment operates safely. Mr. Kenneth Mathews, of Mathews Sales and Service Co.,Inc. who performed the installation of the oil-burning equipment, conducted the repairs on December 15. He reports that the cause of the explosion was a broken electrode on the ignition assembly. The part has been replaced, and no further trouble is expected from this burner.

As a precautionary measure, all other electrode assemblies on the property have been inspected and adjusted.

Yours sincerely,

FOREST CITY, INC.
By Daniel Singer
Manager

S:J

12/20/51 - Mr. Singer agreed over the phone that there was something very wrong if any one of these new burners caused trouble several times within the first year of operation. He is to contact Mr. Mathews, the installer, and either have him contact the manufacturer of the burner or Mr. Singer do so himself to find out why these new burners are giving such unsatisfactory service--in an effort to control the defects as soon as possible. Mr. Singer is to let me know what he finds out.

W.McD.

(A) APARTMENT HOUSE ZONE
CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

COMPLAINT NO. C-51-108

COMPLAINT

INSPECTION COPY

Date Received 7/23/51

Location 8 Forest Park

Use of Building

Owner's name and address Daniel Singer, Manager, 178 Baxter Blvd. 102 Exchange St Telephone 3-6791 3-8121

Tenant's name and address Telephone

Complainant's name and address Payson B. Jacobson, 8 Forest Park Apt. 4 Telephone

Description: Outside railing at 2nd story unsafe and dangerous

7/27/51 - Letter sent

8/1/51 - Showed Mr. Singer, Mr. Officer & his secretary and the fire escape and stairway on the upstairs porch railing railing has been repaired. Letter has not yet been received. - J.G.

Complaint No: C-51-108

Location 8 Forest Park

Date Received 7/23/51

Date Disposed of

NOTES

8 Forest Park
(C-51/108)

PH/8/1/51

July 25, 1951

Mr. Daniel Singer
178 Baxter Blvd.,
Portland, Maine

Dear Mr. Singer:

We have a report that an outside railing at second story level at 8 Forest Park is unsafe.

Will you be kind enough to examine this railing without delay and if you do not agree that the railing is unsafe and ought to be fixed, notify this office immediately.

If, however, you agree that the railing is unsafe, please take steps to have it made permanently safe at the earliest possible date and notify this office when the work has been done.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/B

P. H. If we have not heard from Mr. Singer about this job in some way or other when the red comes up please phone him and ask if he got our letter and what is being done about it. WMcD.

PHONE 3-6791

DANIEL SINGER, MANAGER

FOREST CITY, INC.
VICTORY VILLAGE, INC.
102 EXCHANGE STREET
PORTLAND 3, MAINE

July 31, 1951

Mr. Warren McDonald, City Building Inspector
City Building, Room 21
389 Congress Street
Portland, Maine

Dear Mr. McDonald:

This is to notify you that appropriate repairs have been made on the second story back porch at 8 Forest Park as requested in your letter of July 26th.

Yours sincerely,

FOREST CITY, INC.

Daniel Singer

DS/M

Daniel Singer, Manager

Fine with complaint and change of stairs if anything in my way. 8/1/51

RECEIVED
AUG 1 1951
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

PERMIT

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED
020.00
OCT 26 1950
CITY of PORTLAND

Portland, Maine, October 23, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Upper 6 and Lower 1 -Forest Park 2-42 Dartmouth Street Use of Building Apartment house No. Stories ~~New~~ Building Existing "

Name and address of owner of appliance Forest City, Inc., 102 Exchange Street

Installer's name and address Mathews Sales & Service, 455 Fore Street Telephone 2-1401

General Description of Work

To install (2) oil burning equipment in connection with forced hot water heaters

Date of Inspection 10/23/50 10/25/50

IF HEATER, OR POWER BOILER

Location of appliance or source of heat ..... Type of floor beneath appliance .....

If wood, how protected? ..... Kind of fuel .....

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace .....

From top of smoke pipe ..... From front of appliance ..... From sides or back of appliance .....

Size of chimney flue ..... Other connections to same flue .....

If gas fired, how vented? ..... Rated maximum demand per hour .....

IF OIL BURNER

Name and type of burner Cleaver Brooks Labelled by underwriters' laboratories? yes

Will operator be always in attendance? ..... Does oil supply line feed from top or bottom of tank? top

Type of floor beneath burner concrete

Location of oil storage outside underground Number and capacity of tanks 1-6300 gal.

If two 275-gallon tanks, will three-way valve be provided? .....

Will all tanks be more than five feet from any flame? yes How many tanks fire proofed? .....

Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance ..... Kind of fuel ..... Type of floor beneath appliance .....

If wood, how protected? .....

Minimum distance to wood or combustible material from top of appliance .....

From front of appliance ..... From sides and back ..... From top of smokepipe .....

Size of chimney flue ..... Other connections to same flue .....

Is hood to be provided? ..... If so, how vented? .....

If gas fired, how vented? ..... Rated maximum demand per hour .....

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Tank will be 22" below grade with 10" reinforced concrete cap over. #5 oil

BEFORE Covering Tank and [illegible] DPW [illegible]

Amount of fee enclosed? 2.50 ($3.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED Alvin T. Lambert
OK. 10-25-50 Pmf

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mathews Sales & Service

Signature of Installer by: A L Mathews

INSPECTION COPY

11-14-52

Permit No. [illegible] 2090

Location [illegible]

Owner [illegible] y Inc.

Date of permit 10/26/50

Approved [illegible]

NOTES

1 Soil Pipe

2 Vent Pipe

3 Kind of Heat

4 [illegible] & Supp. [illegible]

5 Name [illegible]

Memorandum from Department of Building Inspection, Portland, Maine

Upper 6 and Lower 1 Forest Park—Installation of oil burning equipment for Forest City, Inc. by Mathews Sales & Service, installers ——— October 25, 1950

Before tank and pipe is covered from view, installer is required to notify Fire Department Headquarters of readiness for inspection and to refrain from covering up until approved by the Fire Department.

This tank of 6300 gallons capacity is required to be of steel or wrought iron no less in thickness than ¼" (nominal); and before installation is required to be protected against corrosion, even though galvanized, by two preliminary coats of red lead and heavy coat of hot asphalt or equivalent.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

CC: Forest City, Inc.
102 Exchange St.

Chief of Fire Dept.

(*Signed*) Warren McDonald
Inspector of Buildings

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, October 23, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Lot 8 and 9 Forest Park 2-42 Dartmouth Street Use of Building Apartment house No. Stories New Building Existing "

Name and address of owner of appliance Forest City, Inc., 102 Exchange Street

Installer's name and address Mathews Sales & Service, 455 Fore Street Telephone 2-1401

General Description of Work

To install (2) oil burning equipment in connection with forced hot water heaters

10/23/50
10/25/50

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance

If wood, how protected? Kind of fuel

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace

From top of smoke pipe From front of appliance From sides or back of appliance

Size of chimney flue Other connections to same flue

If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Cleaver Brooks Labelled by underwriters' laboratories? yes

Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? top

Type of floor beneath burner ~~[illegible]~~ concrete

Location of oil storage outside underground Number and capacity of tanks 1-350C gal.

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? yes How many tanks fire proofed?

Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance

If wood, how protected?

Minimum distance to wood or combustible material from top of appliance

From front of appliance From sides and back From top of smokepipe

Size of chimney flue Other connections to same flue

Is hood to be provided? If so, how vented?

If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Tank to be 2' underground. Tank will ~~be~~ not be in a driveway.

Permit Issued with Memo

Amount of fee enclosed? 2.50 ($2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: Alvin T. Fuselbergh
OK 10-25-50 Permit

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mathews Sales & Service

Signature of Installer by: K P Mathews

INSPECTION COPY

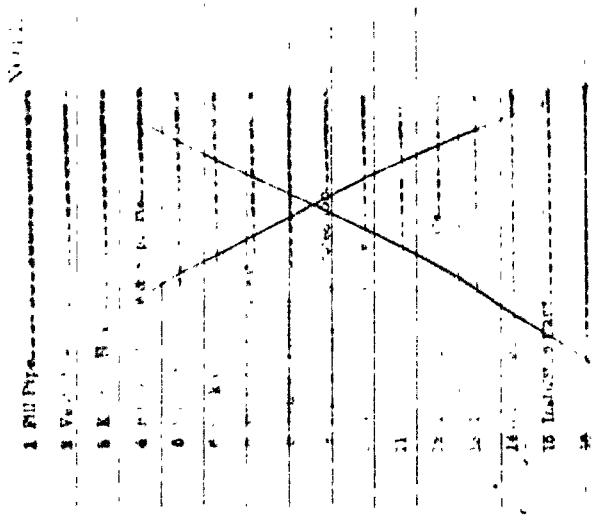
Permit No. 50/2089 11-14-50

Location 2-42 Dartmouth St.

Owner Forest City Inc.

Date of permit 10/26/50

[illegible] 2-16-50 [illegible]



Memorandum from Department of Building Inspection, Portland, Maine

Block 8 and 9 Forest Park—Installation of oil burning equipment for Forest City, Inc. a by Mathews Sales & Service, Installers———— October 25, 1950

Before tank and piping is covered from view, installer is required to notify Fire Department Headquarters of readiness for inspection and to refrain from covering up until approved by the Fire Department.

This tank of 3500 gallons capacity is required to be of steel or wrought iron no less in thickness than No. 7 gauge; and before installation is required to be protected against corrosion, even though galvanized, by two preliminary coats of red lead and heavy coat of hot asphalt or equivalent.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

CC: Forest City, Inc.
102 Exchange St.

Chief of Fire Dept.

(*Signed*) Warren McDonald
Inspector of Buildings

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, October 23, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking, or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Upper 1 Forest Park 2-12 Dartmouth Street Use of Building Apartment House No. Stories New Building Existing "

Name and address of owner of appliance Forest City, Inc., 102 Cumberland Street Telephone [illegible]

Installer's name and address Mathews Sales & Service, 451 Fore Street 10/23/50 25/50

General Description of Work

To install oil burning equipment in connection with forced hot water heater

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance

Kind of fuel

If wood, how protected?

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace

From top of smoke pipe From front of appliance From sides or back of appliance

Size of chimney flue Other connections to same flue

If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Cleaver Brooks Labelled by underwriters' laboratories? yes

Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? top

Type of floor beneath burner concrete

Location of oil storage outside underground Number and capacity of tanks 1-350 gal.

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? yes How many tanks fire proofed?

Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance

If wood, how protected?

Minimum distance to wood or combustible material from top of appliance

From front of appliance From sides and back From top of smokepipe

Size of chimney flue Other connections to same flue

Is hood to be provided? If so, how vented?

If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Tank will be 12" with 10" reinforced concrete cap over. [illegible]

Amount of fee enclosed? 2.00 ($2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: [illegible]
10-26-50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mathews Sales & Service

Signature of Installer by: [illegible]

INSPECTION COPY

11-14-

Permit No. 2091

Location

Owner

Permit 10. 26

12 1950 Final

Memorandum from Department of Building Inspection, Portland, Maine

Upper I Forest Park---Installation of oil burning equipment for Forest City, Inc. by Mathews Sales & Service, Installers ——— October 25, 1950

Before tank and piping is covered from view, installer is required to notify Fire Department Headquarters of readiness for inspection and to refrain from covering up until approved by the Fire Department.

This tank of 3500 gallons capacity is required to be of steel or wrought iron no less in thickness than No. 7 gauge; and before installation is required to be protected against corrosion, even though galvanized, by two preliminary coats of red lead and heavy coat of hot asphalt, or equivalent.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double acting joints arranged to permit the tank to settle without impeding the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.

Forest City, Inc.
102 Exchange St.

Chief of Fire Dept.

(*Signed*) Warren McDonald
Inspector of Buildings

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Sept. 11, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 2-42 Dartmouth Street Lower 6 and No. 7 Use of Building apartment house No. Stories 2 ~~New~~ Building Existing "

Name and address of owner of appliance Forest City, Inc., 102 Exchange Street

Installer's name and address Mathews Sales & Service Co., 455 Fore Street Telephone 2-1401

General Description of Work

To install 2 oil burners in connection with existing hot water heating systems

9/11/50
9/12/50

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance

If wood, how protected? Kind of fuel

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace

From top of smoke pipe From front of appliance From sides or back of appliance

Size of chimney flue Other connections to same flue

If gas fired, how vented? Rated maximum demand per hour

Permit Issued with Memo

IF OIL BURNER

Name and type of burner Cleaver Brooks Labelled by underwriters' laboratories? yes

Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? top

Type of floor beneath burner conc. ete

Location of oil storage outside underground Number and capacity of tanks 1-6000 gal.

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? yes How many tanks fire proofed?

Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance

If wood, how protected?

Minimum distance to wood or combustible material from top of appliance

From front of appliance From sides and back From top of smokepipe

Size of chimney flue Other connections to same flue

Is hood to be provided? If so, how vented?

If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

#5 oil. See sketch for outside tank.

Amount of fee enclosed? 2.50 ($2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: EK 9.14.50 Rmts.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mathews Sales & Service

Signature of Installer by: K. A. Mathews

INSPECTION COPY

Permit No. 50/1722 10-19-50

Location 2-42 Nantucket St.

Owner Lucas City Inc.

Date of permit 9/20/50

Approved 1-25-51

NOTES

1 Plumbing

2 Footing

3 Foundation Alvarez

4 Lath

5 Rough Carpentry

6 Insulation

7 Heat

8 Plaster

9 Floor

10 Tile

11 Cabinets

12 Tub & Lavatory

13 Tub & Shower

14 Sash

15 Painting

16 Electric

17

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, September 11, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 2-42 Dartmouth Street Lower 4 and ~~Upper~~ 4 and 5 Use of Building apartment house No. Stories 2 ~~New~~ Building Existing "

Name and address of owner of appliance Forest City, Inc., 102 Exchange Street

Installer's name and address Mathews Sales and Service, 455 Fore Street Telephone 2-1401

General Description of Work

To install 3 oil burners in connection with existing hot water heating systems

9/11/50
9/12/50

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance

Kind of fuel

If wood, how protected?

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace

From top of smoke pipe From front of appliance From sides or back of appliance

Size of chimney flue Other connections to same flue

Rated maximum demand per hour

If gas fired, how vented?

IF OIL BURNER

Permit Issued with Memo

Name and type of burner Cleaver Brooks Labelled by underwriter's laboratories? yes

Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? top

Type of floor beneath burner concrete

Location of oil storage outside underground Number and capacity of tanks 1-6000 # Gal.

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? yes How many tanks fire proofed?

Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance

If wood, how protected?

Minimum distance to wood or combustible material from top of appliance

From front of appliance From sides and back From top of smokepipe

Size of chimney flue Other connections to same flue

Is hood to be provided? If so, how vented?

If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

See sketch for outside tank.

Amount of fee enclosed? 3.00 ($1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED CK 9-14-50 PMT

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mathews Sales & Service Co.

Signature of Installer by: S. F. Mathews

INSPECTION COPY

Permit No. 5/1721 [illegible]

Location 2-42 Dartmouth St.

Owner Forest City Inc.

Date of permit 9/20/50

Approved [illegible]

NOTES

1 [illegible]

2 [illegible]

3 [illegible]

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13

14

15

16

[illegible]

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED
01337
AUG 8 1950
CITY of PORTLAND

Portland, Maine, August 3, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 2-40 Dartmouth St. No. 2 and Upper 3 and Lower 3 Forest Park Use of Building Apartments No. Stories ..... New Building / Existing "

Name and address of owner of appliance Forest City, Inc., 102 Exchange St.

Installer's name and address Mathews Sales & Service, 455 Fore St. Telephone 2-1401

General Description of Work

To install 3 oil burners in connection with existing forced hot water heat [illegible] Park and [illegible]

8/3/50
8/14/50

DEPT. Required.

IF HEATER, OR POWER BOILER

~~Location of appliance or source of heat~~ ..... Type of floor beneath appliance .....

If wood, how protected? ..... Kind of fuel .....

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace .....

From top of smoke pipe ..... From front of appliance ..... From sides or back of appliance .....

Size of chimney flue ..... Other connections to same flue .....

If gas fired, how vented? ..... Rated maximum demand per hour .....

IF OIL BURNER

Permit Issued with Letter
Permit Issued with Memo

Name and type of burner Cleaver-Brooks Hev-e Labelled by underwriter's laboratories? yes

Will operator be always in attendance? ..... Does oil supply line feed from top or bottom of tank? top

Type of floor beneath burner concrete

Location of oil storage outside underground Number and capacity of tanks 1-6300 gal. tank

If two 275-gallon tanks, will three-way valve be provided? .....

Will all tanks be more than five feet from any flame? yes How many tanks fire proofed? .....

Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance ..... Kind of fuel ..... Type of floor beneath appliance .....

If wood, how protected? .....

Minimum distance to wood or combustible material from top of appliance .....

From front of appliance ..... From sides and back ..... From top of smokepipe .....

Size of chimney flue ..... Other connections to same flue .....

Is hood to be provided? ..... If so, how vented? .....

If gas fired, how vented? ..... Rated maximum demand per hour .....

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Tank to be buried 1 foot below grade with 1 foot of concrete over; bears Und. Lab.; coated with asphaltum

Install Mathews oil [illegible] Approximately 6' diam x 29'-6" long

Permit Issued with Letter

Permit Issued with Memo

Amount of fee enclosed? 3.00 ($1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED: OK 8-4-50 [illegible]

[illegible]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mathews Sales & Service

Signature of Installer By: [illegible]

INSPECTION COPY

Permit No. 50/1337 9/15-

Location 2-40 Dartmouth St.

Owner Front City, Inc.

Date of permit 8/8/50

Approved 9/15/50

NOTES.

1 Fill Pipe

2 Vent Pipe

3 Electric

4 Burner

5 Nozzle

6 Strainer

7 Electric Control

8 Burner Motor

9 Piping Safety & Protection

10 Valve

11 Gauge

12 Check

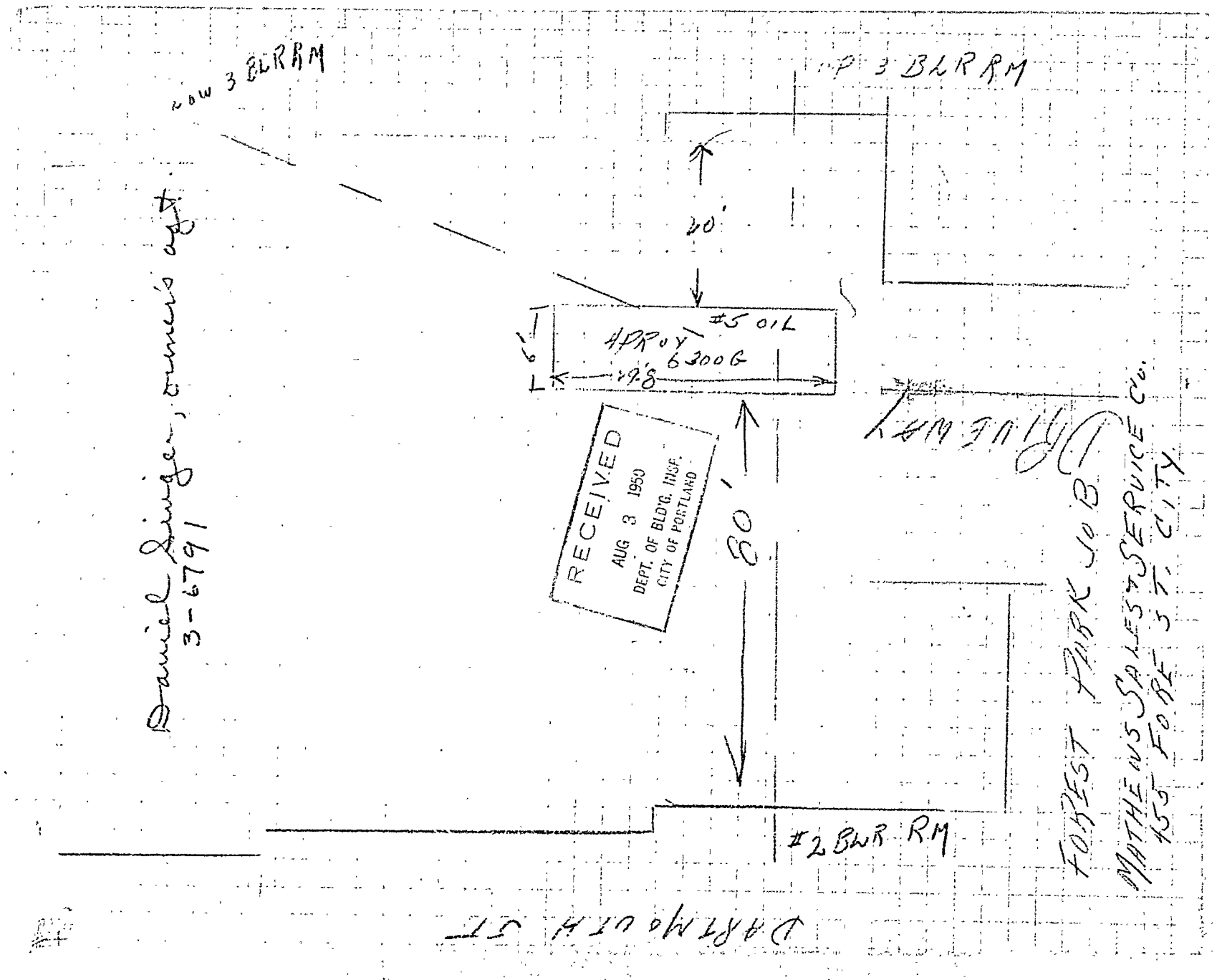
13 Tank Filling

14 Oil Gauge

15 Instructor Card

16

Daniel Lingen, owner's agt.
3-6791



AP 2-40 Dartmouth Street
(oil burning equipment)

August 8, 1950

Mathews Sales & Service
455 Fore Street

Forest City, Inc.
102 Exchange Street

Copy to, Oliver T. Sanborn, Chief
of the Fire Department

Gentlemen,

Application for permit to cover installation of three oil burners in as many boiler rooms in connection with the series of apartment houses at 2-40 Dartmouth Street and including the installation of a 6300 hundred gallon fuel oil tank under ground, is issued to Mathews Sales & Service, herewith, subject to the following:

The sketch with the application seems to indicate that this tank is to be buried beneath the driveway, and supposedly heavy trucks may on occasion use the driveway. The application says that the tank is to be buried one foot below the grade of the ground with one foot of concrete over.

If this is not a cylindrical tank, it is important that you refrain from starting the installation of the tank and furnish the structural design of the tank with signed statement of design of the designer including the design of the welded joints if welding is to be used. If the tank is to be cylindrical the design does not seem so important because there will be the arch of the tank to support the driveway loads.

The minimum requirement as to cover of the tank under the Underwriters' rules and under the rules of the state are that the tank shall have a cover of earth no less than two feet thick or shall be covered with not less than one foot of earth on top of which shall be placed a slab of reinforced concrete not less than four inches thick, the slab to be set on a firm well tamped earth foundation and to extend at least one foot beyond the tank in all directions. Obviously whether the tank is cylindrical or rectangular, the top of the tank should not merely be set one foot below the surface of the driveway and then that foot filled in with concrete. On the other hand if there is one foot of earth cover below the surface of the driveway and a one foot thick slab of concrete, the slab would stick up a foot above the driveway.

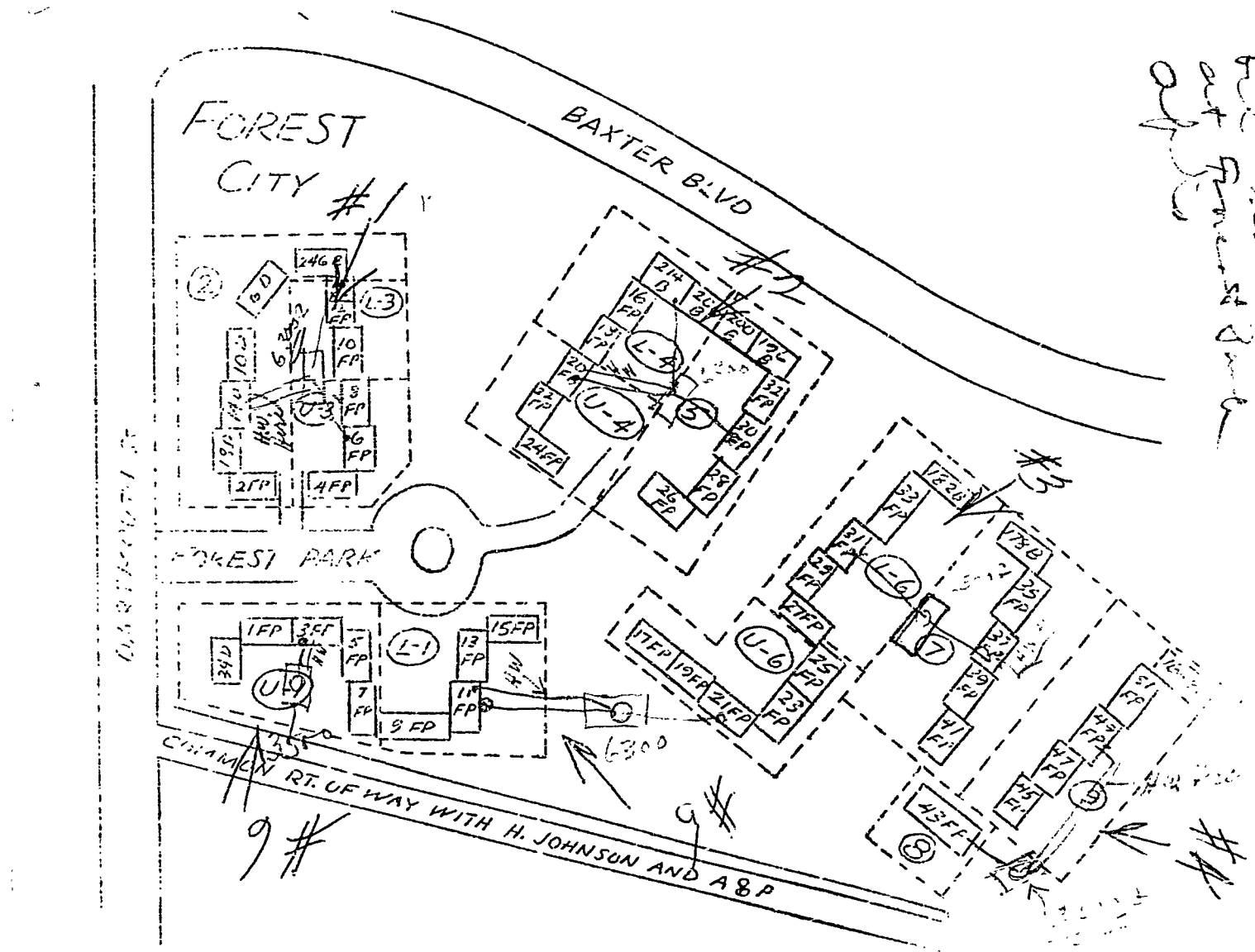
The permit is issued on the basis that the tank is cylindrical, that the highest point of the tank will be at least one foot below the surface of the driveway and that a reinforce concrete slab, adequate to spread the loads over the area of the slab, will be provided above the twelve inches of earth and to extend at least one foot beyond the edges of the tank all around.

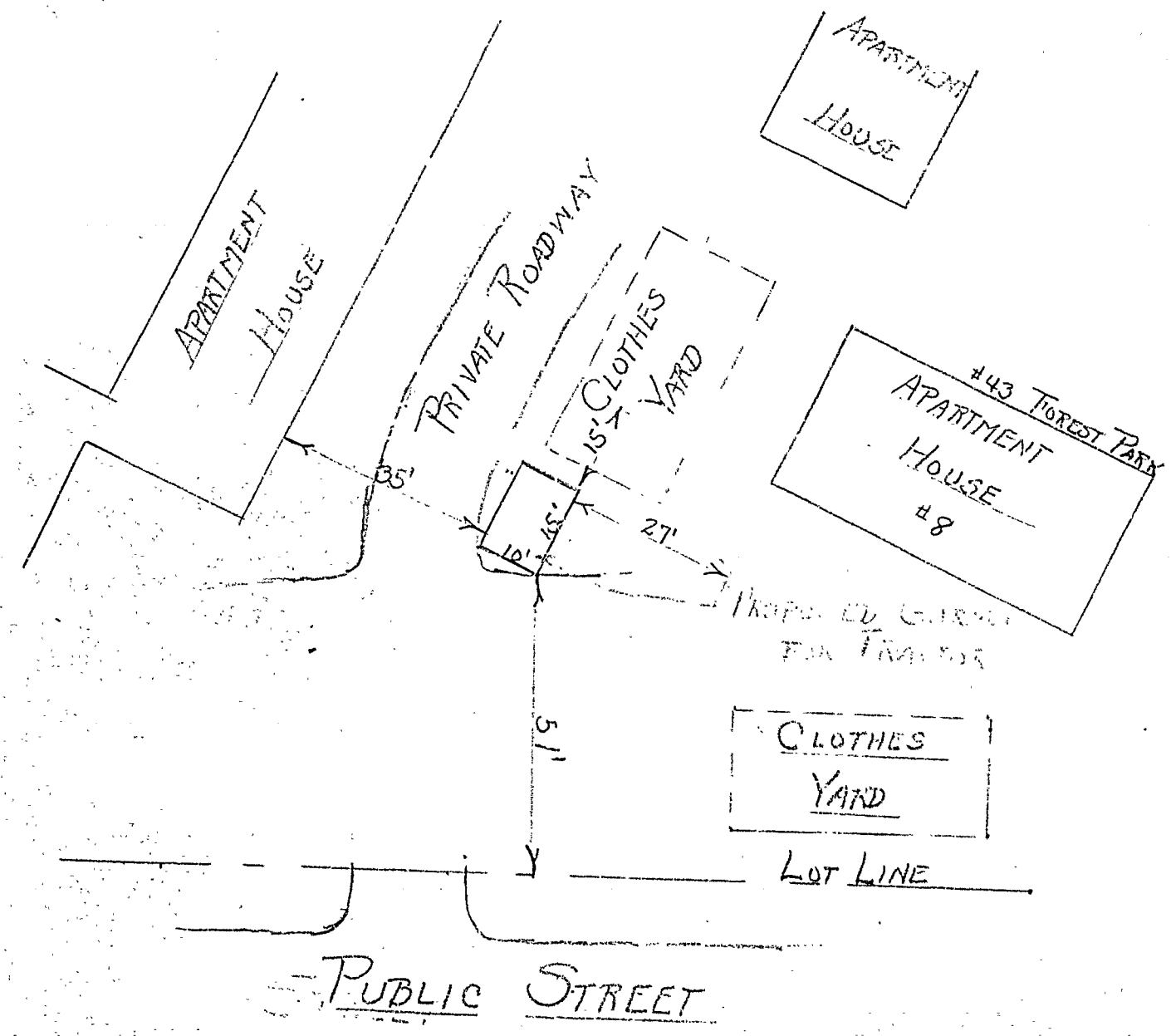
Please note that the tank is not to be covered from view until inspected by the Fire Department, and the Chief of the Fire Deparement has a copy of this letter.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/B


FOREST CITY #1
BAXTER BLVD
FOREST PARK
CHAMPION RT. OF WAY WITH H. JOHNSON AND A&P
L-1
L-3
U-3
U-4
L-5
U-6
L-6
U-9
L-9
U-8
#1
#2
#3
#4
#5
#6
#7
#8
#9
6300


APARTMENT HOUSE
APARTMENT HOUSE
PRIVATE ROADWAY
CLOTHES YARD
15'
#43 FOREST PARK
APARTMENT HOUSE #8
35'
45'
10'
27'
5'
CLOTHES YARD
LOT LINE
PUBLIC STREET

(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
61045
JUN 24 1948
CITY of PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, June 21, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter repair demolish the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 43 Forest Park Within Fire Limits? no Dist. No.

Owner's name and address Forest City, Inc., 102 Exchange St. Telephone

Lessee's name and address Telephone

Contractor's name and address owner Telephone

Architect Specifications Plans yes No. of sheets 1

Proposed use of building Shed for power lawnmower No. families

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot Apartments

Estimated cost $ 150. Fee $ 1.00

General Description of New Work

To construct 1 story frame shed 10'x15' for storage of lawn mower.
Outside walls to be clapboarded and painted.

NOTIFICATION BEFORE LATHING OR CLOSING-IN IS WAIVED

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate 8' Height average grade to highest point of roof 10'

Size, front depth No. stories 1 solid or filled land? solid earth or rock? earth

Material of foundation flat rocks Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof pitch Rise per foot 5" Roof covering asphalt roofing Class C Und. L.&b.

No. of chimneys none Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind hemlock Dressed or full size? dressed

Corner posts 2-2x4 Sills 4x6 Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor cinder, 2nd, 3rd, roof 2x4

On centers: 1st floor, 2nd, 3rd, roof 24"

Maximum span: 1st floor, 2nd, 3rd, roof 5'

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:
OK-6/23/48-AJS

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Forest City, Inc.

Signature of owner By: Arthur J. Huber, Manager.

INSPECTION COPY

Permit No. 48/1045

Location 43 Forest Park

Owner Forest City, Inc.

Date of permit 6/24/48

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

General Inspection
Forest City, Inc.

May 2, 1944

Orr and Reilly Company,
4 Bridge Street,
Concord, N. H.

Subject: Building permits for installation of hot water heating systems in the house development of Forest City, Inc. at 1-42 Portsmouth St. corner Baxter Blvd.

Gentlemen:

Thirteen permits as above for installation of as many hot water heating systems are enclosed.

Referring to Mr. McKee's letter of May 1st with regard to the clearance between smoke pipes and combustible partitions, the architect says that in some cases this side clearance will be as little as six inches or seven inches; but that the partitions in such cases, though having wooden studs, would be covered with plaster on perforated gypsum lath, and in each such case where the clearance is less than [illegible] inches two-inch thickness of asbestos cement, reinforced with wire will be applied to the smoke pipe. I am willing to accept this protection, but I note that in some cases the smoke pipes are 18 inches in diameter, and frankly I do not know how much insulation is needed to keep the studs in the partition from igniting, should a fire take place in the smoke pipe itself. I should think the two inches of asbestos cement insulation would not prove practicable when it becomes necessary to turn the smoke pipe down, and I am wondering if it would not be better to bend-off the studs in the partition for a sufficient width, so there would not be any woodwork at all opposite the smoke pipe. Presumably these partitions have not yet been completed and could be so adjusted before the lath and plaster are applied.

Considerable trouble developed with stoker-fired appliances in several apartment buildings of these same owners, though, to be sure, most of these jobs were circulated warm air heat. Our Health Department was vitally concerned with these difficulties because there was the danger of gas being spread through the building which did actually occur in one or two cases.

One of the difficulties then encountered was that, either due to improper fuel or improper adjustment of the stoker controls and air supply, quantities of ash with high combustible content were thrown not only into the smoke pipe but even reached the chimney flue in considerable quantities. I felt with regard to those jobs that it was necessary to install in each smoke pipe one or more cleanouts so that the entire pipe could be cleaned out without removing it from its position. I think the same precaution should be taken on these jobs, and that is no reflection upon the type of equipment to be installed or the persons doing the installing,-but merely a safeguard against a situation whereby it may be difficult to get reliable and competent help to maintain the systems and keep them in adjustment. At any rate if these cleanouts are not provided now and it is found later on that ash is thrown in quantity even on some of the installations, I shall feel that cleanouts should be put in then.

I take it that with this type of stoker the only way to remove the cinders is through the fuel door. Even with hot water systems it is likely that considerable gas or fumes may penetrate into one or more of the first story apartments when the cinders are removed in this way. I note from the general contractor's letter that the owners propose to keep the cinders in metal cans awaiting removal from the building. I suppose these cans will have covers and that the covers will be used to avoid

orr and Roife Company———

May 1., 194

spreading of the fumes from the cooling cinders as much as possible. It is my thought that removal of these cinders from a given building once a week would hardly be often enough in the coldest part of the winter unless quite a number of containers were to be provided. I hope to avoid the situation which developed last winter in which these cinders were deposited on the cellar floor and sometimes altogether too close to combustible material.

Very truly yours,

Inspector of Buildings

MMcD/H
CC:Mr. Cummings Construction Co.
2-42 Dartmouth St.

W. D. Armitage
23 Mitchell Rd, Cos. Portland

Forest City, Inc.
Att. Mr. Lincoln
37 Casco Street

TELEPHONE 1670

ORR & ROLFE COMPANY

Heating, Plumbing and Sheet Metal Contractors

AGENTS FOR GILBERT & BARKER OIL BURNERS

4 BRIDGE STREET

CONCORD, N. H.,

May 1, 1944

Building Inspection Dept.
City Hall
Portland, Maine

MAY 3 1944
CITY OF PORTLAND

Re: Forest Park Project, Baxter Blvd., Portland
Att: Mr. Sears

Dear Sirs:

Enclosed please find prints showing boiler locations, also circular and drawing of the Winkler Stoker which we propose to use.

We believe that these drawings will give you all the information you require except the distance from smoke pipe to wall. We understand that this distance is not to be less than 12". In most cases these measurements will be 12" or more. However, in some cases we could not get the definite measurements and we have therefore forwarded a set of details to the Architect asking him to give you the correct dimensions.

Under separate cover we have mailed a check covering the cost of permits.

If there is any further information wanted we will be pleased to furnish same.

Yours very truly,

ORR & ROLFE COMPANY

BY: Wallace McKee

WM/d

TELEPHONE 1670

ORR & ROLFE COMPANY

Heating, Plumbing and Sheet Metal Contractors

AGENTS FOR GILBERT & BARKER OIL BURNERS

4 BRIDGE STREET

CONCORD, N. H.,

May 1, 1944

Building Inspection Dept.
City Hall
Portland, Maine

Re: Forest Park Project, Baxter Blvd., Portland

Att: Mr. Sears

Dear Sirs:

Herewith enclosed is check for thirteen dollars covering cost of permits for the above mentioned job.

Yours very truly,

ORR & ROLFE COMPANY

BY: William McLee

WM/d

H. P. Cummings Construction Company
General Contractors
Ware, Mass.

ESTABLISHED 1879

INCORPORATED 1906

Re: 1271
FHA Housing
Portland, Maine

May 10, 1944

RECEIVED
MAY 11 1944
CITY OF PORTLAND

Warren McDonald, Inspector of Bldgs.
City of Portland
Portland, Maine

Dear Mr. McDonald:

We are enclosing herewith copy of letter written by us to Orr & Rolfe Company under date of May 5th and copy of their reply written under date of May 9th.

Please advise us whether or not they have taken care of this in accordance with our correspondence started by your letter of March 20th.

Very truly yours,
H. P. CUMMINGS CONSTRUCTION CO.
By BVDavis

BVD/jk
Encs.

C
O
P
Y

Re: 1271
F. H. A. Housing
Portland, Maine

May 5, 1944

Orr & Rolfe Company
4 Bridge Street
Concord, New Hampshire

Gentlemen:

Will you kindly advise us if Mr. McDonald's letter of March 20th to us, copy to you, regarding boiler room layouts, etc., has been taken care of.

Very truly yours,

H. P. CUMMINGS CONSTRUCTION CO.

By

BVD/jk

RECEIVED
MAY 11 1944
CITY OF PORTLAND

C
O
P
Y

ORR & ROLFE COMPANY
4 Bridge Street
Concord, New Hampshire

May 9, 1944

H. P. Cummings Const. Co.
Ware
Mass.

Re: 1271
F.H.A. Housing
Portland, Maine

Gentlemen:

In reply to your letter of May 5, 1944, we wish to advise that the boiler room layouts, etc., have been taken care of.

Yours truly,
ORR & ROLFE COMPANY
By (Signed) W. McRAE

WM/d

RECEIVED
MAY 11 1944
DEPT. OF HOUS. INSP.
CITY OF PORTLAND

Reg. J. (Transmitted 5/26/44)

H. P. Cummings Construction Company

General Contractors

ESTABLISHED 1879

INCORPORATED 1906

~~Ware, Mass.~~
Portland, 5, Maine
Re: 1271
F. H. A. Housing

RECEIVED
APR 26 1944
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

April 25, 1944

Warren McDonald,
Inspector of Buildings,
City of Portland, Maine

Dear Sir:

Further reference is made to your letter to us of March 20th and our reply of April 3rd.

A representative of the Heating contractor is in town this week and with Architect will take up with you questions raised in the first three paragraphs.

Will you please write us, after talking with them, that they, and we, have or have not complied with your wishes on these points.

Yours very truly

H.P.CUMMINGS CONSTRUCTION CO.

By B V Davis

BVD/gm
c.c. Ware
Winthrop

H. P. Cummings Construction Company
General Contractors

ESTABLISHED 1879

Ware, Mass.

Re: 1271
F. H. A. Housing
Portland, Maine

INCORPORATED 1906

April 3, 1944

APR 4 1944
CITY OF PORTLAND

Warren McDonald, Buildings Inspector
Portland
Maine

Re: General Inspection Forest City, Inc.

Dear Mr. McDonald:

We have your letter of March 20th and have turned same over to our heating subcontractor to straighten this out with you, that is in reference to the first three paragraphs.

In reference to the last paragraph we have consulted the ultimate Owner and he proposes to store the ashes in cans in the basement and take them away once per week with his own truck. I trust this is satisfactory.

Very truly yours,
H. P. CUMMINGS CONSTRUCTION CO.
By B V Davis

BVD/jk

General Inspection
Forest City, Inc.

March 20, 1944

H. P. Cummings Construction Co.
Ware, Massachusetts

Subject: Permits for installation of heating plants at Forest Park at 2-18 Dartmouth Street and 160-254 Baxter Boulevard

Gentlemen:

I take it that your contract for these apartment houses includes the installation of the heating systems and the systems for heating hot water. Permits separate from those for general construction are required to cover these appliances and should be applied for and are issuable only to the actual installer, this in most cases meaning the installer of the heater appliance itself.

It has been our practice in the past to issue permits for such heating plants based merely upon a written application for the permit giving a small amount of critical information. In many of the recent apartment houses built in this city, this practice has not worked out well in that the location of the heater, arrangement of smokepipe etc. has not been well done and in a number of cases may have been installed with very poor judgment as to the safe and workable arrangement.

On this account I find it necessary that the applications for similar permits on such jobs in the future, including this one of yours, be accompanied by a plan to scale showing all of the essential details as to the location of heating appliance, smokepipe connection, location of stoker, if any, and specifications as to what kind of a stoker is to be installed and by what automatic and safety controlls the entire system is to be equipped, so that the entire matter may be checked upon not only by this department but by the Health Department before the permits are issued. The reason for getting the Health Department into the matter is that a number of the apartment houses recently built, we have had a great deal of trouble with gas being emitted from the heating appliance and spreading through the apartments,--this being a matter for the Health Department.

From the owners, who are receiving a copy of this letter, we would like to know what their plans are for handling ashes or cinders, both storage of them while they are still in the building and how they are to be taken out of the several buildings.

Very truly yours,

Inspector of Buildings

WMcD/S

CC: Forest City, Inc.
37 Casco Street

W. O. Armitage
23 Mitchell Road
So. Portland, Maine

General Inspection Copy
of FHA development on
Baxter Boulevard

January 19, 1944

Subject: Close fitting of fire doors at
160-254 Baxter Boulevard and 2-42 Dartmouth Street (Forest Park Gardens)

H. B. Cummings Construction Co.
Ware, Massachusetts

Gentlemen:

We have been getting such poor results as to the close fitting, especially of required self-closing fire doors between the bottom of the door and the floor or threshold that it becomes necessary to set a standard for maximum allowable opening. The only standard that we have been able to find in use is a maximum of one-quarter of a inch and that is accordingly adopted.

Probably none of the fire doors for the above job have been manufactured as yet, and it is desirable that you notify the manufacturers of them accordingly.

Of course, no matter how well the door fits the two sides and the top of the frame, difficulties will arise if considerable care is not exercised in building the floor directly beneath the fire door opening and for a sufficient area around so that the door affording no more than one-quarter inch opening at the bottom when closed will swing free of the floor when it is opened.

Please be governed accordingly.

Very truly yours,

Inspector of Buildings

WMcD/B

CC: Superintendent of Construction

Forest City Inc.
37 Cambo Street

A. M. Armitage
23 Mitchell Road
So. Portland, Maine

160-164 Baxter Blvd.
2-54 Dartmouth St.

December 1943

H. B. Cummings Construction Co.
2-54 Dartmouth Street,
Portland, Maine

Subject: Built-up wooden girders under first floors of the various apartment houses proposed in Forest Park Gardens at 160-164 Baxter Blvd. and 2-54 Dartmouth Street

Gentlemen:

I am told that you are unable to procure any solid timbers large enough in cross section to satisfy strength requirements for the above situation, and that you propose to build these girders up of "two-by" joists, set with the largest cross sectional dimension upright. Apparently you desired to be allowed to build up these girders without very much regard as to where the ends of the individual joists would come with relation to the supports. It is necessary that the splicing of these joists take place in every case over the column and that such splices come well inside the perimeter of the bearing plate on the column. Obviously the break between two lines of joists should not come together but should be alternated and no more than three-fifths of the lines should be broken over a single bearing.

All this is based on the assumption that you merely intend to spike these lines of joists together to make the girders set uniformly. If you have in mind adequately bolting members of the built-up girder together allowance can be made where a different arrangement with some of the splices coming off the bearings, if you will submit a more or less uniform plan here showing the proposed design and all of the details.

In connection with the many "self-closing" fire doors called for in these buildings, the Building Code provides that the closing device shall be "an approved device which will insure closing after having been opened for use". In a number of other jobs an attempt has been made to use coil springs to accomplish this purpose, and quite uniformly this device has not proved adequate. I find it necessary to rule therefore that for the war emergency at least such a closing device is not satisfactory but that a "liquid" door closer of the nearest suitable size consistent with the size and thickness of the door and the regulations of the War Production Board will be necessary unless those intending to install such doors can produce some arrangement as good for "self-closing" the doors as the liquid closer.

I am told that for such situations where fire doors are to be used in connection with fire safety and human safety, suitable priorities are available and that the closers themselves are available if certification is made that a municipal authority or law requires the device. If I can be of any help in this connection, I will certify to the need of these closers if you will ask.

In this connection it is only fair to remind you, especially the architect, that fire doors in heater room enclosures are not required to be self-closing but either self-closing or automatic. The automatic doors are closed automatically by the usual closing device approved by the authorities who approve the door by labelling, this automatic closing device not being a home-made affair. It is my personal feeling that the self-closing door gives better protection, especially from smoke, unless the operating device is interfered with. With this type of hardware, however, little or no air can be taken from the cellar to maintain combustion, and it is necessary to see to it that sufficient air for that purpose reaches the heaters from the outside of the building.

Very truly yours,

Inspector of Buildings

CC: Forest City, Inc.
87 Casco St.
W. O. Armitage, 23 Mitchell Rd.
So. Portland, Maine

MicD/H

General Inspection
Forest Park

September 30, 1948

H. P. Cummings Const. Co.
Ware, Mass.

Subject: Arrangement where brick fire walls are to stop just beneath roof boards in the apartment houses in Forest Park Garden at 160-206 Baxter Blvd. and 2-42 Dartmouth Street

Gentlemen:

Since my letter issued with the permits for these buildings, the question has come up as to how the above relative arrangement of the top of these fire walls and the roof boards could be worked how to afford a competent fire stop to prevent fire occurring in one section travelling over the wall and underneath the roof boards to the other and still not run the risk of damage to the roof of the building due to the fact that the roof boards, being supported entirely on the wood frame, will go down some undetermined amount with the shrinkage of the lumber, while the top of the fire walls will never be appreciably lower than when the walls are finished.

Up to now it has been understood, or perhaps we have specified, that these fire walls were to be built snug up against the boards, but Mr. Sears of this office raises the question (I think it is a good one) as to the probable damage to the building on account of unequal settlement.

We do want a good fire stop of course, - one that will be somewhere near equivalent to the usual practice of extending the fire walls through the roof to a parapet; but I do not want adherence solely to this desirable feature to do damage to the building in such a way that the roof will be deformed and leak and then we would not have much of any fire stop at all.

I believe in my former letter that I suggested that strips of metal be bent into an angle and tacked tightly to the roof boards on both sides of the wall, the down standing leg of the strip of metal to extend down along the face of the fire wall and snugly against it, but not fastened to it. Mr. Sears makes the good suggestion that the top of the wall be left down from the underside of the roof boards a distance which is slightly larger than the unequal settlement is estimated to be, that the downstanding legs of these metal strips be made correspondingly longer and that the space between the two strips of metal and between the top of the wall and the underside of the roof sheathing be filled with some compressible, incombustible substance like mineral wool. Perhaps Mr. Armitage of your Building Superintendent will have a better idea. At any rate, I would like to have Mr. Armitage (he is receiving a copy of this letter) show whatever detail is to be followed on the revised plan before the prints are filed here.

Very truly yours,

Inspector of Buildings

WMcD/3

CC: Forest City, Inc., 37 Casco Street

Mr. W. O. Armitage, 2[illegible] Mitchell Road, South Portland

General Inspection
Forest Park Gardens Apts.
170-254 Baxter Blvd.

September 23, 1943

H. P. Cummings Construction Co.
Here,
Massachusetts

Subject: Building permits for 9 blocks of apartment houses at 180-254 Baxter Blvd. and 5-42 Dartmouth Street (Forest Park Gardens Apts)

Gentlemen:

The above building permits (9) are issued herewith subject to the conditions in this letter and the pages enclosed herewith. A full copy of the letter and the appended sheets are enclosed for the use of your building superintendent, and it is my hope that you will see to it that the building superintendent, himself, has it. Other copies are being sent to the architect and to the owning corporation.

The large number of details referred to herein may give you and the owners the impression that I am severely criticising the plans and specifications. To the contrary, I wish to compliment the architect upon this finely conceived and executed set of plans. Despite the clearness of the plans the job is of such a type as to be very complex indeed, and if your building superintendent is able to execute this job without some costly errors he will have done a monumental job of planning execution.

At the request of your Mr. Marsh, I have decided that we will not require any of the batter boards to be put up and the locations of the buildings to be checked before the excavation is done. I do require, however, that the batter boards be put up for an entire block, that we be notified of readiness for checking location and that such check as we feel necessary shall be made and the locations found correct before any work upon the assembly of foundation forms in their final location is commenced on any given block. I wish to be clearly understood on this point because in times past contractors have not always kept faith with us when we have departed from our usual procedure, and I would like to have you make it clear to your building superintendent that if this requirement about refraining from starting foundation forms is not carefully observed until we have given the "go ahead" on each particular block, I shall not hesitate to stop work on that part of the job as I am authorized to do. Before any part of the work is closed from view the law requires that a notice of readiness for closing-in inspection be given at this office, that the inspection be made, everything found in order and a certificate of closure (green tag) be left at the job. In a similar manner notice is required of readiness for final inspection, final inspection is required and everything found in order before the legal certificate of occupancy is issued, and no part of any apartment is to be occupied for living quarters until the certificate of occupancy covering that particular part is in the possession of the owners. It will be, of course, your job to give notice of readiness for closing-in and for final inspection; but the attention of the owning corporation is particularly called to the stipulation that none of the living quarters shall be occupied until they actually have the certificate of occupancy in their possession. We shall try to be just as cooperative as the size of our force will permit in order to make inspections on parts of a block and to even issue certificates for definite sections of any block if the safety devices required have all been supplied. I ask you, however, to be considerate in asking for no more inspections than are absolutely necessary and to see to it that when we are notified for inspection that your building superintendent has already checked everything over and is reasonably sure that everything is in order thus making one inspection do for what otherwise might require two or three.

Contrary to my letter to the architect of September 20th, I am issuing these

September 16, 1943

F. P. Cummings Construction Co.———

permits although the plans are not fully completed to show compliance with the Building Code. As far as we are able to do so these items are called to your attention herein. Those which require correction on the originals of the plans and revised prints to be filed are indicated thus ——. It will not be deemed sufficient to merely mark up the blueprints in this office to correct any of the items thus marked, and I feel it necessary to insist that the revised prints clearing up all of these matters and also any other changes that may have been [illegible] up to that time for other reasons, be filed in this office in time for us to check [illegible] revised as before any work is given on any of the [illegible] indicated [illegible] any of the blocks. It will be much appreciated if the architect will [illegible] note the date of revision and the particular items on that sheet revised, and [illegible] see to it that the building superintendent has a complete copy of the [illegible] plans that we have and none of the old prints, this for obvious reasons. [illegible] attention is drawn to the fact that separate permits issuable only to the actual [illegible] installer are required to cover the heating boilers and the heaters for hot water in a given block may be applied for on the same application and covered by a single permit if to be installed at approximately at the same time and all by one installer; but separate permits for these appliances will be required for each individual block.

Two of these items which require changes on the plans are called to your attention here at once because they are of such a nature as to affect the surroundings. The first is the matter of the single riser shown in the otherwise wide landing midway between first and second floor on each of the typical plans. A single riser is not permitted in any one place. I have called this to the attention of Mr. Armitage and he is no doubt already making adjustments to take care of it. The other is a matter of too large floor areas in two different locations,—one where Section G of Block 4 joins Section F of Block 5 to make a cover over the open passageway between the two blocks. This means to make a contiguous area of second floor in Third Class Construction of more than 5,000 square feet where 3,000 is the maximum between exterior walls or fire separation wall. Apparently a fire wall will be required at the end of one block or the other to run in a single vertical plane from the foundation; the other situation is similar between Section H of Block 6 and Section A of Block 7 where the unlimited area is not so large but clearly exceeds the 3,000 square feet maximum.

Other less important changes are indicated in the following pages.

Very truly yours,

Inspector of Buildings

EMC:/H

CC: William G. Armitage
23 Mitchell Road
So. Portland, Maine

Forest City, Inc.
57 Cross Street

BUILDING PERMITS (3) [illegible] HOUSES AT 1[illegible]-154 BAXTER AVE. AND [illegible] [illegible]TH STREET SUBJECT TO THE FOLLOWING
(See also Inspector of Building's letter of September [illegible], 1943)

September [illegible], 1943

Construction Details

C-1. See letter of September [illegible]th about anchors, joists to masonry walls. Bear in mind where joists are parallel to fire walls that some means of fastening anchors to joists should be adopted so that unequal shrinkage of lumber will not do damage to the building. If anchors bear under bottom edge of joists and are built into masonry walls which will not shrink the anchor will support the joists, especially the one against the wall without depression while both ends of the joists will certain be depressed considerably due to shrinkage of lumber laid with grain horizontal in bearing walls and partitions and girders beneath and supporting the joists. ✓

Spacing [illegible] [illegible] [illegible] out the [illegible] [illegible] should [illegible] [illegible]

C-[illegible]. Ledger board construction not to be used. Construction superintendent to familiarize himself with precise requirements of Building Code as to framing found in Section [illegible]-c of the Building Code, also rules for firestopping in the same section, paragraph [illegible]; so that he will not go wrong on this framing and firestopping even though all details are not shown on the plans. See also paragraph [illegible]-[illegible] of letter of September 20th.

[illegible] C-3. See paragraph [illegible]-4 of the letter of September [illegible]th as to the qualifications for structural insulating board for outside sheathing. Show on plans, if structural insulating board is to be used for sheathing, that the frame of each building is to be braced by no less than 1x4 members "let-in" the other framing members and used in both directions at the top and bottom of each story at every corner and angle of exterior walls, these braces to be set at 45 degrees with the horizontal, the horizontal and vertical legs of the triangle of which the braces form the hypotenuse to be as long as practicable and never less than three feet.

OK

C-4. Each package of asphalt shingles for the roofs should bear on it the label of the Underwriters' Laboratories identifying the shingles as Class C. ✓

C-5. Presumably the floor joists are to be long enough to be spiked to the studs in the outside walls where they get a bearing upon sills or girts. Not clear

[illegible] C-6. Show concrete pier beneath the bottom of outside fire escape stairs in each case to extend at least four feet below the surface of the ground. ✓ Show sizes, spacing and spans for the framing of all outside platforms at both floor levels and of the outside stairs including size and number of carriages, bearing in mind that floor joists are not to be supported upon another member merely by spiking through the supporting member into the end of the grain of the member supported; desirable also to show method of supporting upper ends of stair carriages against outside platforms. In four family houses apparently a bracket is proposed under the outside stairs, the bracket to be supported upon a 4x4 post under second floor platform. If this bracket figures just for stiffening it is satisfactory, but if it is needed to support the stair carriages on account of their size and span, then the bracket is not considered adequate but a post, pier and beam is necessary.

Top porch framing bracket [illegible] of type 8T-3R

C-7. According to architect and owner all downspouts for draining roofs are to be connected to the sewer. ✓

[illegible] C-8. Screens are noted over incinerator flues. Either show on plans or else furnish the working drawings of the manufacturer of the incinerator, in either case to be in sufficient detail for us to tell whether or not the incinerators will comply with the recommendations of the National Board of Fire Underwriters, as required by the Code, including full details of the top slab so that we may tell among other things what the clearance will be from top of slab to the combustible material overhead.

No details

[illegible] C-9. As shown on plans at XX and YY on sheet 1[illegible] and in similar situations where fire walls or separations are required and used at places where two different sections meet making the end of the wall all one plane through the thickness of the wall is not considered sufficient fire separation since if shrinkage takes place as it will there