

Kavin

May 13, 1986

Bathroom is existing
in a separate bldg.
None in proposed
guest house, says
Roger Berlé

WAT

4/2/86

Ernie

Is this O.K. for
a guest house
building?

Lot 109B-F-75

has 87000 #

if there is to be plans when
the site is in Warren T.
my



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

May 15, 1986

Louise Kline
75 Island Ave
Cliff Island, Maine

Re: 109-B-F New Island Ave

Dear Mrs Kline,

Your application to : build 20 x 16 guest house

At: above address

Has been reviewed and a permit is herewith issued subject to the following requirements.

1. All sona tubes shall be set on concrete footings (12"x12"x 4")
2. All sona tubes must be set a minimum of 4' below grade

Please contact this office if you have any questions.

Sincerely,

Kevin Carroll
Kevin Carroll

Acting Chief of Inspection Services

CITY OF PORTLAND, MAINE
ZONING BOARD OF APPEALS



MERRILL S. SELTZER
Chairman

JACQUELINE COHEN
Secretary

ROBERT J. GAUDREAU
THOMAS F. JEWELL
EUGENE S. MARTIN
DAVID L. SILVERNAIL
MICHAEL E. WESTORT

April 8, 1986

RE: Lot 109-B-F-75 Island Avenue

Mr. Roger K. Berle
Cliff Island, Maine 04109

Dear Mr. Berle:

Your plan for construction of a guest house for Mrs. Louise Kline on Peaks Island has been referred to the City Plumbing Inspector for review and comment. He requests a soils evaluation test if there is to be a new bathroom in the guest house. Mr. Berle, the only alternative for your addition in the I-R 1 Zone, would be to either seek a variance for the side yard setback or to relocate the proposed building addition so as to comply with the side yard setback of 12 feet.

Sincerely,

Warren J. Turner
Warren J. Turner
Zoning Enforcement Inspector

WJT/el

Enclosure: Variance Request

cc: Merrill Seltzer, Chairman, Board of Appeals
Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
P. Samuel Hoffses, Chief of Inspection Services
Arthur Addato, Code Enforcement Officer

OUTBUILDING FOR LOUISE KLINE

BY: R.K. BERLE
VINCENTKIND EXCAVATORS, E.P.D.
CLIFF ISLAND, MAINE 04018
TEL 266-4322

LOT # 109-B-F-75
CLIFF ISLAND

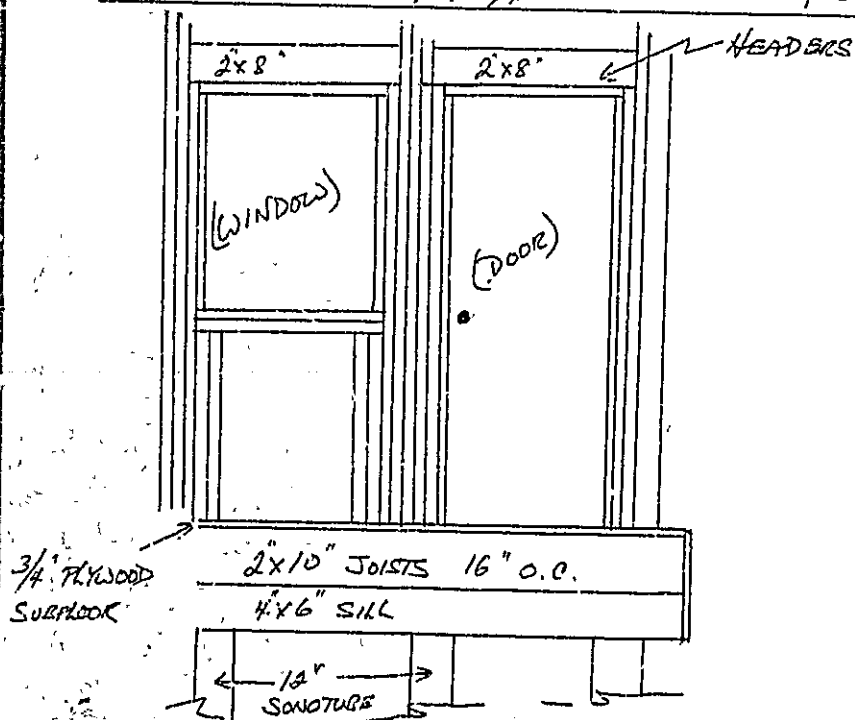
109-B-F-75
152. Ave. C.I.

WALLS : 2x6 SPRUCE - 16" O.C.

5/8" PLYWOOD SHEATHING

15# FELT PAPER

EXTERIOR : 3/4" BOARD + BATTEN, STAINED



OUTBUILDING FOR LOUISE KLINE

BY: R.K. BERLE
FINESTKIND EXCAVATORS, E.P.D.
CLIFF ISLAND, MAINE 04019
TEL. 266-2822

LOT # 109-B-F-75
CLIFF ISLAND

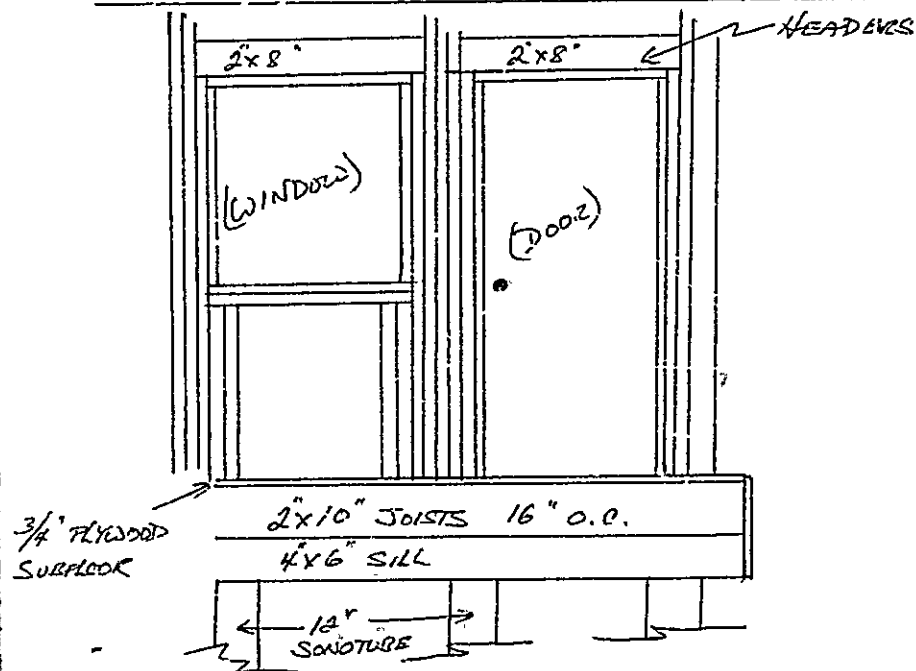
109-B-F-75
152. Ave. C.I.

WALLS: 2x6 STUDS - 16" O.C.

5/8" PLYWOOD SHEATHING

15# FELT PAPER

EXTERIOR: 3/4" BOARD + BATTEN, STAINED



OUTBUILDING FOR LOUISE KLINE

BY: R.K. BERLE

FINESTKIND EXCAVATIONS, E.P.D.

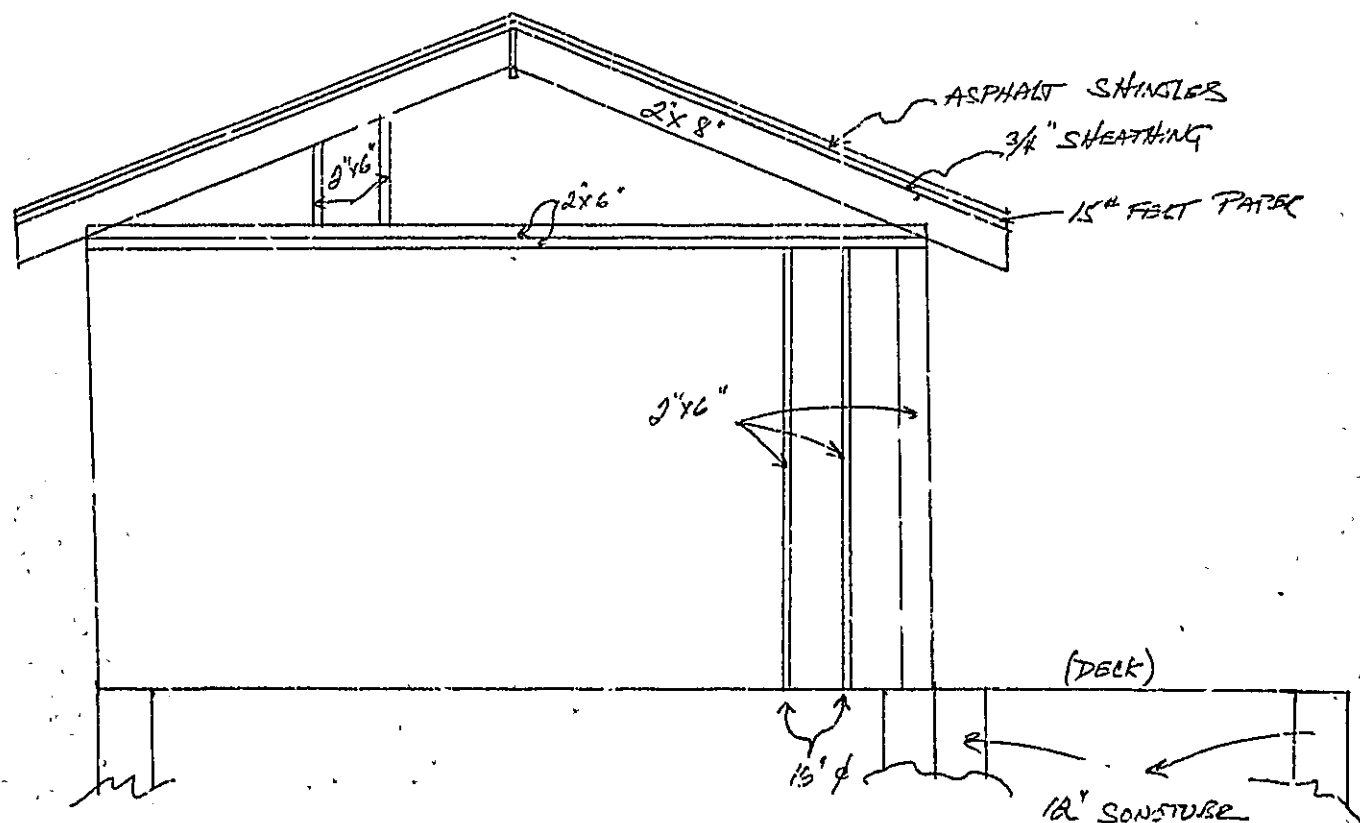
CLIFF ISLAND, MAINE 04113

TEL. 751-2832

LOT # 109-B-F-75

CLIFF ISLAND

109-B-F-75
ISL. ARE. C.I.



SOUTHWEST ELEVATION

SCALE: 3/8" = 1'

OUTBUILDING FOR

LOUISE KLINE

BY: R.K. BERLE

LOT # 109-B-F-75

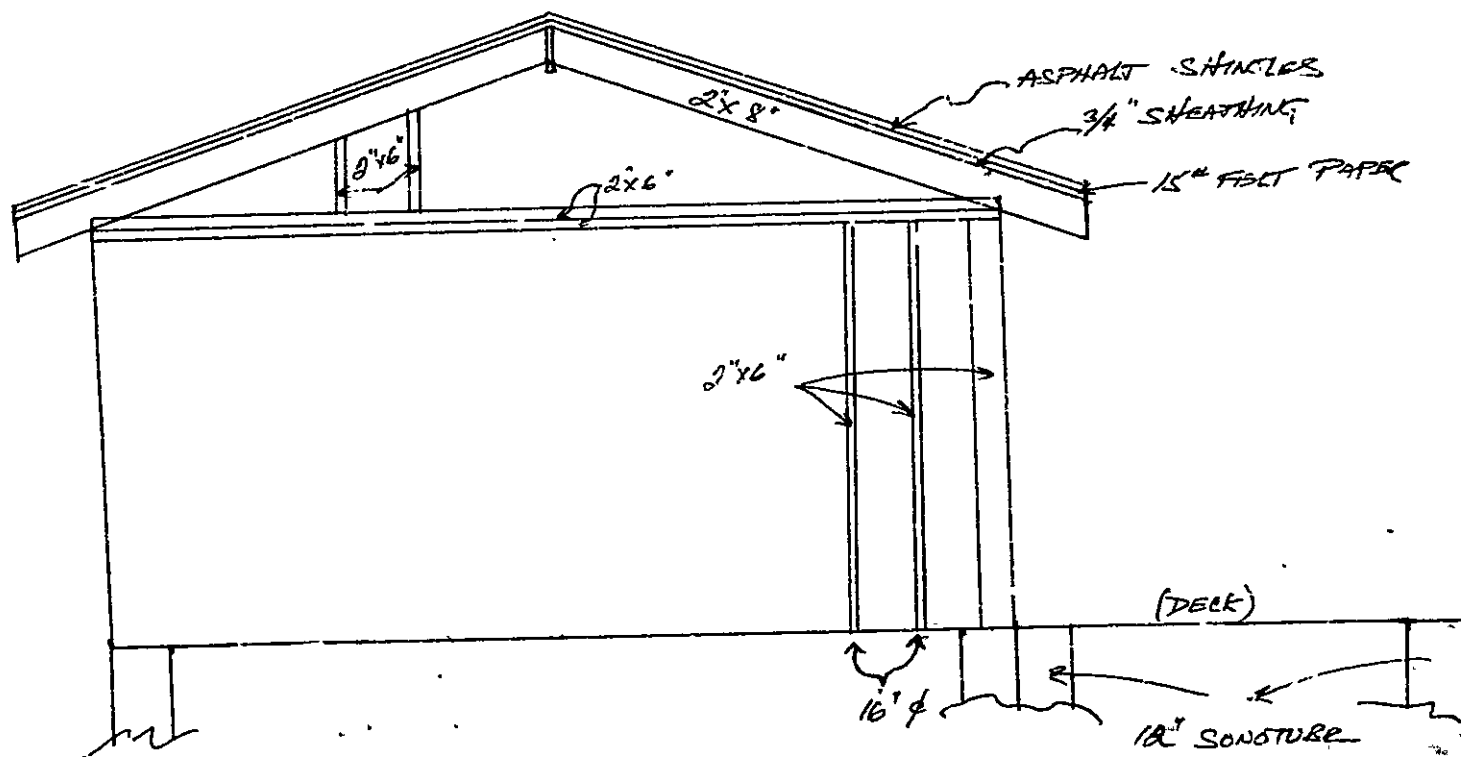
FINESTKIND EXCAVATORS, E.P.D.

CLIFF ISLAND

CLIFF ISLAND, MAINE 04119

TEL. 266-2822

109-B-F-75
1st. AVE. C.I.



SOUTHWEST ELEVATION

SCALE: $\frac{3}{8}'' = 1'$

OUTBUILDING FOR

LOUISE KLINE

BY: R.K. BERLE

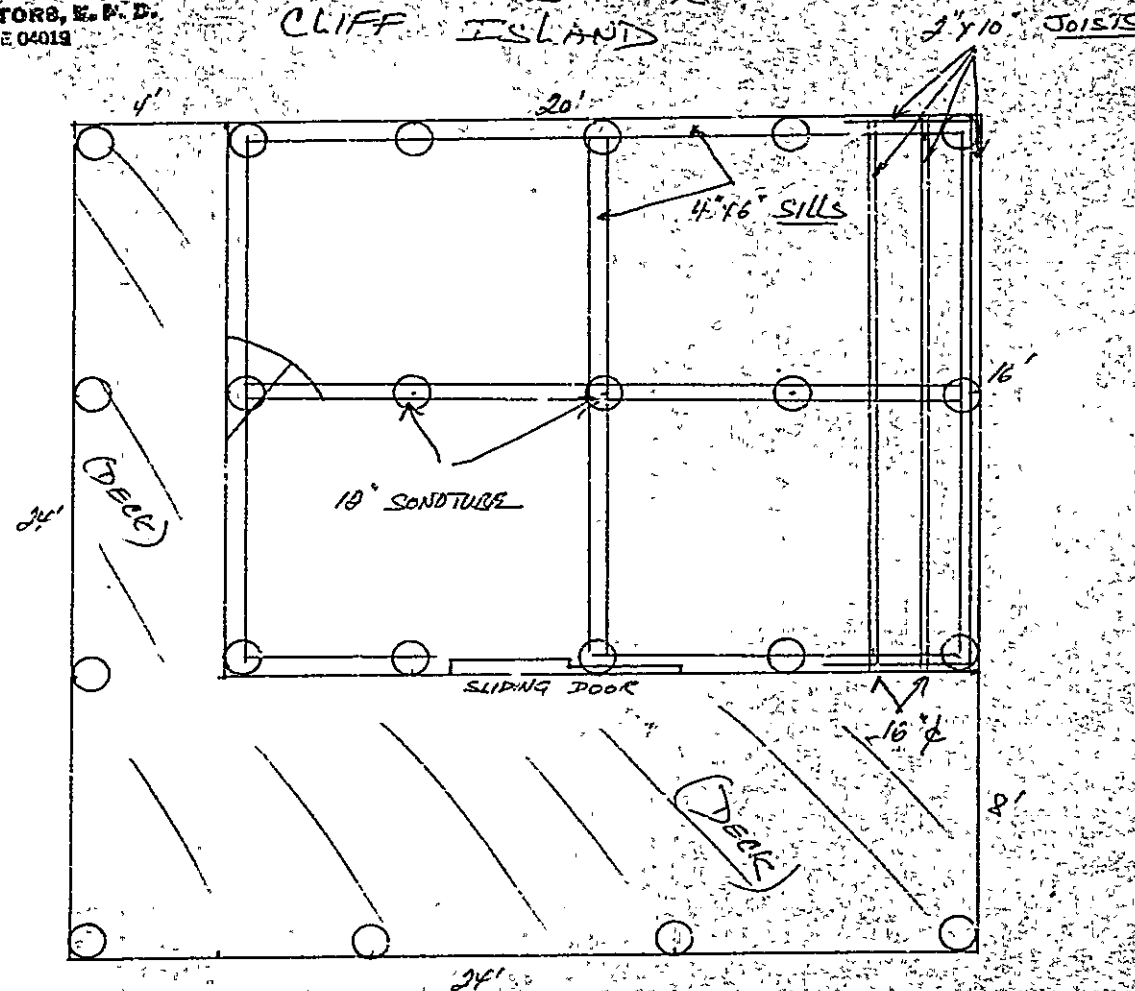
LOT # 109-B-F-K

FINESTKIND EXCAVATORS, E. P. D.

CLIFF ISLAND

CLIFF ISLAND, MAINE 04019

TEL. 766-2827.

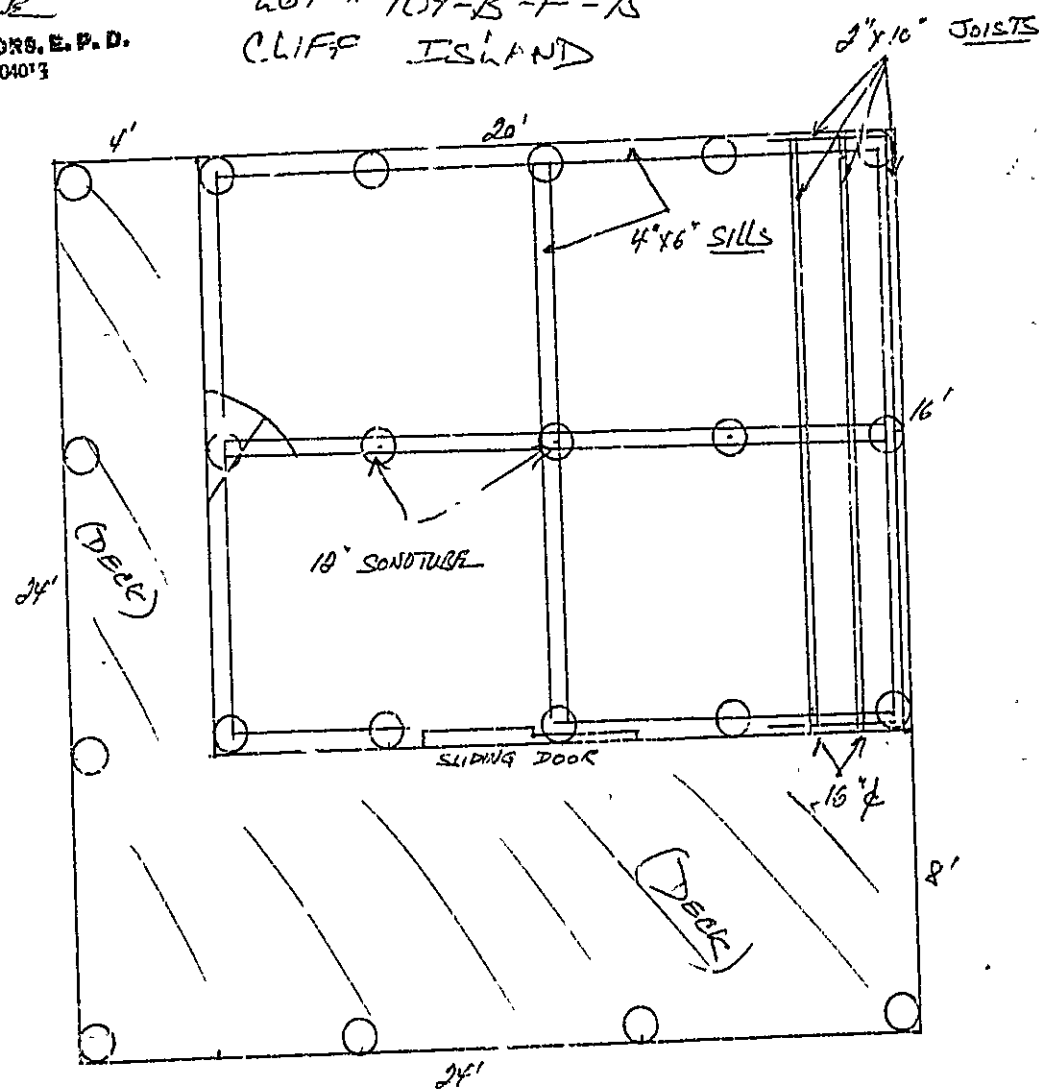


FLOOR CROSS SECTION

SCALE: 1/4" = 1'

OUTBUILDING FOR: LOUISE KLINE
 BY: R.K. BERLE
 LOT # 109-B-F-75
 CLIFF ISLAND

FINESYKAMP EXCAVATORS, E.P.D.
 CLIFF ISLAND, MAINE 04013
 TEL. 765-2822.



FLOOR CROSS SECTION

SCALE: 1/8" = 1'

OUTBUILDING FOR: LOUISE KLINE

LOT # 109-B-F-75

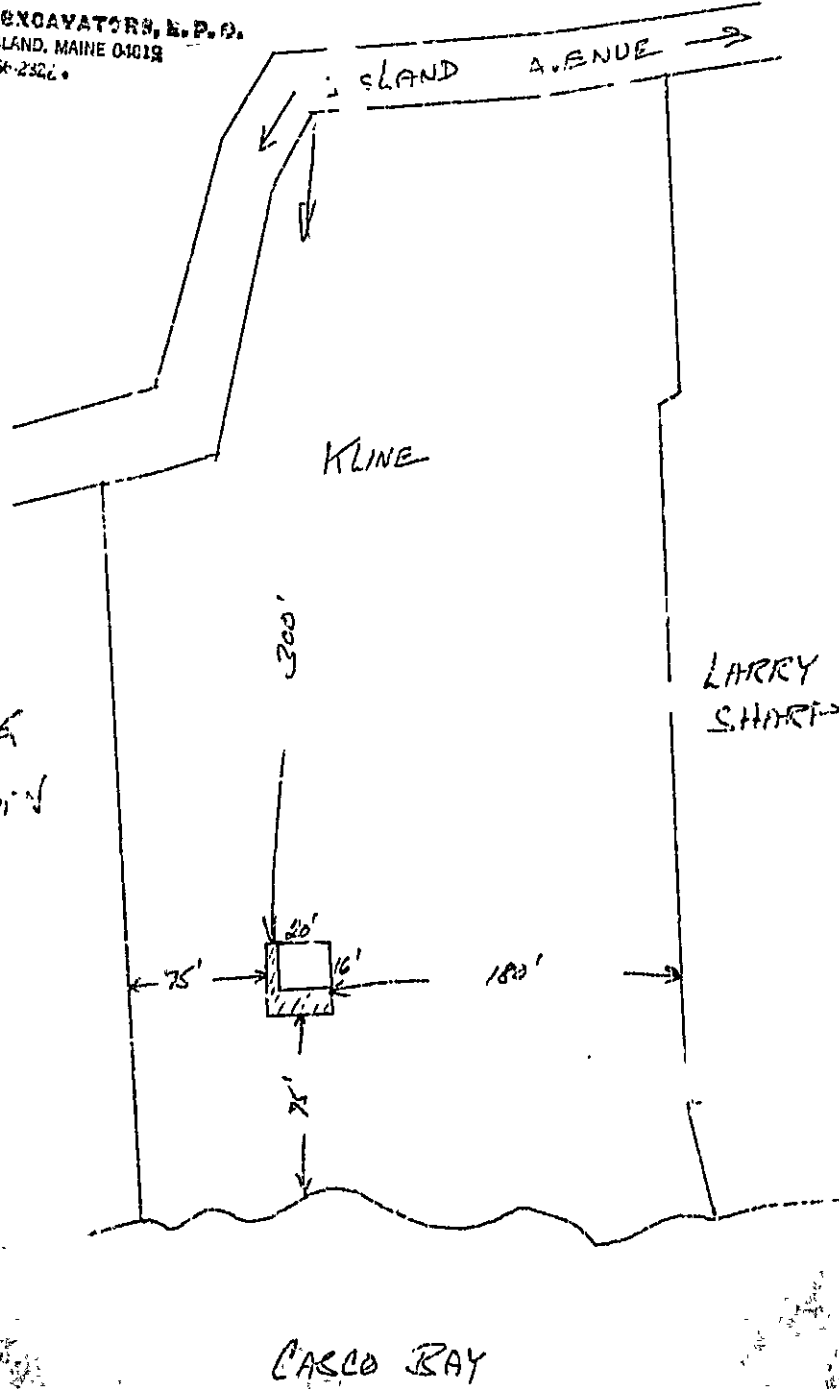
CLIFF ISLAND

BY: R.K. BERCLA

FINEST AND EXCAVATORS, E.P.O.
CLIFF ISLAND, MAINE 04819
TEL 764-2526

$\frac{3}{16}" = 1'$

HENNING
PONTOPPIDIN



CASCO BAY

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

00594

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION TR-4 PORTLAND, MAINE April 4, 1986

PERMIT ISSUED

MAY 16 1986

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith at the following specifications:

LOCATION 09-B-F-75, Hill Ave. Cliff Island Fire District #1 ☐ #2 ☐

1 Owner's name and address Louise Kline same Telephone 766-2212

2 Lessee's name and address Telephone

3 Contractor's name and address Firestkind Excavators- Cliff Isl Telephone 766-2227

No. of sheets

Proposed use of building guest house No. families

List use No families

Material No stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 10,000

FIELD INSPECTOR-Mr. Appeal Fees \$

@ 775-5451 Base Fee \$ 70.00

Late Fee

TOTAL \$

To construct a 12' x 16' building to be used for guest house as per plans. 3 sheets of plans.

Stamp of Special Conditions

send permit to # 3 04019

SEE LETTER

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Is connection to be made to public sewer? yes If not, what is proposed for sewage? septic system
Has septic tank notice been sent? yes Form notice sent? is installed
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories so for filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-kind Dressed or full size? Corner, posts Sills
Size Girder Columns under girder Size Max. centers
Stud, (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet
Joists and rafters 1st floor 2nd floor 1st floor 2nd floor roof
On centers 1st floor 2nd floor 1st floor 2nd floor roof
Maximum span 1st floor 2nd floor 1st floor 2nd floor roof
Is one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION-PLAN EXAMINER Will work require disturbing of any tree on a public street? no
ZONING: OK Will there be in charge of the above work?
BUILDING CODE: OK To see that the State and City requirements pertaining to are observed?
Fire Dept.: OK
Health Dept.: OK
Others:

Signature of Applicant Roger J. Berlo Phone # same

Type Name of above Roger J. Berlo for 1 ☐ 2 ☐ 3 ☐ 4 ☐

Firestkind Excavators/ Other

Louis Kline and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

NOTES
6-25-87 - checked
O/S. COP

NOTES
6-25-87 - checked
O/S. COP

Location 109-8-1-75. 1415

Owner Leise King City Island

Date of permit: 3/4/86

Approved 5/16/86

Dwelling Couches 20' x 16'

Garage Guest house

Alteration

[illegible]