

ISLAND AVENUE
109B-F-5

CLIFF ISLAND



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date August 17, 1976, 19
 Receipt and Permit number _____

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: Island Ave. Cliff Island - 109-B-F-8-54-57-61-62
 OWNER'S NAME Dorothy Nork ADDRESS: Cliff Island, Me.

OUTLETS: (number of)			
Lights	_____		
Receptacles	_____		
Switches	_____		
Plugmold	_____ (number of feet)		
TOTAL	<u>1-30</u>		
		FEES	
FIXTURES: (number of)			
Incandescent	_____		
Fluorescent	_____ (Do not include strip fluorescent)		
TOTAL		<u>3.00</u>	
Strip Fluorescent, in feet	_____		
SERVICES:			
Permanent, total amperes	<u>100</u>	<u>3.00</u>	
Temporary	_____		
METERS: (number of)	<u>1</u> <u>.50</u>	<u>.50</u>	
MOTORS: (number of)			
Fractional	_____		
1 HP or over	_____		
RESIDENTIAL HEATING:			
Oil or Gas (number of units)	_____		
Electric (number of rooms)	_____		
COMMERCIAL OR INDUSTRIAL HEATING:			
Oil or Gas (by a main boiler)	_____		
Oil or Gas (by separate units)	_____		
Electric (total number of kws)	_____		
APPLIANCES: (number of)			
Ranges	<u>1</u>	Water Heaters	<u>1</u>
Cook Tops	_____	Disposals	_____
Wall Ovens	_____	Dishwashers	_____
Dryers	_____	Compactors	_____
Fans	_____	Others (denote)	_____
TOTAL			<u>3.00</u>
MISCELLANEOUS: (number of)			
Branch Panels	_____		
Transformers	_____		
Air Conditioners	_____		
Signs	_____		
Fire/Burglar Alarms	_____		
Circus, Fairs, etc.	_____		
Alterations to wires	_____		
Repairs after fire	_____		
Heavy Duty, 220v outlets	_____		
Emergency Lights, battery	_____		
Emergency Generators	_____		

INSTALLATION FEE DUE: _____
 FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9) _____
 TOTAL AMOUNT DUE: 9.50

INSPECTION: Will be ready on _____, 19____; or Will Call _____

CONTRACTOR'S NAME Morini Electric
 ADDRESS 179 Sheridan St.
 TEL. 774-5829

MASTER LICENSE NO.: 2436
 LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR: [Signature]

OFFICE COPY



R2 RESIDENCE ZONE
R2 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Oct. 24, 1958

PERMIT 15504

OCT 27 1958 01534

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location ... Island Ave. Cliff Island (109B-E-5) ... Within Fire Limits? .. no ... Dist. No.

Owner's name and address ... David MacVane, Island Ave Cliff Island Me. ... Telephone ..

Lessee's name and address Telephone ..

Contractor's name and address .. OWNER .. Telephone no phone

Architect Specifications .. Plans .. yes .. No. of sheets .. 2 ..

Proposed use of building . . . Storage for Fishermen's Gear, . . . No. families . . .

Last use No. families

Material frame ... No. stories ... Heat ... Style of roof ... Roofing ...

Other building on same lot .. none ..

Estimated cost \$.. 100.00 .. Fee \$ 2.00 ..

General Description of New Work

To construct 1-story frame building 16' x 20' as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

Details of New Work

Is any plumbing involved in this work? .. no .. Is any electrical work involved in this work? .. no ..

Is connection to be made to public sewer? .. If not, what is proposed for sewage? ..

Has septic tank notice been sent? .. Form notice sent? .. yes ..

Height average grade to top of plate .. 8' .. Height average grade to highest point of roof .. 12' ..

Size, front .. 16' .. depth .. 20' .. No. stories .. 1 .. solid or filled land? .. solid .. earth or rock? .. earth ..

Material of foundation .. 9" Sonotubes .. at least 4' below grade .. Thickness, top .. bottom .. cellar ..

Material of underpinning .. Height .. Thickness ..

Kind of roof .. pitch .. Rise per foot .. 5" .. Roof covering .. Asphalt Class C Und. Lab. ..

No. of chimneys .. Material of chimneys .. of lining .. Kind of heat .. fuel ..

Framing Lumber—Kind Pine .. Dressed or full size? .. Corner posts .. 4x4 .. Sills .. 4x6 ..

Size Girder .. Columns under girders .. Size .. Max. on centers ..

Kind and thickness of outside sheathing of exterior walls? ..

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor .. 2x6 .. 2nd .. 3rd .. roof .. 2x6 ..

On centers: 1st floor .. 16" .. 2nd .. 3rd .. roof .. 16" ..

Maximum span: 1st floor .. 8' .. 2nd .. 3rd .. roof .. 8' ..

If one story building with masonry walls, thickness of walls? .. height? ..

If a Garage

No. cars now accommodated on same lot .. , to be accommodated .. number commercial cars to be accommodated ..
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ..

APPROVED:

With Yours 10-27-58 TIR

Miscellaneous

Will work require disturbing of any tree on a public street? .. no ..
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .. Yes ..
David MacVane

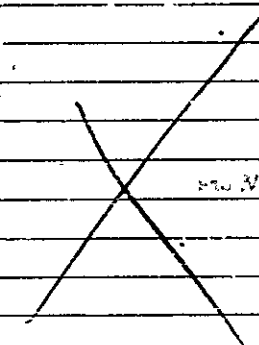
INSPECTION COPY

Signature of owner .. by: *David MacVane*

NOTES

TIMING

5/29/59 - Storage
 things will hold
 F O S.
 10/26/60 - Wally
 done - Lash's like
 prefabricated chimney
 things in
 H H



Permit No. 58 / 1534

Location: 2144th Ave. S.W. Blaine, Me.

Owner: David MacLean

Date of permit: 10/27/58

Notif. closing-in:

Inspr. closing-in:

Final Notif.:

Final Inspn.:

Cert. of Occupancy issued:

Staking Out Notice:

Form Check Notice:

THIS IS THE REVERSE SIDE OF THE PERMIT TO BUILD. THE FRONT OF THE PERMIT TO BUILD IS THE PERMIT TO BUILD. THE FRONT OF THE PERMIT TO BUILD IS THE PERMIT TO BUILD.

DATE OF PERMIT: 10/27/58

DATE OF EXPIRATION: 10/27/68

DATE OF CLOSING-IN: 10/27/58

DATE OF FINAL INSPECTION: 10/27/58

DATE OF ISSUING CERTIFICATE OF OCCUPANCY: 10/27/58

DATE OF STAKING OUT NOTICE: 10/27/58

DATE OF FORM CHECK NOTICE: 10/27/58

Inland Avenue, Cliff Island
(Assessors' 109B-P-5)

June 2, 1959

David MacVane
Island Avenue
Cliff Island, Maine

Dear Mr. MacVane:

At the time of a recent inspection of your building on Island Avenue, it was noted that you had used a "metal smokepipe" which passes through the wall or window to serve, I presume, some sort of heater.

Under Building Code requirements it is not permissible for a metal smokepipe to be used in such a manner.

It is necessary, therefore, if you wish to provide heat for this building that you vent the heater into a masonry chimney or an approved prefabricated chimney.

When you decide which you will use, an amendment to the permit already issued is necessary before any work is started.

If additional information relative to the above is desired, please phone Inspector Earle S. Smith at 4-8221, extension 234, any week day but Saturday, between 8:00 and 8:30 A.M.

Very truly yours,

Earle S. Smith
Field Inspector

ESS/jg

Memorandum from Department of Building Inspection, Portland, Maine

October 27, 1958

Island Avenue, Cliff Island
(Assessors' 109B-P-5)

David MacVaugh
Island Avenue
Cliff Island, Maine

Building permit to construct one story frame building 16x20
for storage of fishermen's gear at the above location is issued here-
with but subject to the following conditions:

--Building is to be located no more than 200' from high
water mark.

--Sidewalls of building are to be covered with some
customary weather boarding or siding not "tar paper"
or "rolled roofing".

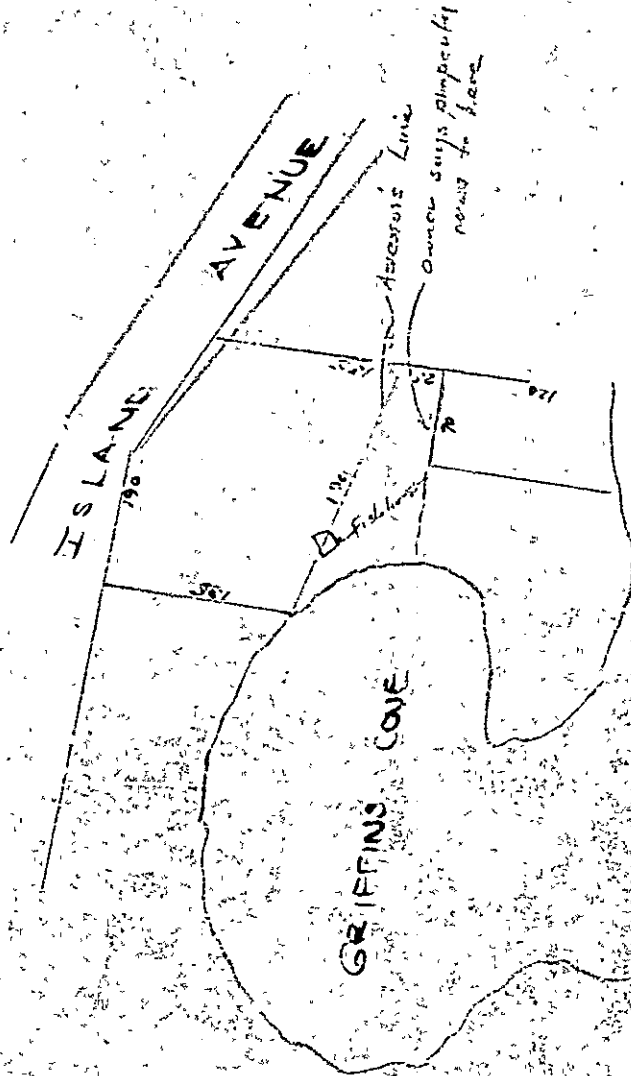
Very truly yours,

Theodore T. Rand
Deputy Inspector of Buildings

TTR/jg

109B-F.5

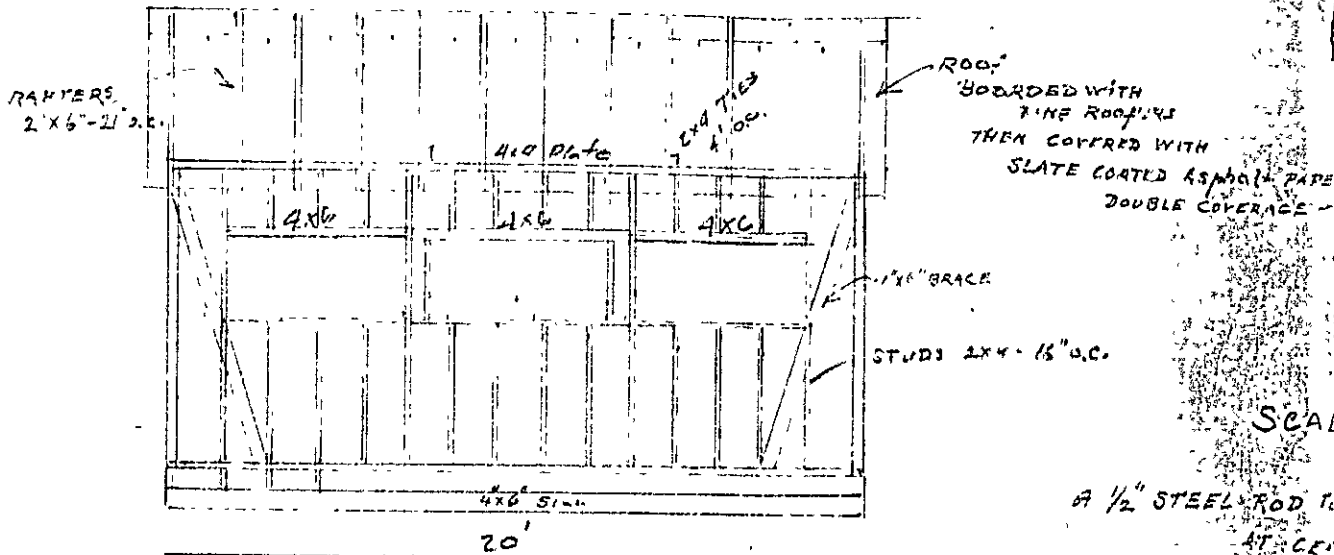
10-24-58



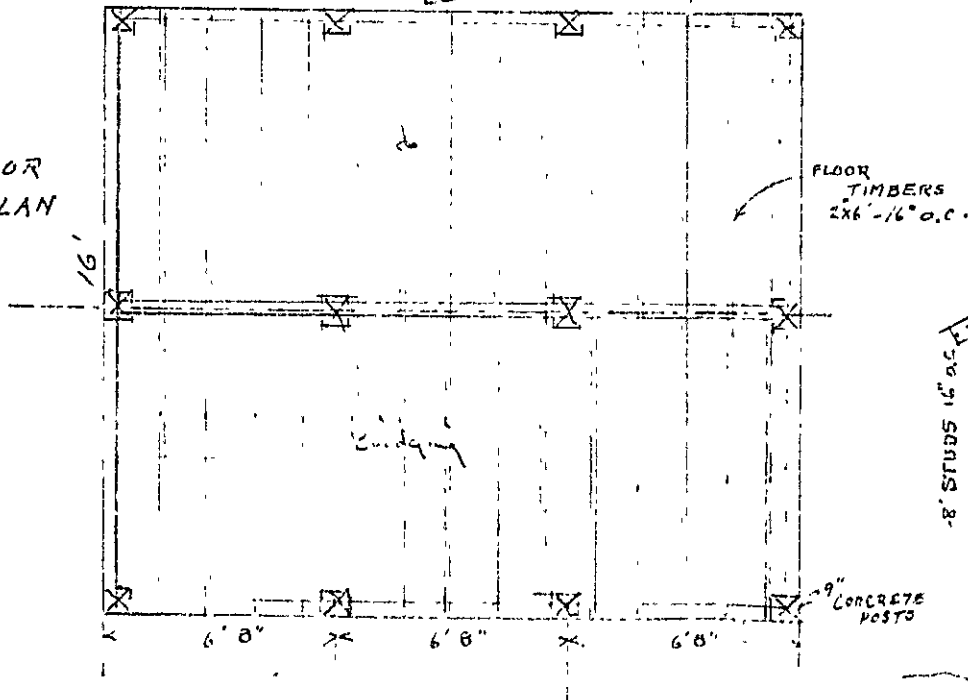
1" = 100'

RECEIVED
OCT 24 1958
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

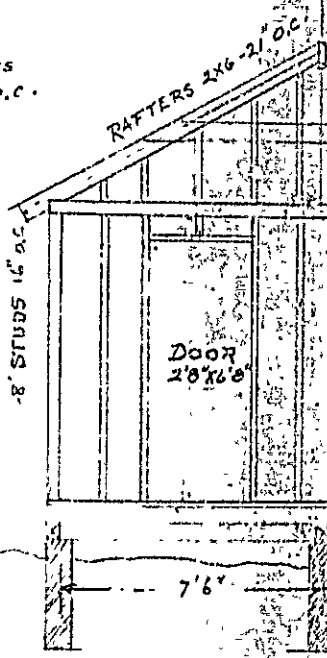
EAST SIDE ELEVATION -
WEST SIDE SAME



FLOOR PLAN



SCAR
A 1/2" STEEL ROD TO
AT CEN



NORTH END

SECTION -



Roof
 BOARDED WITH
 PINE ROOFERS
 THEN COVERED WITH
 SLATE COATED ASPHALT PAPER
 DOUBLE COVERAGE

1 1/2" BRACE
 STUDS 2x4 @ 16" O.C.

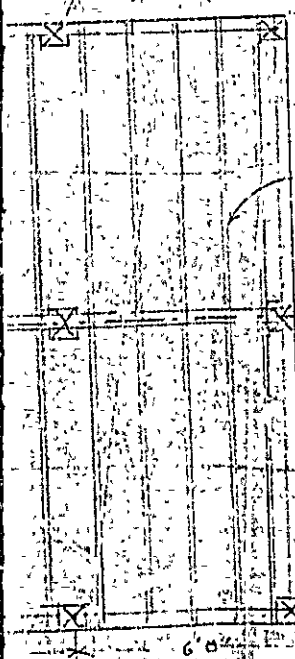
PLAN OF
 FISH HOUSE

FOR BOAT GEAR

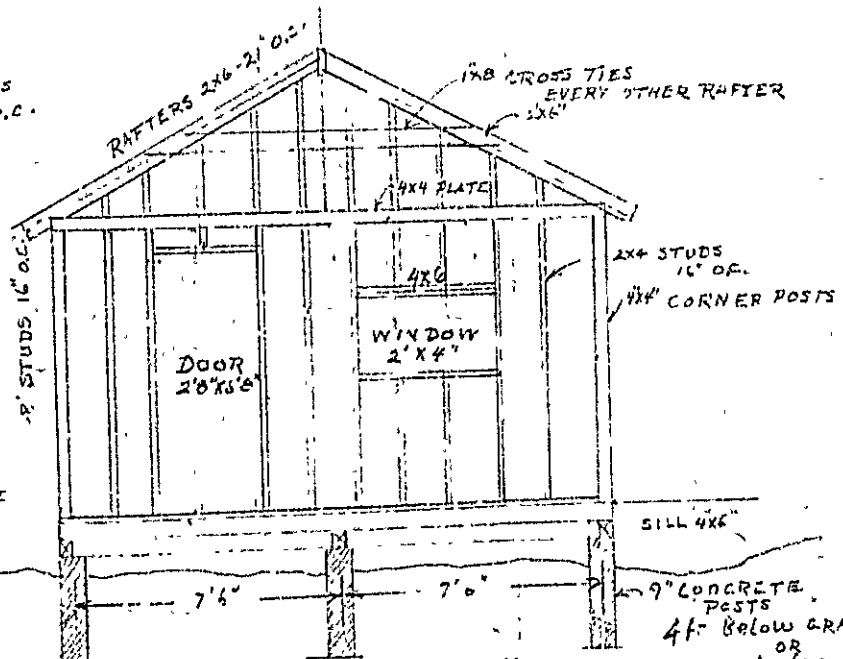
FOR
 DAVID MACVANE
 ON
 CLIFF ISLAND
 PORTLAND,
 ME.

SCALE 1/4" = 1 Foot.

A 1/2" STEEL ROD TO TIE ACROSS PLATE TO PLATE
 AT CENTER OF BUILDING -



FLOOR
 JOIST MEMBERS
 2x6 @ 16" O.C.



RAFTERS 2x6 @ 21" O.C.

1x8 CROSS TIES
 EVERY OTHER RAFTER
 1x6"

4x4 PLATE

2x4 STUDS
 16" O.C.
 4x4 CORNER POSTS

DOOR
 2'0" x 6'

WINDOW
 2' x 4'

SILL 4x4"

9" CONCRETE
 POSTS

9" CONCRETE
 POSTS
 4" BELOW GRADE
 OR
 TO LEDGE

NORTH END ELEVATION



APPLICATION FOR PERMIT PERMIT ISSUED

Class of Building or Type of Structure Third Class JUL 7 1935

Portland, Maine, August 23, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter the following building as shown in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Church Hill, Cliff Island Ward Isl. Within Fire Limit? NO Dist. No. _____
 Owner's or Lessee's name and address new Island Avenue
Rendell Pickford Cliff Island Telephone _____
 Contractor's name and address _____ Telephone _____
 Architect _____ Telephone _____
 Proposed use of building Poultry house (Pheasant) Plans filed _____ No. of sheets _____
 Other buildings on same lot Boat House No. families _____
 Estimated cost \$ _____ Fee \$ _____

Description of Present Building to be Altered

Material wood No. stories 1 Heat _____ Style of roof pitch Roofing wood
 Last use poultry house - wood shed No. families _____

General Description of New Work

To ~~move~~ add 8' x 12' from rear of church to location as shown on plan (on Hughes property) to relocate existing poultry house 8' x 12' and adjoin buildings for use as poultry house

If it is understood that this permit does not include installation of heating apparatus which is to be taken out separately by the heating contractor.

NOTIFICATION BEFORE EXTINGUISHING OR CLEANING IS WAIVED.

Details of New Work

CERTIFICATE OF OCCUPANCY REQUIREMENTS IS WAIVED

Size, front _____ depth _____ No. stories _____ Height average grade to top of _____
 To be erected on a solid or filled land? _____ earth or rock? _____
 Material of foundation flat rocks Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or Ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage
 No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

INSPECTION COPY

Signature of owner Rendell Pickford

1167C

Ward 21.1 Permit No 38/1002

Location ^{Island Creek} Grand Rock Cliff

Owner Wendell Bickford

Date of permit 7/7/35

Notif. closing-in

Inspn. closing-in 1090:5-5

Finl. Notif.

Final Inspn. 7/6/38 OK

Cert. of Occupancy issued None

NOTES

9/2/38 I believe Mr Bickford spoke to me about this work when it was done there. It was not done at the time.

9/2/37.

Hold for check
in summer '33.

note on
inspection copy.

JO.

7/7/38. inspection.
copy copy. etc.

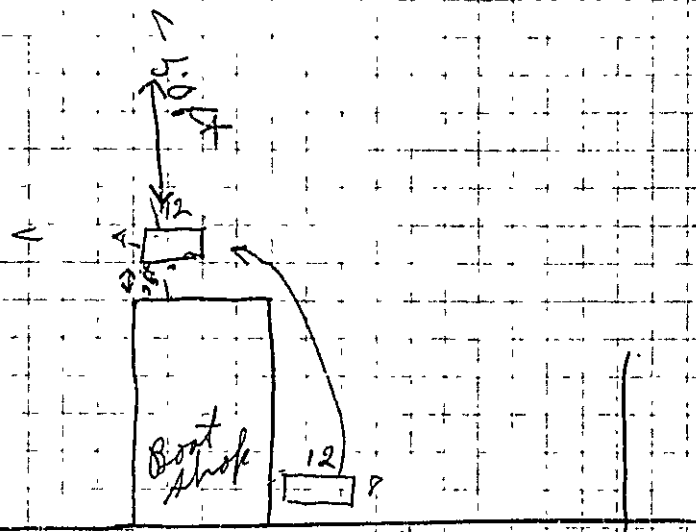
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Cliff Island—Church Road Bickford

Hold for recommendation from Mr. May
of DEP as to what is best to do.

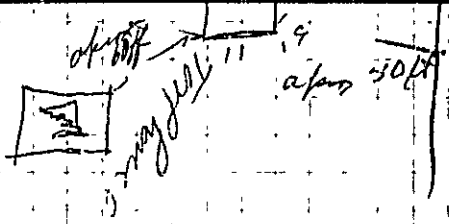
wmcd 7/15/38

RECEIVED
AUG 27 1987
DEPT. OF BLDG. ANSR.
CITY OF PORTLAND



Church road

Carhawk St.





(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT, Perm. No. _____

Class of Building or Type of Structure Third Class

Portland, Maine, August 28, 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Church Road, Cliff Island Ward 1st Within Fire Limits? no Dist. No. _____

Owner's ^{now called Island Avenue} name and address Wendell Bickford, Cliff Island Telephone _____

Contractor's name and address Owner Telephone _____

Architect _____ Plans filed yes No. of sheets 1

Proposed use of building Storage of tools (City of Portland) No. families _____

Other buildings on same lot _____

Estimated cost \$ _____ Fee \$ 2.50

Description of Present Building to be Altered

Material wood No. stories 1 Heat no Style of roof pitch Roofing Asphalt

Last use (fl-00) No. families _____

General Description of New Work

To locate building ⁹⁻¹¹ on property as shown on plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by the heating contractor. NOTIFICATION DELIVERED FOR CLOSING OF PERMIT IS WAIVED

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
Height average grade to highest point of roof _____

To be erected on solid or filled land? solid earth or rock? ledgs

Material of foundation flat rocks Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts 4x4 Sills 4x8 Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger, Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor plank, 2nd _____, 3rd _____, roof 2x4

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number of commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Wendell Bickford

INSPECTION COPY

10/60

Ward D. 1 Permit No. 34

Location Blanchard Road Cliff

On Wendall Bickford

Date of permit _____

ig-in _____

Inspn. closing-in 109B-F-5

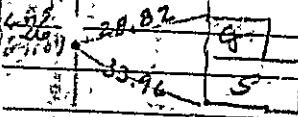
Final Notif. _____

Final Inspn. _____

Cert. of Occupancy issued _____

NOTES

9/2/27. Inside work 109B
(Per. Wendall Bickford) said
this building was on
this location when
they were down there
this spring. He thinks
the building is close to
the tract line if not
in the street. There
are street line stakes
or location or relation
to street line can be
checked on site.



#5350A-I

September 16, 1921

Mr. Wendell P. Bickford
Cliff Island
Portland, Maine

Dear Sir:

Enclosed is the building permit covering alterations in your building on Church Road, Cliff Island. This building permit is issued only upon the condition that you comply with the various specifications called to your attention in this letter which you are a part of the Building Code of the City. When you built this original building, you gave us the use as a poultry house, but you are now using it as a dwelling. In this office, it is necessary for us to have correct information with regard to the construction of a building, and also with regard to its use, and I am writing to you to emphasize the fact that you should make sure that you are complying with the law before you proceed, and furthermore that you understand the instructions contained in this letter. Otherwise, you should return the permit to the office, or make inquiry as to any points that you do not understand before proceeding.

The chimney, since it is an outside one, should be carried down to a good foundation upon ledge, or, at least four feet below the grade of the ground. The Building Code requires that a chimney of rough stone must have its walls at least twelve inches in thickness in addition to the flue lining. Where the smokepipe connects to the chimney, the chimney must be built out or corbelled so as to project through the outside wall of the building in order that the smokepipe may enter the chimney inside of the building. This is important. The chimney should extend to at least three feet above the eaves of the building, and at least six inches above any point located less than ten feet from the roof measuring horizontally.

The sills are required to be no less than 4x6 instead of 4x4 as shown on the application, and should be set with the six inches vertical. The sill should be at least eight inches above the ground, and the stone foundation should be laid in mortar and not less than sixteen inches thick. This foundation should go down to ledge, or at least four feet below the grade of the ground.

You have indicated 2x4 timbers under the floor on a four foot span apparently intending to run timber at right angles to them under the middle of the building. This timber should be no less than 4x6 set with the six inches vertical, and should be properly supported. The studs in the outside walls of the addition should be at least 2x4 spaced no more than sixteen inches from center to center, and at the top of the studs should be a double 2x4 plate upon which the rafters are to be supported. The rafters that you have shown are too small, at least 2x6 being necessary.

If this letter is not thoroughly understood, please feel free to make further

September 16, 1951

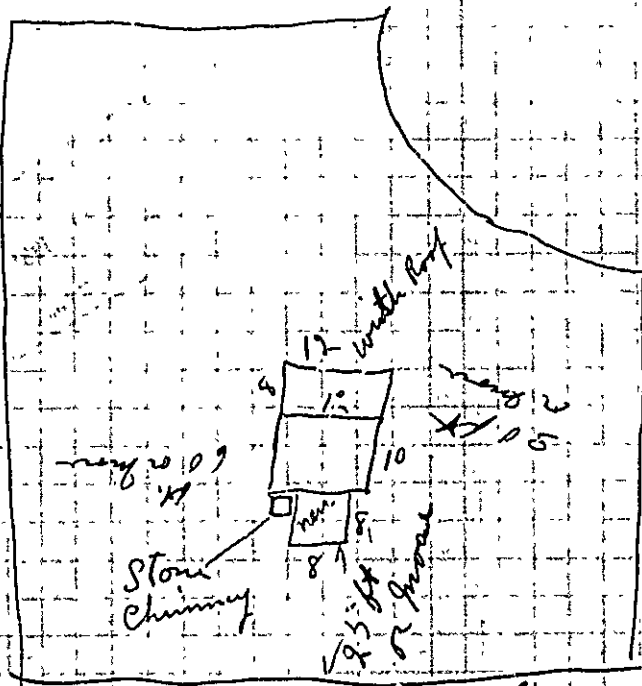
Mr. Wendell P. Bickford--2

inquiry of the undersigned. Since it is so difficult to get to Cliff Island, it is not feasible for us to make inspections as we would like to do, but we are anxious that this work may proceed strictly according to the Ordinance, and we are willing to put forth any reasonable efforts to that end.

Very truly yours,

Inspector of Buildings.

WM/HG
Enc.



Crunch Road



(B) LIMITED BUSINESS ZONE
PERMIT ISSUED
1772

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class SEP 16 1931

Portland, Maine, September 12, 1931

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the C. of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location March Road, Cliff Island Ward 1 Within Fire Limits? NO Dist. No. _____

Owner's or Lessee's name and address Wendell P. Bickford, Cliff Island Telephone _____

Contractor's name and address Owner Telephone _____

Architect's name and address _____

Proposed use of building dwelling house No. families 1

Other buildings on same lot: poultry house

Plans filed as part of this application? yes No. of sheets 1

Estimated cost \$ 30. Fee \$ 50

Description of Present Building to be Altered

Material wood No. stories 1 Heat stove kerosene Style of roof _____ Roofing _____

Last use dwelling house No. families _____

General Description of New Work

- To erect one story frame ^{addition} 8' x 8' on front of existing building
- To build one outside stone chimney
- To build one story open piazza 8' x 12'

NOTIFICATION BEFORE LATHING OR CLOSING-IN IS WAIVED.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.

It is understood that this permit does not include installation of heating apparatus which is to be taken out, separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____

To be erected on solid or filled land? solid earth or rock? ledge

Material of foundation stone Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof flat Rise per foot 5 Roof covering Asphalt roofing Glass 1/2" Und. Lath

No. of chimneys 1 Material of chimneys stone of lining tile

Kind of heat stove Type of fuel _____ Is gas fitting involved? no

Corner posts 4x4 Sills 4x4 Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-10" O. C. Girders 4x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all on one piece in cross section.

Joists and rafters: 1st floor 2x4, 2nd _____, 3rd _____, roof 2x8

On centers: 1st floor 16", 2nd _____, 3rd _____, roof 2'

Maximum span: 1st floor 4', 2nd _____, 3rd _____, roof 8'

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated: _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining are observed? yes

Signature of owner Wendell P. Bickford

INSPECTION COPY

50A

Ward 1 Permit No 311772

Location Church Rd. Cliffs

Owner Wendell P. Bishop

Date of permit 9/12/31

Notif. closing-in _____

Inspn. closing-in _____

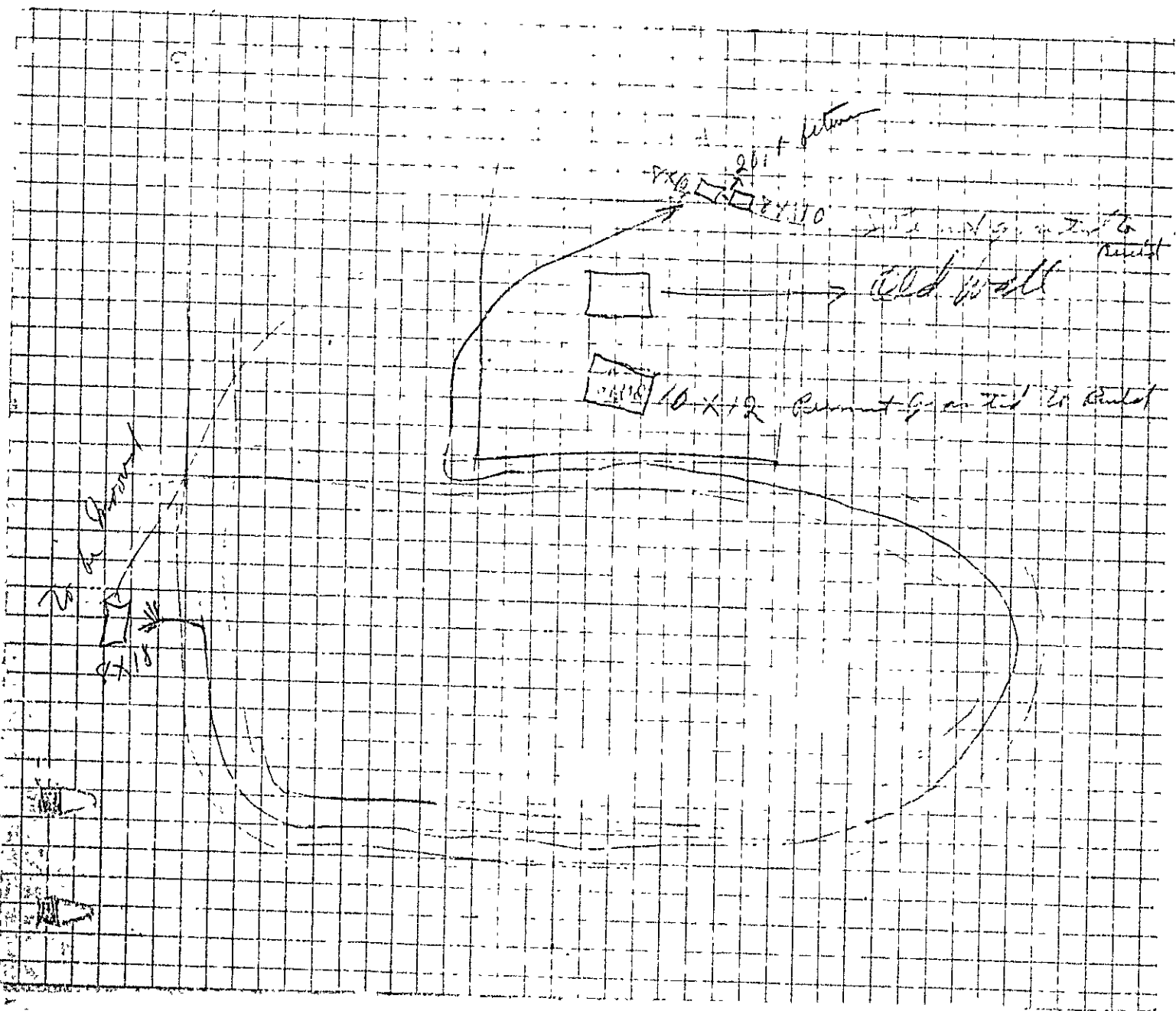
Final Notif. 109B-F-5

Final Inspn. _____

Cert. of Occupancy issued _____

8/24/31
 Work called for in
 this application not
 to be done. Original
 building is now used
 as a utility building as
 called for in permit.
 O.B.

NOTES





(2) LIMITED BUSINESS ZONE

PERMIT ISSUED
Permit No. 0440
APR 11 1931

APPLICATION FOR PERMIT

Class of Building or Type of Structure Two Class

Portland, Maine, April 11, 1931

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Ocean side of Cliff Island Ward 1 Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address Wendell P. Bickford, Cliff Island Telephone _____

Contractor's name and address Owner Telephone _____

Architect's name and address _____ Telephone _____

Proposed use of building poultry house No. families _____

Other buildings on same lot 2 poultry houses

Plans filed as part of this application? yes No. of sheets 1

Estimated cost \$ _____ Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 1 Heat _____ Style of roof? _____ Roofing _____

Last use poultry house No. families _____

General Description of New Work

To move poultry house 8' x 10' from Embart Road

NOTIFICATION BEFORE LATHING
OR CLOSING IN IS WAIVED

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus, which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation flat rocks Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sill _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____ 2nd _____ 3rd _____ roof _____

On centers: 1st floor _____ 2nd _____ 3rd _____ roof _____

Maximum span: 1st floor _____ 2nd _____ 3rd _____ roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Wendell P. Bickford

INSPECTION COPY

44607

Ward 1 Permit No. 31/440

Cliff Island

Owner Wendell T. Bickford

Date of permit 4/11/31

sing-in

Inspn. closing-in

Final Notif.

Final Inspn. 7/9/31

Cert. of Occupancy issued None

NOTES

[Large handwritten mark, possibly a signature or initials, crossing out the notes section.]



(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 0405
APR 9 1931

Class of Building or Type of Structure Third Class

Portland, Maine, April 8, 1931

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Ocean side Cliff Island Ward 1 Within Fire Limits? no Dist. No. _____
 Opp. Landing
 Owner's or Lessee's name and address Kendell P. Bickford Telephone _____
 Contractor's name and address Owner Telephone _____
 Architect's name and address _____
 Proposed use of building poultry house No. families _____
 Other buildings on same lot poultry house
 Plans filed as part of this application? no 2-4-15 No. of sheets _____
 Estimated cost \$ 100. Fee \$.50

Description of Present Building to be Altered

Material _____ No. stories _____ Height _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To erect frame poultry house 10' x 12'

NOTIFICATION BEFORE LATHING OR CLOSING-IN IS WAIVED.
CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front 12' depth 10' No. stories 1 Height average grade to top of plate _____
 Height average grade to highest point of roof 7'
 To be erected on solid or fill? and if solid earth or rock? earth
 Material of foundation cedar posts Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof pitch (Long and short) Rise per foot _____ Roof covering Asphalt roofing Class C Und. Lab.
 No. of chimneys no Material of chimneys _____ of lining _____
 Kind of heat no Type of fuel _____ Is gas fitting involved? _____
 Corner posts 2-2x4 Sills 4x4 Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. (roof 12')
 Joists and rafters: 1st floor 2x4, 2nd _____, 3rd _____, roof 2x4
 On centers: 1st floor 2', 2nd _____, 3rd _____, roof 2'
 Maximum span: 1st floor 5', 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Kendell P. Bickford

4416A

Ward 1 Permit No. 31/405
 Location ^{Island side} Ocean side Cliff Island
 Owner Wendell P. Richford
 Date of permit 4/9/31
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued

See 7/404
 NOTES
 7/9/31
 Not started
 8/24/32 Mr. Richford
 said: not to be built
 O.B.

FOUNDATION OF NEW MOOR

OFFICE OF THE ASSESSOR

1931

1932

1933

1934

1935

1936

1937

1938

1939

1940

1941

1942

1943

1944

1945

1946

1947

1948

1949

1950

1951

1952

1953

1954

1955

1956

1957

1958

1959

1960

1961

1962

1963

1964

1965

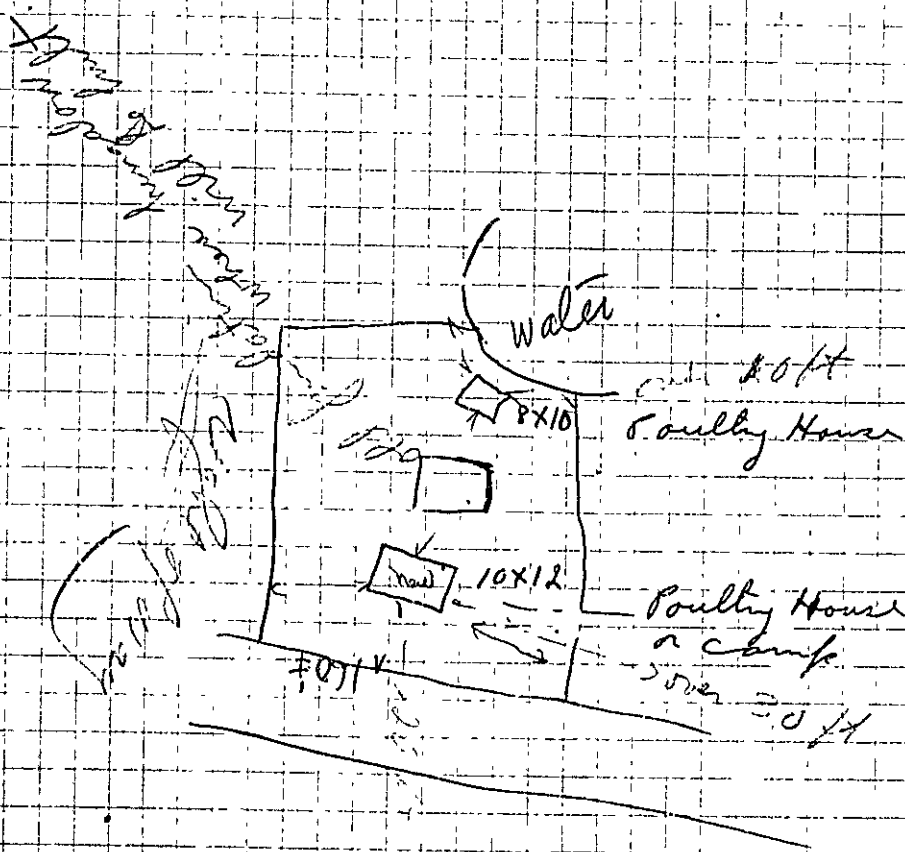
1966

1967

1968

1969

1970





(B) LIMITED BUSINESS ZONE

PERMIT ISSUED

Permit No. 0404
APR 8 1931

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, April 8, 1931

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Ocean side Cliff Island Ward 1 Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address Opp Ldg. Wendell P. Rickford, Cliff Island Box 73 Telephone _____

Contractor's name and address Owner Telephone _____

Architect's name and address _____

Proposed use of building poultry house No. families _____

Other buildings on same lot _____

Plans filed as part of this application? yes No. of sheets 1

Estimated cost \$ 60. Fee \$.50

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To erect frame poultry house 8' x 10'

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED.
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____
Size, front 10' depth 8' No. stories 1 Height average grade to highest point of roof 6'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation cedar posts Th'kness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof pitch (long and short) Rise per foot _____ Roof covering Asphalt roofing Class C Urd. Lab.

No. of chimneys no Material of chimneys _____ of lining _____

Kind of heat no Type of fuel _____ Is gas fitting involved? _____

Corner posts 2-2x4 Sills 4x4 Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x4, 2nd _____, 3rd _____, roof 2x4

On centers: 1st floor 2', 2nd _____, 3rd _____, roof 2'

Maximum span: 1st floor 8', 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Wendell P. Rickford

4415A

Permit No. 71/464
 Owner Herold P. Bickford
 Date of permit 4/9/31
 Nottf. closing-in _____
 Inspn. closing-in _____
 Final Notif. _____
 Final Inspn. 7/4/31 O.B.
 Cert. of Occupancy issued _____

NOTES:
*This is being occupied
 as a camp, if occupied in
 in cold weather will
 apply for permit for
 birds during*

~~DEPARTMENT OF THE INTERIOR
 BUREAU OF LAND MANAGEMENT
 WASHINGTON, D. C.~~

General Description of Work Done

Work done on _____

Location _____

Area _____

Remarks _____

Inspector _____

Date _____

Permit No. _____

Owner _____

Work done on _____

Location _____

Area _____

Remarks _____

Inspector _____

Date _____

Permit No. _____

Owner _____