

Permit # 912898 912898 BUILDING PERMIT APPLICATION Fee _____ Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: City of Portland Phone # _____
 Address: 594 Congress St; Bldg. 15 74101
 LOCATION OF CONSTRUCTION _____
 Contractor: Volunteer Fireman Sub.
 Address: 12117 1st Phone # _____
 Est. Construction Cost: _____ Proposed Use: fire station
 Past Use: vacant lot
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions: L _____ W _____ Total Sq. Ft. _____
 # Stories _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion: Construct fire station

PERMIT ISSUED
 Date: 7-24-91 For Official Use Only
 Subdivision: _____
 No. _____
 Date: 7-17-91
 City of Portland
 Zoning: _____
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain): WPA 8-5-91

Contact Person: Capt Don Jackson 974-1114

Foundations:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floors:
 1. Sills Size: _____ Sills must be anchored
 2. Girder Size: _____
 3. Lally Column Spacing _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

HISTORIC PRESERVATION
 Ceiling:
 1. Ceiling Joists Size: _____ Spacing _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____
 Roof:
 1. Truss or Rafter Size _____ Span _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
 Chimneys:
 Type: _____ Number of Fire Places _____
 Heating:
 Type of Heat: _____
 Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____
 Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____
 Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By: _____
 Signature of Applicant: [Signature] Date: 6-17-90
 Signature of City: [Signature] Date: 6-17-90
 Inspection Dates: _____

White-Tax Assessor Yellow-GPCOG White Tag - GEO Copyright GPCOG 1988

N



PLOT PLAN

FEES (Breakdown From Front)

Base Fee \$ waived
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Inspection Record

Type	Date
<u>0/2</u>	<u>6/28/94</u>
_____	_____
_____	_____
_____	_____
_____	_____

COMMENTS

[Handwritten signature]

Signature of Applicant CAP. D. Jackson Date _____



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207)874-8300

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

August 6, 1991

Captain D. Jackson
380 Congress Street
Portland, ME 04101

Re: Lot #54 Island Avenue, Cliff Island

Dear Sir:

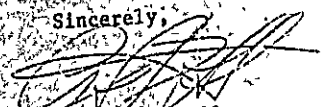
Your application to construct a fire station has been reviewed and a permit is herewith issued subject to the following requirements:

No certificate of occupancy can be issued until all requirements of this letter are met.

1. Exit shall be marked in accordance with Section 5-10 of the N.F.P.A. 101 Life Safety Code.
2. Emergency lighting shall be provided in accordance with Section 5-9.
3. Furnace room shall be separated from the rest of the occupancy by construction having a fire resistance rating of at least 1 hr. and any openings therein protected by 3/4 hr. self-closing fire doors. The requirements of N.F.P.A. 88A Parking Structures must also be met in regards to heating equipment type, location, and protection.
4. It is recommended that the exit door swing outward in the direction of exit travel.
5. All Site Plan and Planning Board requirements shall be met.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

cc: Lt. Wallace Garroway, Portland Fire Department

/kb

June 18, 1990

Captain Don Jackson
City of Portland Fire Department
Portland, ME 04101

RE: Cliff Island Fire Station

Dear Captain Jackson:

On June 12, 1990, the Portland Planning Board voted 5-0 (site plan) and 5-0 (conditional use) to approve the site plan and conditional use for the fire station on Cliff Island located at Assessors Lot 54.

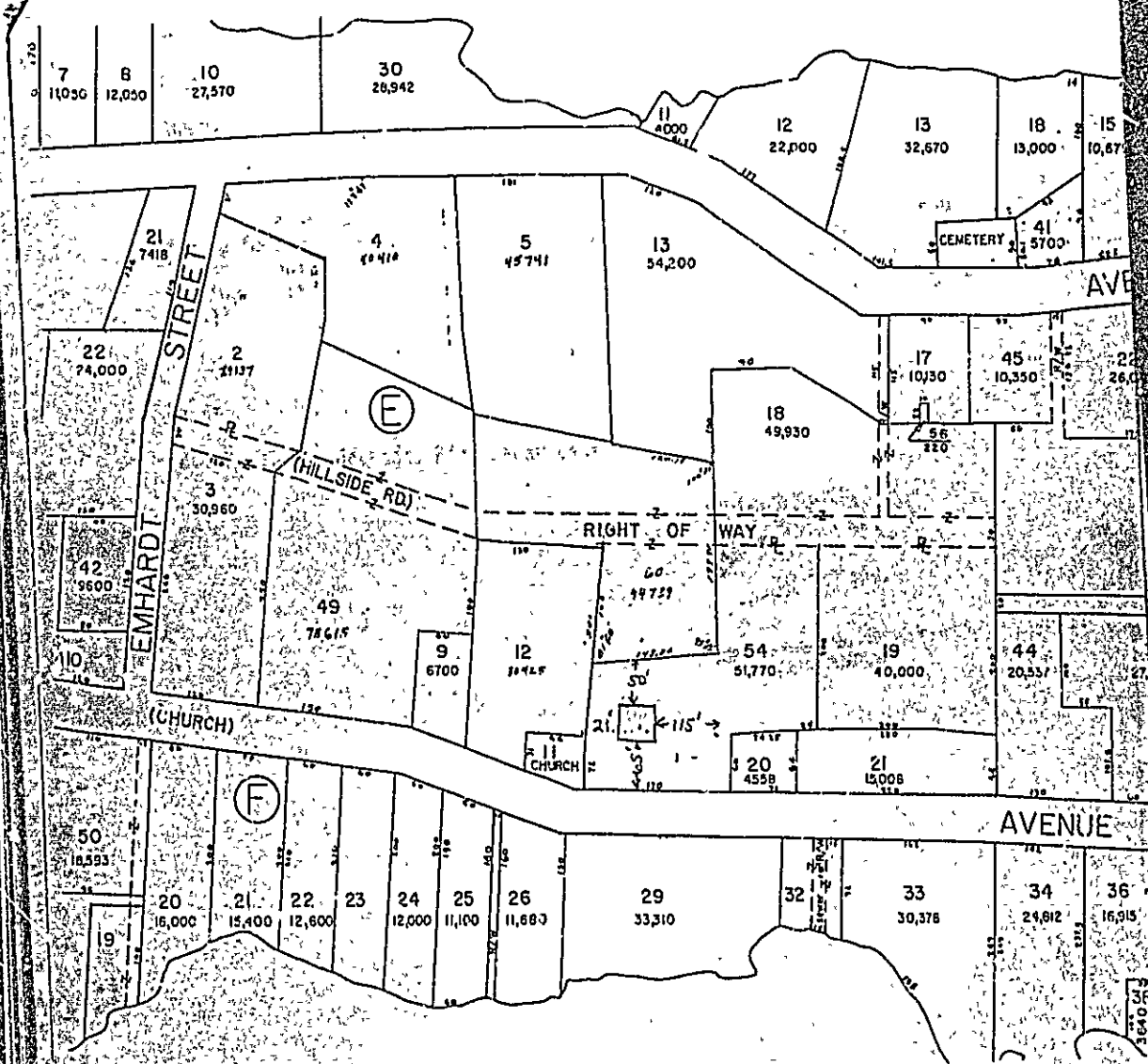
The approval is based on the submitted site plan and the findings related to conditional use and site plan review standards as contained in Planning Report #27-90, which is attached. A performance guarantee covering the site improvements is normally required except that in the case of a public project, this requirement may be substituted by a letter from the City Manager indicating that funding for the site improvements for the approved plan have been authorized and approved. Six (6) final sets of plans must be submitted to the Planning Department prior to the issuance of a building permit. If you need to make any modifications to the approved site plan, you must submit a reviewed site plan for staff review and approval. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.

If there are any questions, please contact the Planning Staff.

Sincerely,

Barbara A. Vestal, Chair
Portland Planning Board

cc: Joseph E. Gray, Jr. Director of Planning & Urban Development
Alexander Jaegerman, Chief Planner
Richard Henry, Planner
P. Samuel Hoffses, Chief of Building Inspections
William Giroux, Zoning Code Enforcement Officer
George Flaherty, Director of Parks & Public Works
Bruce Kingrose, City Engineer
Stephen Harris, Planning Engineer
William Gray, City Traffic Engineer
Jeff Talling, City Arborist
Natalie Burns, Associate Corporation Counsel
Lt. Wallace Garroway, Fire Prevention
Paul Niehoff, Materials Engineer
Approval Letter File



DEPT. OF BUILDING INSPECTION
 JUN 17 1991
RECEIVED

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Bill Giroux, Inspection Services
FROM: Mark Green, Deputy City Manager
SUBJECT: Building Fees for New Cliff Island Fire Station

DATE: 3/27/90

* * *

Please accept this memo as authorization to waive all building and zoning fees and permits for the construction of a fire station on Cliff Island. Captain Don Jackson of the Fire Department will be the person working on this project. If you need additional information, please give me a call.

* * *

MG/ps

cc: Capt. Don Jackson, Fire Department

RECEIVED

JUN 17 1991

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND

MEMO

To: Mark Green

From: Capt. Don Jackson

Subject: Building Fees for new Cliff Is. station

In discussion with Mr. William Giroux from Planning and Urban Development, it was suggested that all fees for building permits and zoning board of appeals could be waived if requested by Mr. Ganley or yourself.

I am not completely familiar with the process concerning the construction of City owned buildings and building fees. If possible; I would greatly appreciate your help in this matter.

The plans are being drawn for the new Cliff Island station at this time. I went to Cliff Island on Sunday March 25, to get input from the call-men concerning design. I will call you when the plans are ready to schedule a meeting on Cliff Island with the citizens.

Thanks;

Don Jackson

RECEIVED

JUN 17 1991

DEPT OF BUILDING
CITY OF PUEBLO, CO.

CITY OF PORTLAND MAINE

309 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 874-8300



DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

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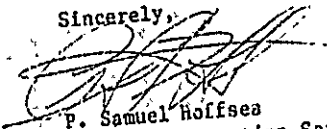
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Chief of Inspection Services

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