

- ISLAND AVENUE
109B-C-9

CLIFF ISLAND -

CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. 1360
Issued May 21 1974

Portland, Maine

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out — Minimum Fee, \$1.00)

109B-C9
14

Owner's Name and Address Edward Randall Tel.
Contractor's Name and Address Robert & Mae Vane Tel. 766-2687
Location Chaff Island Use of Building Dwelling
Number of Families 1 Apartments 1 Stores 0 Number of Stories 1
Description of Wiring: New Work ✓ Additions ✓ Alterations ✓
Chaff Island 200 ft. x 100 ft.
Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet) 200
No. Light Outlets 2 Plugs 2 Light Circuits Plug Circuits 1
FIXTURES: No. Fluor. or Strip Lighting (No. feet) 200
SERVICE: Pipe Cable Underground No. of Wires Size
METERS: Relocated Added Total No. Meters
MOTORS: Number Phase H. P. Amps Volts Starter
HEATING UNITS: Domestic (Oil) No. Motors Phase H.P.
Commercial (Oil) No. Motors Phase H.P.
Electric Heat (No. of Rooms)
APPLIANCES: No. Ranges Watts 1250 Brand Feeds (Size and No.)
Elec. Heaters Water Watts 4500
Miscellaneous Watts Extra Cabinets or Panels
Transformers Air Conditioners (No. Units) Signs (No. Units) will call
Will commence 19 Ready to cover in 19 Inspection 19
Amount of Fee \$

Signed Robert & Mae Vane

DO NOT WRITE BELOW THIS LINE

SERVICE ..	METER ..	GROUND ..
VISITS: 1 .. 2 .. 3 .. 4 .. 5 .. 6 ..		
7 .. 8 .. 9 .. 10 .. 11 .. 12 ..		

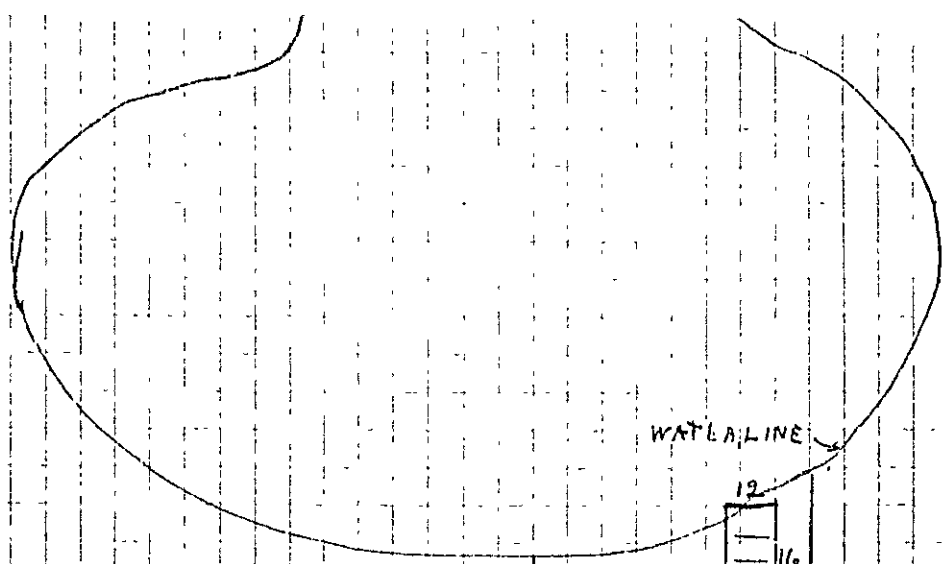
REMARKS:

DONE

INSPECTED BY

Herbert
(OVER)

1990-11-19



WATER LINE

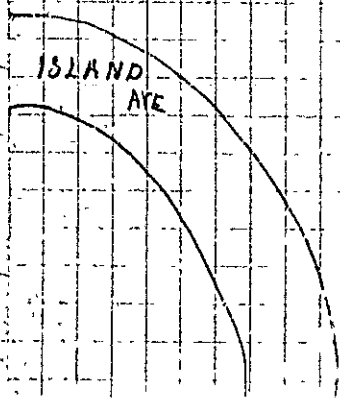
40 FT



Griffin

MACYANE

RECEIVED
NOV 14 1945
DEPT. OF BUDG. INQ.
CITY OF BOSTON, MASS.



ISLAND AVE

4x6-6' x 12' = 2336
6x6x30 = 1080
6x8x5 = 240
3x6x45 = 810

4310

HOUSE



APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 1826

Class of Building or Type of Structure Third Class

Portland, Maine, November 14, 1945
NOV 15 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ ^{erect} the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: Permit issued with Memo

Location Island Ave., Cliff Island Within Fire Limits? no Dist. No.
Owner's or Lessee's name and address Earle R. MacVane, Cliff Island Telephone
Contractor's name and address CORNER Telephone
Architect Plans filed. Yes No. of sheets 1
Proposed use of building fish house No. families
Other buildings on same lot Dwelling
Estimated cost \$ 400. Fee \$ 1.00

Description of Present Building to be Altered

Memorandum from Department of Building Inspection, Portland, Maine

Island Avenue, Cliff Island—Construction of one story frame shed for fisherman's use (less than 200' from mean high water) for and by Earle R. MacVane—11/15/45

To Owners:

Concrete piers are required to be no less than 9 inches square or in diameter at the surface of the ground and no less than 10 inches square or in diameter at the bottom of the pier, piers to extend at least four feet below the finished surface of the ground where they are or to ledge if ledge is encountered at a less depth. Probably you have ledge rock at this location. It would be well to make sure that the piers have a flat "seat" on the ledge. Presumably the piers are to be spaced six feet from center to center under the center 4x6 under floor as well as under the sills.

(Signed) Warren McDonald
Inspector of Buildings

Details of New Work

Is any plumbing work involved in this work? no
Is any electrical work involved in this work? no Height average grade to top of plate 8'
Size, front 12' depth 16' No. stories 1 Height average grade to highest point of roof 11'
To be erected on solid or filled land? solid earth or rock? earth
at least 4' below grade or to ledge
Material of foundation concrete piers Thickness, top bottom cellar
6" OC
Material of underpinning Height Thickness
Kind of roof pitch Rise per foot 6" Roof covering asphalt roofing Class C Und. Lab.
No. of chimneys none Material of chimneys of lining
Kind of heat none Type of fuel Is gas fitting involved?
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 4x4 Sills 4x6 Girt or ledger board Size
Material columns under girders Size Max. on centers
Strds (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor 2x6, 2nd , 3rd , roof 2x6
On centers: 1st floor 16", 2nd , 3rd , roof 16"
Maximum span: 1st floor 6', 2nd , 3rd , roof
If one story building with masonry walls, thickness 4x6 thru center walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated
Total number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

ORIGINAL

Signature of owner

Earle R. MacVane

Permit No. 45/1837 COMPLETED

Location Island Ave Cliff Island

Owner Earle R. Mac Vane

Date of permit 11/15/45

Notif. closing-in

Inspn. closing-in

Final Notif.

109B-C 9

Final Inspn.

Cert. of Occupancy issued

NOTES

STC/INOM/LEB/BI/BE/MI

Location

Cliff Island

Permit

✓

Date 4/12/45

Inquiry

No to go

Complaint

information a

Well: - to the location of the location

lot lines every 100 ft
in it, owner not being
sure where they are lo-
cated and lot being
adjoining a public
right of way which
was discontinued in
1938. Sketch as I have
shown, it was John
Marks of Cassiers
office thinks it proba-
bly is from transcripts
of deeds, but these are
very indefinite and
it is all tied up with
legal questions as to who
became owner of public
right of way where it
was discontinued. So
I understand the case
in the woods and there
is no indication of
the old road of course,
the ground, etc.

AP Cliff Island

ATH
RMT
EH
AJS
BS

April 13, 1943

Mr. Earle R. MacVane
Cliff Island
Maue

Dear Sir:

In your application for a building permit to cover construction of a one-story addition about 8 feet by 15 feet to your dwelling on Cliff Island, you have stated that the underpinning of the addition would be of wooden frame construction.

I am not allowed to issue a permit which includes an underpinning of wood since Section 306-c-4 of the Building Code provides that when a building of wooden frame construction is supported by foundation consisting of masonry walls, the part of the outside wall between the finished ground level adjacent to the wall and the under side of the sill shall be of masonry at least 8 inches thick.

Even though your present dwelling has a similar underpinning, I still would not be able to issue a permit for the underpinning of the addition to be of wood.

You would be permitted to use either a brick underpinning or a concrete block underpinning no less than 8 inches thick. If that is what you will plan to do, please write me a letter stating just what material you will use for the underpinning and how thick it will be, upon the receipt of which I will be able to issue the building permit.

If you are unwilling to provide the masonry underpinning, the work on the basis for which you have applied for the permit cannot go ahead, and if you will return the receipt for the fee paid to the office not later than April 27, 1945, your money will be refunded by voucher.

In event that you are willing to provide the masonry underpinning and will write to me telling me so, the building permit will be issued, but I should think you would hesitate to build any addition until you are sure where your property lines are. As I understand it Island Avenue along your frontage has been discontinued as a public street, but presumably you must have some kind of a legal right of way to reach your house. It appears that you are unable to tell where your original property lines are and where the lines are of the property which you have purchased. If the building permit is issued, it will give you no right to go closer to the property lines than the Zoning Ordinance and the Building Code allow, these required distances to your property lines being 5 feet to a side property line and 12 feet to a rear line. I should think that that you would exhaust every effort in trying to find out just where the limits are of the property you own.

Very truly yours,

Inspector of Buildings

WMCD/L

CLIFF ISLAND

RECENT
PURCHASES

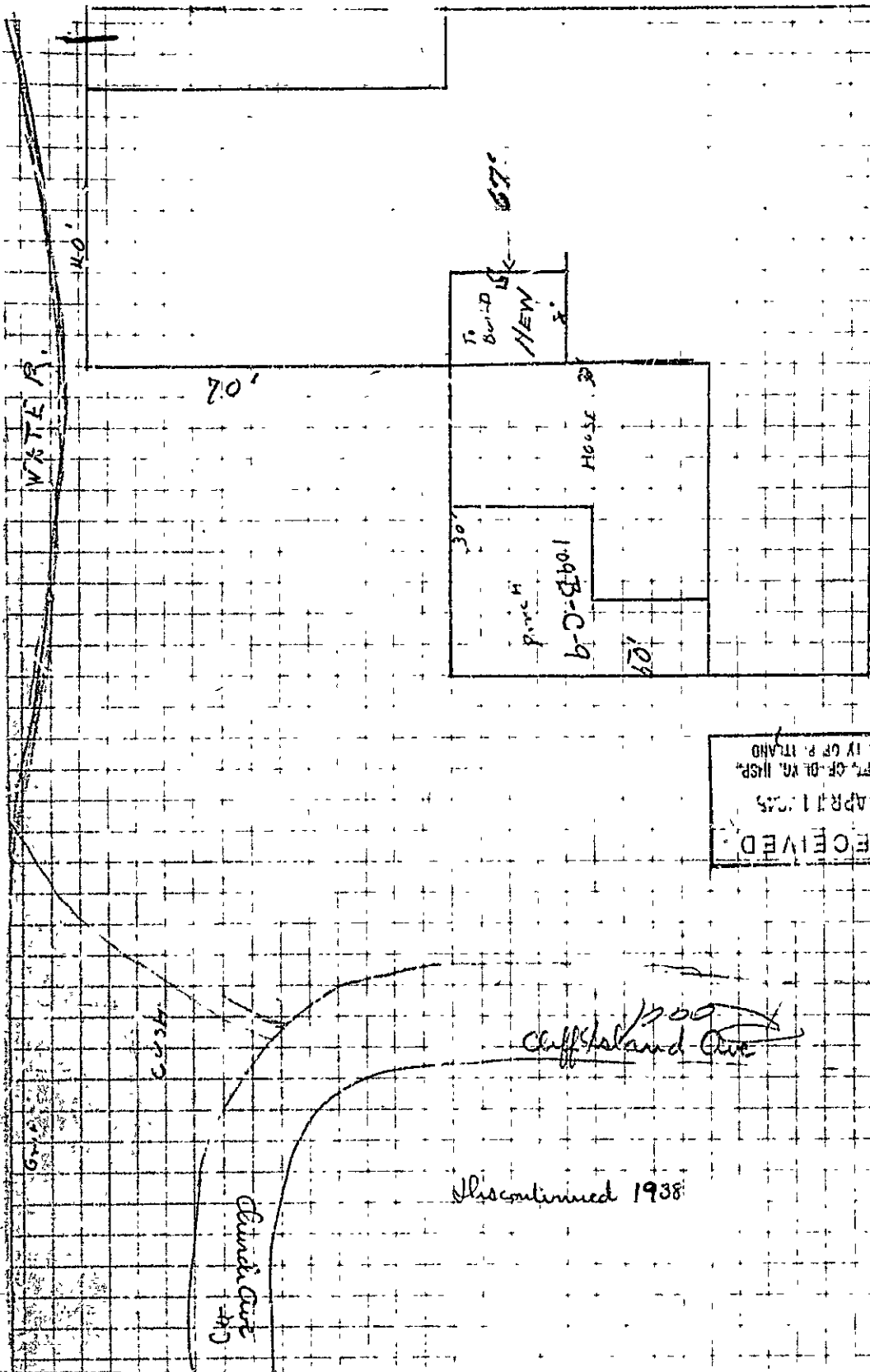
ORIGINAL LOT - Assessor Lot # 104B-C-9
ON WHICH COTTAGE
IS LOCATED

THIS PART OF
ISLAND AVE. DISCONTINUED BY MUNICIPAL OFFICERS
1938

WATER

To Water

Island Avenue



RECEIVED
APR 11 1945
DEPT. OF DEFENSE
NAVY OFFICE

104B-C-9

Cliff Island Cove

Discontinued 1938

Cliff Island Cove

WATER



(B) LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure dwelling

Portland, Maine, April 11, 1945

APR 21 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter, repair, the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Cliff Island, Maine

Within Fire Limits? no

Dist. No. 1

Owner's or Lessee's name and address Earle P. MacVane, Cliff Island

Telephone 2

Contractor's name and address Owner

Telephone 2

Architect

Plan No. 6

No. of sheets 1

Proposed use of building dwelling

No. families 1

Other buildings on same lot

Estimated cost \$ 500

Fee \$ 1.00

Description of Present Building to be Altered

Material frame wood

No. stories 2

Height 15

Style of roof gambrel

Roofing asphalt roofing

Last used dwelling

No. families 1

General Description of New Work

to build 8'x15' one story addition in rear of dwelling, 2'6" door connecting

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes

Is any electrical work involved in this work? yes

Height average grade to top of plate 15

Size, front 8 depth 15

No. stories 1

Height average grade to highest point of roof 16

To be erected on solid or filled land? solid

earth or rock? rock

Material of foundations concrete

Thickness, top 10 bottom 12

Material of underpinning none

Height 2

Kind of roof pitch

Roofing asphalt roofing

No. of chimneys none

Material of chimneys none

Kind of heat stove

Type of fuel oil

Framing lumber—Kind 2x4

Is gas fitting involved? no

Corner posts yes

Sills yes

Material columns under girders none

Size 2x4

Studs (outside walls and carrying partitions) 2x4

O. C. Girders 6x8

Sill and corner posts all one piece in cross section yes

Bridging yes

1st floor 2x6

2nd floor 2x6

On 1st floor

1st floor 16

2nd floor 16

Maximum span 16

1st floor 16

2nd floor 16

1st floor 16

2nd floor 16

1st floor 16

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1st floor 16

2nd floor 16

If a Garage

No. cars now accommodated on same lot 1

to be accommodated 1

Total number commercial cars to be accommodated 1

to be accommodated 1

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Will above work require removal or disturbing of any shade tree on the lot? no

Will above work require removal or disturbing of any shade tree on the lot? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Earle P. MacVane

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Signature of owner Earle P. MacVane

Signature of owner Earle P. MacVane

~~P. "SING" CHEN ARREST COMPLETED~~

Station Church Rd, Effingham

Owner: L. R. Vane

Date of permit 4/24/45

Notif. clos. gain

100

Finalion: 09/06/9

Final Insp.

Cert. of Occupancy issued

NOTES