

ISLAND AVENUE:
109B-C-7-8

CLIFF ISLAND



APPLICATION FOR PERMIT

PERMIT ISSUED

OCT 16 1979

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 000920

ZONING LOCATION PORTLAND, MAINE, Oct. 15, 1979

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 109-B-7, Island Ave., Cliff Island Fire District #1 #2

1. Owner's name and address R. K. Barje - same Telephone .. 766-2827

2. Lessee's name and address Telephone

3. Contractor's name and address Thomas Max Wright - Cliff Island Telephone .. 766-2625

4. Architect Specifications Plans 04019 No. of sheets

Proposed use of building .. dwelling - year round with alterations No. families .. 1

Last use same No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 2,000 Fee \$.. 10.00

FIELD INSPECTOR—Mr.

GENERAL DESCRIPTION

This application is for: @ 775-5451

Dwelling Ext. 234

Garage

Masonry Bldg.

Metal Bldg.

Alterations

Demolitions

Change of Use

Other

To enclose sun porch, to install window 6 ft. 2x double header also to add door on west end of dwelling double 2 x 6 headers over door as per plans, 1 sheet of plans.

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

ZONING:

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

Will work require disturbing of any tree on a public street?

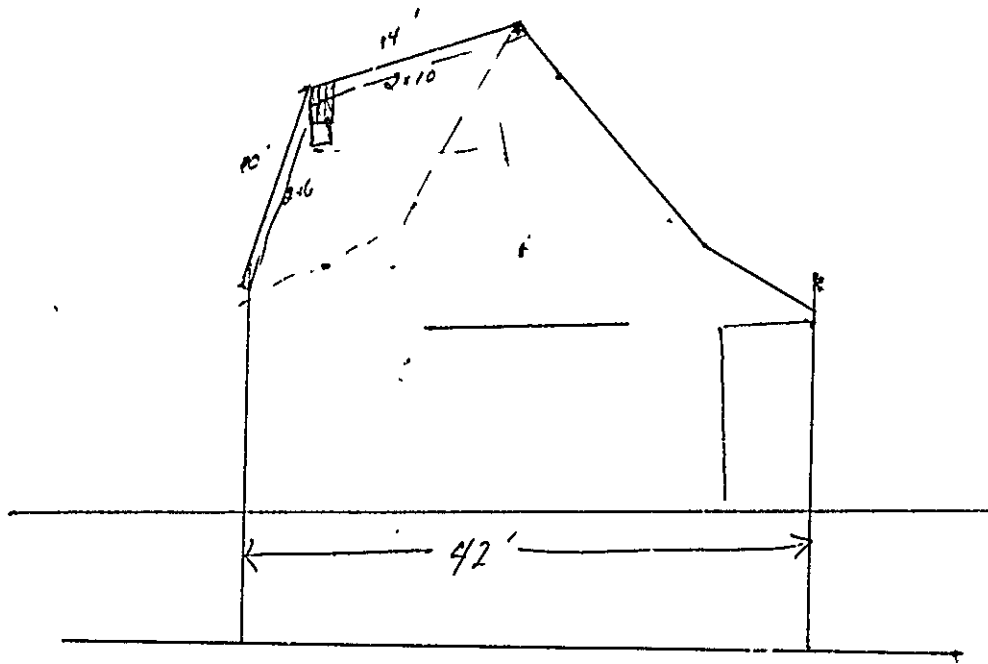
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Thomas Max Wright Phone # same

Type Name of above Thomas Wright 1 2 3 4

Other and Address

OFFICE FILE COPY



PROPOSAL: TO RAISE THE SOUTHERN
HALF OF A 26' x 42' GABLE ROOFED
FRAME HOUSE IN ORDER TO PROVIDE
TWO ADDITIONAL SECOND FLOOR ROOMS.

METHOD: THE METHOD WILL BE TO
CHANGE THE SOUTHERN PORTION OF
THE ROOF TO A GAMBREL STYLED ROOF.
THE OLD RIDGE ^{BEAMS} WILL BE REPLACED BY
A 2 x 8 AND THE NEW RAFTERS WILL BE
2 x 8s ON 16" CENTERS, CROSSING A 14' (SLOPED 4" IN 12')
SPAN. THE GAMBREL RIDGE WILL BE
SUPPORTED BY A TRIPLE 2 x 8, THE
LARGEST SPAN IT WILL CROSS BETWEEN
PARTITIONS BEING 10'. THE 60° PORTION
OF THE GAMBREL WILL SPAN 10' AND
BE CONSTRUCTED OF 2 x 6s 16" ON CENTER.
THE RIDGE OF THE GAMBREL WILL ALSO BE
BLOCKED. THE ROOF WILL BE SHEATHED
WITH 3/4" PINE ROOFERS, 15 LB FELT &
ASPHALT SHINGLES. 2" x 6" COLLAR BEAMS WILL
BE USED AS CEILING JOISTS.

OWNER & LOCATION: ROGER K. BERLE,
PLOT # 8 ISLAND AVE, CLIFF ISLAND, 04019
109B-A-7-8

BUILDER: THOMAS B. WRIGHT, SUNSET AVE
CLIFF ISLAND 04019.



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

0311

MAY 1 1978

ZONING LOCATION _____ PORTLAND, MAINE, April 28, 1978

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 109-B-C-7 & 8 Island Ave., Peaks Island, Maine Fire District #1 #2

1. Owner's name and address Roger K. Berle - same Telephone 766-2827

2. Lessee's name and address _____ Telephone _____

3. Contractor's name and address Thomas Wright - Cliff Island 04109 Telephone 766-2625

4. Architect _____ Specifications _____ Plans _____ No. of sheets _____

Proposed use of building dwelling _____ No. families 1

Last use same _____ No. families _____

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated contractual cost \$3,500 Fee \$ 16.00

FIELD INSPECTOR—Mr.

GENERAL DESCRIPTION

This application is for: @ 775-5451

Dwelling Ext. 234

Garage _____

Masonry Bldg. _____

Metal Bldg. _____

Alterations _____

Demolitions _____

Change of Use _____

Other _____

To change roof line from gable to gambrel

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other: _____

DETAILS OF NEW WORK

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof 25 ft.

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof gambrel Rise per foot 4/12 Roof covering asphalt

No. of chimneys 1 Material of chimneys brick of lining _____ Kind of heat _____ fuel _____

Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

IF A GARAGE

No. cars now accommodated on same lot . . . to be accommodated . . . number commercial cars to be accommodated . . .

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? . . .

APPROVALS BY: _____ DATE _____

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER _____

Will work require disturbing of any tree on a public street? . . .

ZONING: _____

BUILDING CODE: O.S.: 2.1: 5/1/78

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? . . .

Fire Dept.: _____

Health Dept.: _____

Others: _____

Signature of Applicant Thomas B. Wright

Type Name of above Thomas Wright

Phone # same

1 2 3 4

FIELD INSPECTOR'S COPY

Other _____ and Address _____

NOTES

8/30/98 - Wal. loc

[Handwritten signature]

~~*[Large handwritten X mark]*~~

Permit No. 98/0311
Location 19-13-C-288
Owner *[Handwritten name]*
Date of permit 11-28-98
Approved 5-1-98

[Handwritten initials]



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date 7-28, 19 78
 Receipt and Permi. number A12770

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine.

The undersigned hereby applies for a permit to make electrical installation in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 109-B-C-7 & 8 Island Ave., Cliff Island

OWNER'S NAME: Roger Berle ADDRESS: same

OUTLETS: (number of)

Lights	_____	
Receptacles	_____	
Switches	_____	
Plugmold	_____ (number of feet)	
TOTAL	_____	FEES

FIXTURES: (number of)

Incandescent	_____	
Fluorescent	_____ (Do not include strip fluorescent)	
TOTAL	_____	
Strip Fluorescent, in feet	_____	

SERVICES:

Permanent, total amperes <u>200</u>	_____	3.00
Temporary	_____	

METERS: (number of) 1

Fractional	_____	
1 HP or over	_____	

RESIDENTIAL HEATING:

Oil or Gas (number of units)	_____	
Electric (number of rooms) <u>3</u>	_____	3.00

COMMERCIAL OR INDUSTRIAL HEATING:

Oil or Gas (by a main boiler)	_____	
Oil or Gas (by separate units)	_____	
Electric (total number of kws)	_____	

APPLIANCES: (number of)

Ranges	_____	Water Heaters	_____
Cook Tops	_____	Disposals	_____
Wall Ovens	_____	Dishwashers	_____
Dryers	_____	Compactors	_____
Fans	_____	Others (denote)	_____
TOTAL	_____		

MISCELLANEOUS: (number of)

Branch Panels	_____	
Transformers	_____	
Air Conditioners	_____	
Signs	_____	
Fire/Burglar Alarms	_____	
Circus, Fairs, etc.	_____	
Alterations to wires	_____	
Repairs after fire	_____	
Heavy Duty, 220v outlets	_____	
Emergency Lights, battery	_____	
Emergency Generators	_____	

INSTALLATION FEE DUE: _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____

FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE: _____

FOR PERFORMING WORK WITHOUT A PERMIT (304-9) DOUBLE FEE DUE: _____

TOTAL AMOUNT DUE: 6.50

INSPECTION:

Will be ready on _____, 19____; or Will Call X

CONTRACTOR'S NAME: P.S. Gomez

ADDRESS: Peaks Island, Me.

TEL.: 766-2248

MASTER LICENSE NO.: 634

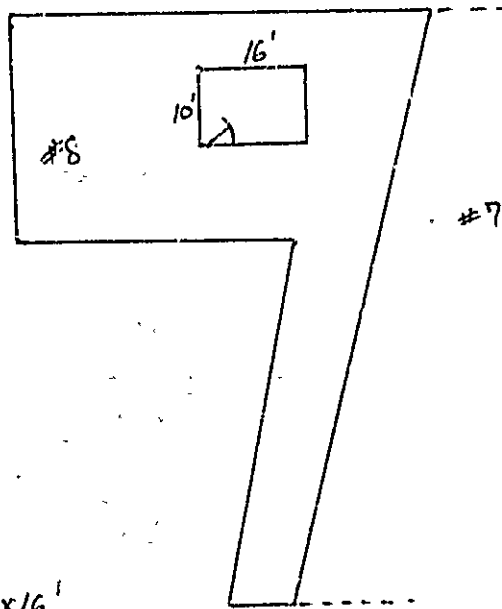
LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR:

INSPECTOR'S COPY

APPLICATION FOR PERMIT TO BUILD:
GARDEN/STORAGE HOUSE

ON LOT # 1098-C-8
OWNER: ROGER K. BERLE
CLIFF ISLAND, ME.



- SIZE: 10' x 16'
- PIERS: 12" SONOTUBE CONCRETE
- SILLS: 4" x 6" PERIMETER AND CROSSMEMBERS
- JOISTS: 2" x 6" x 16' @ 16" CENTERS
- CORNER POSTS: 4" x 4"
- PLATES: 4" x 4"
- STUPS: 2" x 4" @ 16" CENTERS
- RAFTERS: 2" x 6" @ 16" CENTERS (GABLE)
- SHEATHING: 3/4" PLYWOOD

RECEIVED
OCT 19 1977
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

PURPOSE - STORAGE OF LAWN AND GARDEN EQUIPMENT
ESTIMATED COST: \$1500.00



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

0950

OCT 21 1977

ZONING LOCATION R-2 PORTLAND, MAINE, Oct. 19, 1977

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 109-B-C-8 Cliff Island Fire District #1 #2

1. Owner's name and address ROGER K. BERLE same Telephone 765-2827

2. Lessee's name and address

3. Contractor's name and address Owner Telephone

4. Architect

Specifications

Plans

No. of sheets

Proposed use of building storage for greenhouse tools No. families

Last use

No. families

Material

No. stories

Heat

Style of roof

Roofing

Other buildings on same lot

Estimated contractual cost \$ 1,500 Fee \$ 8.00

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION fee not paid

This application is for: @ 775-5451 Ext. 234

To construct 10 x 16 storage bldg for lawn and garden equipment. as per plans. 1 sheet of plans.

- Dwelling
- Garage
- Masonry Bldg.
- Metal Bldg.
- Alteration
- Demolitions
- Change of Use
- Other

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers or subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work?

Is any electrical work involved in this work?

Is connection to be made to public sewer?

If not, what is proposed for sewage?

Has septic tank notice been sent?

Form notice sent?

Height average grade to top of plate

Height average grade to highest point of roof

Size, front

depth

No. stories

solid or filled land?

earth or rock?

Material of foundation

Thickness, top

bottom

cellar

Kind of roof

Rise per foot

Roof covering

No. of chimneys

Material of chimneys

of lining

Kind of heat

fuel

Framing Lumber—Kind

Dressed or full size?

Corner posts

Sills

Size Girder

Columns under girders

Size

Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joints and rafters: 1st floor

2nd

3rd

roof

On centers: 1st floor

2nd

3rd

roof

Maximum span: 1st floor

2nd

3rd

roof

If one story building with masonry walls, thickness of walls?

height?

IF A GARAGE

No. cars now accommodated on same lot

to be accommodated

number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING: Q.P. MACO. 10/21/77

BUILDING CODE: Q.H. E.S. 10/20/77

Fire Dept.:

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Wanda Suzanne Berle Phone # same

Type Name of above Mrs. Roger Berle 1 2 3 4

Other

FIELD INSPECTOR'S COPY

NOTES

11/3/77 - *no imp made.*

Permit No. 97/89/1

Location 108-13-55 (A) 21

Owner *Chaz* 97/89/1

Date of permit 10-19-77

Approved 10-11-77

(The following section is crossed out with a large X)

Notes section with multiple horizontal lines for recording observations.

Rept. 13386-1

July 12, 1968

Mr. William F. Jordan,
P.O. University Street
Portland, Maine

Dear sir:

Enclosed is the building permit covering alterations of the cottage of Zebulon Corey on Church Road, Cliff Island.

You have a distance of eight feet from the proposed new work to the nearest rear property line. If it should turn out that this distance is less than eight feet you should refrain from starting the work and return the permit to this office at once, as the work would then be illegal under the Zoning Ordinance, and could be legally done only by successful appeal to the municipal officers.

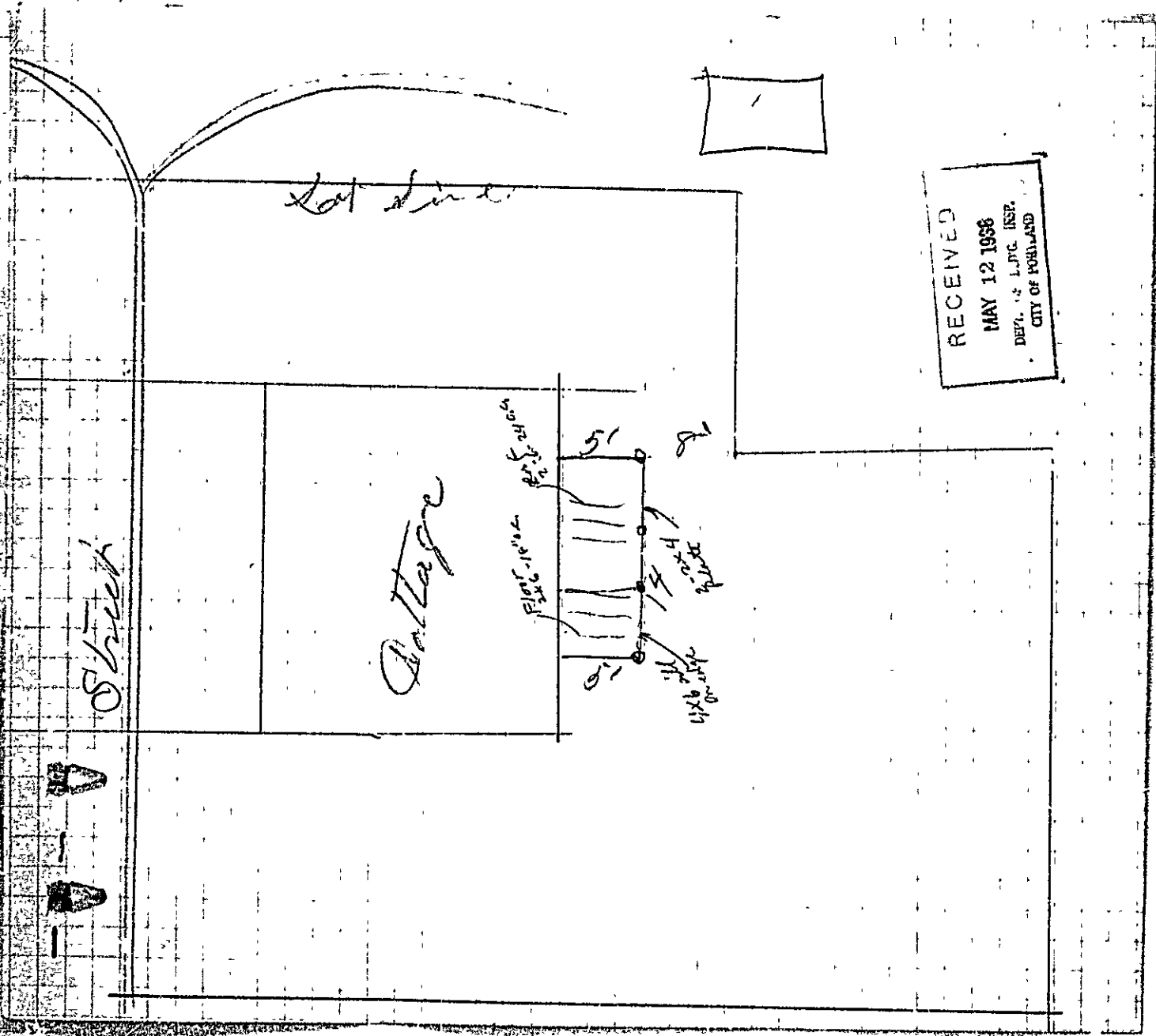
There is insufficient information in your application for me to make sure that the framing will comply with the Building Code. For instance, no location of foundation posts is shown so I cannot tell what spans the 4x6 sills will be on or how much of a load they will be called upon to carry. There is nothing to show the size of the member to support the eave ends of the roof joists, or the span of it.

You have indicated on the application that there will be in charge of the work a person familiar with all of these requirements. Unless you are absolutely sure that you can make this framing comply with the Building Code in every particular, it would be well for you to bring or send to this office a clear and complete framing plan and get it approved before you start the work.

Very truly yours,

FMcD/H
Cc: Zebulon Corey
185 Cumberland Avenue

Inspector of Buildings



Lot line

Street

Garage

Floor - 10'0"
2'0" x 4'0"
1'0" x 1'0"
1'0" x 1'0"
5'1'

RECEIVED
MAY 12 1938
DEPT. OF L.P.C. INSP.
CITY OF PORTLAND



APARTMENT HOUSE WORK
APPLICATION FOR PERMIT Permit No. 0678
PERMIT ISSUED

is of Building or Type of Structure Third Class

Portland, Maine, May 12, 1933 **MAY 12 1933**

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Church Road, Cliff Island Ward 1st Within Fire Limits? no Dist. No.
 Owner's or Lessee's name and address Zebulon Coray, 185 Cumberland Ave. Telephone
 Contractor's name and address W. T. Jordan, 51 University St. Telephone 4-8122
 Architect Plans filed yes No. of sheets 1
 Proposed use of building Cottage No. families
 Other buildings on same lot
 Estimated cost \$ 50 Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 1 1/2 H Style of roof Roofing
 Last use Cottage No. families

General Description of New Work

To rebuild rear platform 12' x 4' on rear of cottage making it 14' x 5', enclosing portion of it 10' x 5', leaving the remainder an open piazza, Portion of this 5' x 5' will be used for toilet room having window at least three square feet in area for ventilation

NOTIFICATION BEFORE LAYING
 OR CLOSING IN IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.**

Details of New Work

hexlock dressed Height average grade to top of plate
 Size, front depth No. stories 1 Height average grade to highest point of roof 12'
 To be erected on solid or filled land? solid earth or rock? ledge
 Material of foundation wood posts Thickness, top bottom
 Material of underpinning Height Thickness
 Kind of Roof flat Rise per foot 4" Roof covering Asphalt roofing Class C Und. Lab.
 No. of chimneys no Material of chimneys of lining
 Kind of heat Type of fuel Is gas fitting involved?
 Corner posts 4x4 Sills 4x4 Gir: or ledger board? Size
 columns under girders Size Max. on centers
 Sills (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor 2x8, 2nd , 3rd , roof 2x8
 On centers: 1st floor 18", 2nd , 3rd , roof
 Maximum span: 1st floor 5', 2nd , 3rd , roof
 If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated
 Total number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner by Zebulon Coray
W. T. Jordan

INSPECTION COPY

Ward 21.1 Permit No. 38/678

Location 2nd and 3rd Sts. Cliff

Owner Zebulun Corey

Date of permit 5/12/38

Permit closing-in

Inspn closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

~~7/13/38 Lot lines met 109 B
clearance checks C
clearances Wash 7-8
completed. M.G.~~

ATH
KSS
EAT
VJS
PH
DJ
ED
BS

Cliff Island, Island Ave.
(Assessors No. 1095-C-8,7
Leland Merrill)-I

December 14, 1946

Mr. Leland Merrill
Cliff Island, Maine
Mr. George F. Mickerson
Cliff Island, Maine

Subject: Application for building permit to make
alterations in and change the cottage of Leland
Merrill on Island Avenue, Cliff Island (Assessors
Lot No. 1095-C-8,7) to a year-round dwelling

Gentlemen:

We appreciate Mr. Mickerson's efforts to take the plans and the accompanying letter to show complete compliance with the Building Code, but there are quite a number of items which do not satisfy the Building Code and they account for the long time consumed in issuing the building permit. Rather than withhold the permit until such time as the plans and specifications do show full compliance with the Building Code, however, I have decided to issue it with this letter in an effort to guide you so that the building will not be found in non-compliance after a part or all of the work has been done.

The building permit is issued therefore to the owner, subject to the following:

1. The sills under front and rear walls and the center girder or center sill as it is sometimes called work out to be substantial & overloaded on the spans of about six feet, but this may be remedied by laying an additional pier between each pair of existing posts. From the information which we have, we believe that the cottage probably figured to be more than $1\frac{1}{2}$ stories, according to the definitions of the Building Code, and if not so now, any dormer windows contemplated in the future would undoubtedly make it more than $1\frac{1}{2}$ stories. Therefore any additional foundations, as these piers would be, would have to be of masonry--if of concrete, no less than eight inches square at the surface of the ground, no less than ten inches square at the bottom of the pier, extending no less than four feet below the finished grade of the ground or to ledge whichever is encountered at the less depth, and to extend no less than six inches above the finished surface of the ground and to have the sills firmly anchored to the piers in some suitable and permanent manner.
2. We understand from the specifications in the letter that the existing studs in exterior walls and bearing partitions are 2x4, 24 inches from center to center, and that in every such case additional 2x4 studs are to be introduced running full length from bearing of the other studs at the bottom to the under side of the girt or plate, as the case may be. It is understood that these additional studs are to be cut in and then nailed through from the outside so as to become an integral part of the frame of the building. The plans do not make clear whether the second floor joists at the rear wall get their bearings upon a girt or upon a ledger board. If the latter, considerable difficulty will be experienced in getting the additional studs in place, and care should be taken to provide fire stops between each pair of studs beneath the ledger board and above the floor joists where the exterior wall extends above the floor. If there is a double 2x4 girt under the second floor joists in the rear wall, then it appears that there must be short studs from the girt to the roof plate which appears to be only about three feet above the second floor girt. This may be a difficult job to frame and actually make strong on account of these short studs, but no doubt it can be done with care.
3. I find as I get into the details required for this building that the strengthening necessary is very substantial indeed, that Mr. Merrill has been up to

December 16, 1946

the office and talked with Mr. Hamilton after Mr. Hamilton had checked the matter over, that Mr. Hamilton has told Mr. Merrill how extensively rebuilding would be needed of many parts of the structure, and that Mr. Merrill thought that it could be done and was placing the matter fully in the hands of Mr. Mickerson. It looks to me like a very extensive job of reconstruction, and before we go any farther, after both of you fully understand what is required, there should be a decision as to whether or not you can go all the way through with it. If not, it is necessary that you refrain from starting the work and return the building permit. We are supposed, under the Building Code, to have information as to full compliance with the Building Code before a building permit is issued; but we are issuing this permit without this information on the basis that, if you really intend to go all the way through with it, opportunity will be given to get as much work as possible done, especially foundation work before extra severe weather arrives, if that is possible.

4. The first floor joists are 2x6, 24 inches from center to center on spans of 12 feet, and work out very much overloaded for year-round dwelling house loads. The second floor has the same framing and this too works out to be very much overloaded even though a ceiling of very light wallboard is used beneath the second floor. It is necessary that additional floor joists be placed between each pair of existing joists at both levels, running from bearing to bearing and solid bridging out in between each pair of floor joists. Where the partitions come on either floor, even though they are not bearing partitions, if they run parallel with floor joists, the floor joists should be doubled beneath the partitions. Apparently you plan to cut in a stairway from the first to second floor, and the wall at second floor will have to be framed with double joists and adequate supports of header and trisler beams without relying upon nailing through a supporting joist into the end of the grain of a joist supported.

5. The rafters also would be very much overloaded, being about 40 inches from center to center and on spans from plate to ridge which are rather too long. The plans and the letter are practically without information as to the details of this roof, and a very difficult problem is presented. We are assuming that the pitch of the roof is substantially more than four inches vertical to twelve inches horizontal. The easiest way to provide strength enough appears to us to be to double up the present 2x6 rafters by putting a 2x6 beside each one running full length from ridge to bearing at the plate and then introduce an additional 2x6 in between each pair of present rafters, thus making the final spacing 20 inches from center to center. Even this would not provide strength for any but the lightest kind of a ceiling, but certainly there should be substantial collar beams running across from rafter to rafter to offset the spreading action of the rafters upon the walls of the cottage, this being especially necessary on the side where the roof plate is above the second floor framing. If it should turn out that the rafters run without any bearing over the front wall clear cut to the plate of the piazza, then the front wall will have to be built up to provide a bearing for these rafters.

6. Where the proposal is to enclose the side porch and remove the exterior wall of the cottage so as to take the enclosed porch into the building, we do not have anywhere enough information to know whether or not the proposition will work out structurally and we are unable to go into a lot of suppositions in this matter. It becomes evident that the floor joists will have to be doubled up the same as under the main cottage, but the size of some of the beams supporting the floor joists is not shown.

7. The permit is issued on the basis that the cottage is substantially framed and in good condition now. If that is not true in any part, then additional diagonal bracing will be necessary before the walls and partitions are covered up. It is the

December 16, 1946

understanding that as soon as possible the owner has in mind providing a concrete foundation wall and a cellar. It would be well for him to take this into account now so that when he applies for an additional permit for future work we will not find that some of the work done now will have to be done over. Probably with the addition of the cellar he will intend to have a central heating plant in the cellar. That too should be taken into account so that the headroom in the cellar will be sufficient and the matter of the use of the present chimney will come up. It is understood that for the present the single chimney (probably a single flue and unlined) will be used to serve kitchen range and stove to heat the building. On this basis care must be exercised to be sure that the walls of the chimney are tight, that all burnable material is kept away or cut away without injuring the strength of the building so that none of it will be closer than one inch to the outside wall, incombustible firestops as required by the Building Code must be provided in each floor level, no less than 12-inch metal collars provided through the partitions where the smokepipes enter, and arrangements made so that the smokepipes will be centered upon the collars, a cast-iron clean-out door and frame provided at the bottom of the chimney flue and the chimney being thoroughly cleaned out.

I am indeed sorry that this letter is so long and so complicated, but we have had only two alternatives in the light of the incompleteness of the plan and specifications--either to withhold the permit until they were made to show full compliance with the Building Code, or to take the time to write this long letter and to issue this permit with it to make the best possible effort to help the owner to get his dwelling completed. I trust you will understand this situation and will cooperate with this office accordingly, realizing at the same time what it means in the hectic days which we are passing through to go into a proposition like yours so carefully and at such an expense of time and cost.

I have just noted that you have given the estimated cost as \$250. Of course, such a figure will hardly represent a start on this work. The Building Code requires that you should give the estimated cost of all of the work including all labor and material whether the material is second-hand or not, whether or not the owner has it on hand or not and that all labor included whether the owner's own labor, or donated labor or what. It is necessary that you supply the correct estimated cost as soon as you may arrive at a rational figure, really figuring it out on the basis of material and labor and including all fixtures as plumbing fixtures, electric wiring/fixtures, if any, everything built into the building. When this figure is arrived at, application for amendment to the permit should be filed here with the correct figure and the addition fee, if any, paid. Incidentally any alterations which you may have thought of in the meantime over what is shown at present may be included in the amendment.

Very truly yours,

Inspector of Buildings

F40D/S

Cliff Island Nov 25/46

Mr Warren M. C. Sanford

Portland Maine

RECEIVED

NOV 29 1946

DEPT. OF CITY WORKS
CITY OF PORTLAND

Dear Mr. Sanford
I received your letter and ~~was~~ ^{was} glad to see
a plan for you of his house
I have carefully gone over it and
I have given a full description
of its construction. I called a very
good framed house as far as they went.
Everything is solid & fine, good lumber,
only not enough in some places.

Was he want me to do the work
for him, so will be pleased to answer
any further questions you so desire.

Personally I think with a few extra
studding 16" on center around walls,
and extra floor beams on second floor,
and double where partitions come would
carry all his load as the walls is to
be of sheetrock but all ceiling of

in 7 light weight ceiling stock 16 X 22 intake
is not much weight added

Find the chimney very good & Buck 29.
No other in fact than 1 on the Island
is blue lined, but this is to use oil
burning stove, so not so bad and I
think the studding has a cleave of
1/2" from chimney.

As I look the house over I find it far
better constructed than many, but of
course should require some extra studding
for extra load.

No there will be no extra floor windows
at present, and as soon as he can get
to it, he tells me he is to put a
Cement wall around under house.

He is a G.I. just home from across
and is trying to get a home to live in
I am not at all work, so will be pleased
for any suggestion you would make!

Yours truly
Mr George E. Dickerson
Cliff Island N.C.

3 rooms down stairs
front room 10' x 13' to coming partition
Dining room 10 x 13
Kitchen 10 x 17
2 floor plan



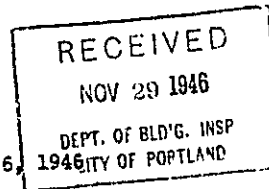
WARREN McDONALD
INSPECTOR OF BUILDINGS

CITY OF PORTLAND, MAINE

On reply refer
to file AP Cliff Island (Leland
Merrill)-I
FU

Department of Building Inspection

November 25,



Mr. Leland Merrill
Cliff Island
Maine

Subject: Application for building permit to
make alterations in the cottage owned by
Leland Merrill, Island Avenue, Cliff Island,
and conversion of the cottage to a year-
round dwelling for one family.

Dear Sir:

Section 106b of the Building Code requires that we have sufficient information about any given job to show substantial compliance with the Building Code before the permit can be issued. On this basis I am unable to issue the permit for the above work because there is hardly any information on application and sketch that would establish compliance with the Building Code for a year-round dwelling.

The proposition apparently is to change a summer cottage to a year-round dwelling, and this becomes the more important question as compared with the alterations intended.

We shall have to have a complete framing plan of the cottage (both floors and roof) and all of the supports of the cottage, including the size, spacing and spans of girders and sills under first floor with the spacing of the cedar post foundation. Your plan should also show the arrangement of the rooms, the location of the partitions existing now to be covered with sheetrock and the proposed partitions on second floor to be covered with sheetrock. You have made no mention of ceilings, but I presume that ceilings of gypsum wallboard will be provided also in both stories. Your plan should be to a definite scale, preferably one-quarter of an inch to the foot, and should be made by someone who is accustomed to making such plans and preferably by someone who can figure out the strength of timber - regards the loads coming upon them and their spacing and span. You will also have to indicate how the dwelling is to be heated, the location of the chimney, whether or not the chimney is lined and what the size of the flue is. If there is only one chimney and the building is to be heated by stoves, there will be a definite limit as to how many stoves can be connected safely to a single flue. If some type of furnace is contemplated, that fact should be shown and where it is to be located and what clearances will be possible between the top of it, the sides and the back of it and the smokepipe, etc.

While we cannot find any record of the existing framing of first floor, the framing indicated of second floor seems to show that the building is of quite the usual very light framing common to cottages built years ago. If this is the case, you will have quite a major operation of making this building strong enough to support the year-round dwelling house loads plus the dead weight of the existing material and the extra added weight of ceilings and partitions--a gypsum board ceiling weighs four or five pounds per square foot and a partition covered with gypsum board on both sides weighs about 12 pounds per square foot. A partition thus covered eight feet in height would weigh about 100 pounds per running foot, so you can see that you

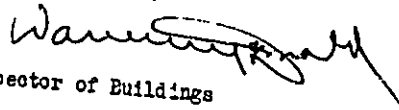
Mr. Leland Merrill-----2

November 26, 1946

will be dealing with very substantial dead loads as well as the fact that probably the building for the first time would have people occupying it at the same time when all the wind and snow loads of the winter are also present. It would be well for you to have this plan made on thin paper and the markings heavy enough so that blueprints may be taken, and have the blueprint filed here, so that we may be sure that you have the same information which you have filed here.

We certainly would like to be able to help you in this project, but your distance from the City, the infrequency of boats, and the overload of work which is coming into this office daily makes it impossible for us to help you very much. Even if you can come to the City with your problem, it is practically impossible for any of us to sit down with you, go over it in detail, and advise you what to do. It seems imperative if you are to go ahead with the project, that you employ someone accustomed to making plans to really show up this proposition so that we can handle it.

Very truly yours,



Inspector of Buildings

W McD/D

P.S. If we have the identity of this building correct it is the cottage called Rockhaven formerly owned by Jennie M. Corey and is a one and one-half story building instead of the two story shown on the application. From information we have it looks as though a provision of three rooms on the second floor might raise the question of sufficient windows to make the rooms comfortably, and any deficiency in windows in the present building may suggest addition of one or more dormer windows. If that proposal should come up, the Building Code would require that the cedar post foundation be changed out to masonry of some character under the entire cottage.

Alterations cottage converted
to year round dwelling.

Cliff Island
11-2-4-46. 1/2

Seland Merrill, owner Cliff Island.

(number) 09B-78

General Requirements (brief) Sheet 2 (over)

This party did not heed your suggestion to have
his plans made by someone accustomed to making
plans and to get them printed. As stated filed the
paper tracings which are inconsistent and some
much to be desired as usual.

Plan file 1 Nov. 15 your cottage as
no. 24' wide. The framing plan filed by
Mr. Wickerson gives it 30' (scaling)

Bill in rear 6x6 on 6' sp. 2nd floor
for 3389# N.G.

Carrier roof 11x6x35 = 2310
Outside wall 8x6x18 = 864
2nd Floor 5x6x40 = 1200
Due to pitch roof cut by lead to 25'
original plan gave 1st floor, new one 10'

1st floor 5x6x45 = 1350
→ 5734#

36	48	54
35	18	36
3389	584	1200
198	864	2310
2310	864	3174

Bill (front wall of house) 6x6 on
6' sp. 2nd floor - 3389# N.G.

Port 14x2x35 = 2940
Apt 3 outside wall 2nd floor roof 5x6x12 = 216
2nd floor 6x6x40 = 1440
Outside wall 6x8x18 = 864
1st floor 6x6x45 = 1620
→ 7080

36	18	36
45	18	36
180	54	2940
144	864	216
1620		

End bill (outside of rear window)

While trying to do this, when
under 14x6 on 6' sp. for 3389#
Outside wall only lead
14x6x18 = 1724

O.K.

End bill (for counter wall) O.K.

- over -

2170	107
2170	107

Center Joist 2x6 on 6' spans as req.
for 33' 11" N.G.

First Floor - 11x6x45 = 2970
 Part (2nd flr) 16x6x18 = 1728
 Second Floor 11x6x40 = 2640
 Ceiling 11x6x8 = 528
 → 7866

②

$$\begin{array}{r} 66 \\ 70 \\ 264 \\ \hline 766 \\ 96 \\ \hline 1928 \end{array}$$

$$\begin{array}{r} 45 \\ 66 \\ 270 \\ \hline 270 \\ 270 \\ \hline 270 \end{array}$$

$$\begin{array}{r} 244 \\ 45 \\ \hline 180 \\ 48 \\ \hline 1080 \end{array}$$

First floor 2x6 on 12' spans 524# N.B.
 second " same. $\frac{524}{24} = 22\#$ N.B.

First floor 2x12x45 = 1080
 second " 2x12x40 960

~~524~~
~~19~~
~~524~~
~~20~~
 (370) 2x12 on 12'

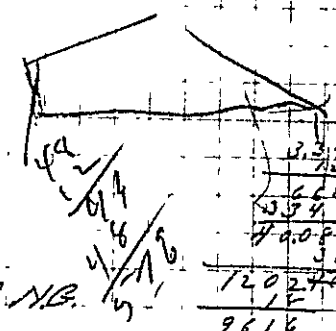
Deflection - Max. load for allowable
 deflection 325# Permit spacing and 960 N.B.

Prof (Pitch) 2x8 = 40" center = 12 x 3.34 x 30 = 1202 11.1) 2, 1, 6, 2 8/196

$$\frac{1202 \times 24}{11.1} = 21656$$

$$\frac{21656}{11.1} = 1960$$

 General
 because of your round average



$$\begin{array}{r} 3.34 \\ 66 \\ 270 \\ \hline 270 \\ 30 \\ \hline 1202 \\ 11.1 \\ \hline 9616 \\ 1202 \end{array}$$

Sills (2x6) front, rear and center do not
 wash out with present framing.

Corner Posts - Plan gives them - no 4x4.
 Front ones are rear ones extend above
 second floor but probably only in 3' and
 up will be o.k.

Studs - Studs will have to be doubled
 being 24" o.c.

Floor joists (2x6-12' span 24" o.c.) these will be
 overloaded. Should have additional
 joists between each, making 12" o.c.
 even then 2nd floor deflection will be
 excessive if ceiling plastered. (The Michigan letter says

No type of heat
 has been given although
 better say on burning stone.

No dormer at
 present.

Joists will need to
 be doubled and joist
 partitions.

Alteration: cottage converted
to year round dwelling

Cliff Island

0

Island: Merrill, owner Cliff Island

11-22-46

26

Disregarding the structural condition, which will have to finally be known, several changes will be necessary for this conversion.

Application gives this as two stories, and seems probable, since the kitchen and bath are to be furnished off on second floor. Cidapotaline has been given for foundation, but are not permitted on building exceeding one and one-half stories. Sect. 307c.3.1

Plan filed gives outside wall studs 2x4-20" apart which would be 24" O.C. Sect. 312c.3.6 limits this spacing to 16" O.C. except cottages for summer use only. ^{bearing partition spacing not given.} Corner posts given as 4x4 with regular 3x2x4 at least.

Plan shows what appears to be the main girder as 6x6 on 12" span (for winter support shown) this will carry 1st floor, partition, and part of second floor, and is obviously ^{sup}overlaid as a 6x6 on 12" span is good for 16.95#

First floor is 2x8-24" O.C. 12" span good for 9.31

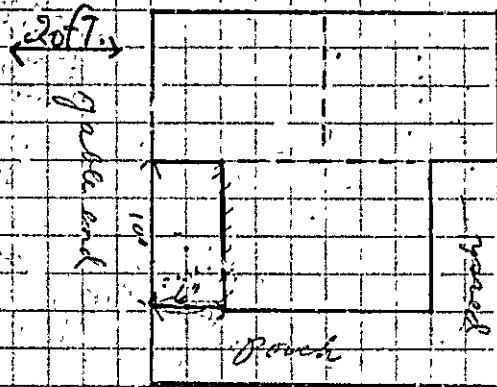
$$\frac{9.31}{24} = 40 \frac{1}{2} \text{ L.G.}$$

Regions 2x8 between partitions.

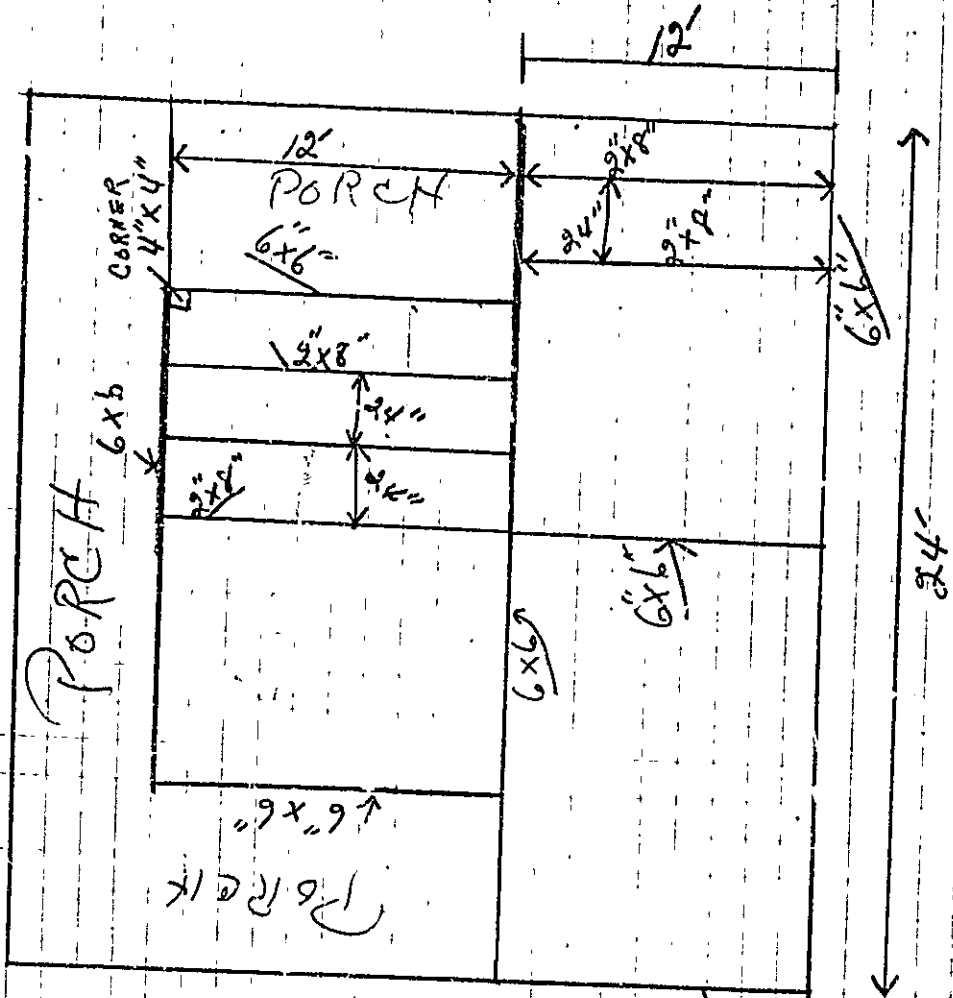
Second floor 2x6-24" O.C. 12" span 14.6

No mention has been made as to type of heat planned, this should be determined since if furnace heat is contemplated, many difficulties will arise especially with bedroom clearance.

RECEIVED
NOV 15 1946
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND



RECEIVED
 NOV 15 1936
 DEPT. OF CLD'S HSE.
 CITY OF PORTLAND



outside studs
 are 2x4"
 approx. 20" apart

AP Cliff Island (Leland
Merrill)-I

ATH
ESS
X BMT
DAJS
PH
DJ
HD
X BS

November 26, 1946

Mr. Leland Merrill
Cliff Island
Maine

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make alterations in the cottage owned by
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November 26, 1946

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(B) LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
02473
DEC 16 1946

Class of Building or Type of Structure Third Class

Portland, Maine, November 15, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~rebuild~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Cliff Island Island Ave. 1296-C-8-7 Within Fire Limits? no Dist. No. _____
 Owner's name and address Leland Merrill, Cliff Island Telephone _____
 Lessee's name and address former of Zublon Corey Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Specifications _____ Plans no No. of sheets _____
 Proposed use of building Dwelling No. families 1
 Last use Cottage No. families _____
 Material frame _____ No. stories 2 Heat _____ Style of roof pitch Roofing _____
 Other buildings on same lot none
 Estimated cost \$ 250. Fee \$ 1.00

General Description of New Work

To enclose 6'x10' portion of open front piazza to enlarge living room. This 10' partition to be relocated is a non-bearing partition (gable end of building).
 To finish off three rooms on first floor, sheetrock.
 To partition off three rooms and bath on second floor.
 Studs 2x4, 16" O.C., sheetrock both sides.
 Existing 2x6 floor joists, 24" O.C., 12' span. (second floor)
 Existing floor of portion to be enclosed is framed 2x8, 24" O.C.

Permit Issued with Letters

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation concrete Thickness, top _____ bottom _____ cellar _____
 Material of underpinning existing Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

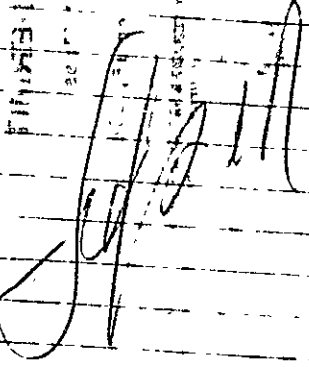
APPROVED: _____

Signature of owner Leland Merrill

Permit No. 16/2473
 Location Cliff Island
 Owner Richard Merrill
 Date of permit 12/16/46
 Notif. closing-in _____
 Inspn. closing-in _____
 Final Notif. 109-K-C-78
 Final Inspn. _____
 Cert. of Occupancy issued _____

NOTES

7/23/46 Im guy
 Cliff
 thru 109B sunk not
 done. C66

E. Merrill


Permit No.	Location	Owner	Date of permit	Notif. closing-in	Inspn. closing-in	Final Notif.	Final Inspn.	Cert. of Occupancy issued
16/2473	Cliff Island	Richard Merrill	12/16/46			109-K-C-78		