

923906

Permit # \_\_\_\_\_ City of Portland BUILDING PERMIT APPLICATION Fee \$445. Zone \_\_\_\_\_ Map # \_\_\_\_\_ Lot# \_\_\_\_\_

Please fill out any part which applies to job. Proper plans must accompany form.  
Owner: Charles G. Moore Phone # 212-945-2011  
Address: Suite #3601, World Financial Ctr. New York

LOCATION OF CONSTRUCTION Lockledge Ave. - Lincoln Heights I.D.  
Contractor: \_\_\_\_\_ Sub: 195-4-21329, 27

Address: \_\_\_\_\_ Phone # \_\_\_\_\_  
Est. Construction Cost: 35,000 Proposed Use: 1-fam w renov bath  
Past Use: 1-fam w garage

# of Existing Res. Units: \_\_\_\_\_ # of New Res. Units: \_\_\_\_\_  
Building Dimensions L \_\_\_\_\_ W \_\_\_\_\_ Total Sq Ft \_\_\_\_\_  
# Stories: \_\_\_\_\_ # Bedrooms \_\_\_\_\_ Lot Size: \_\_\_\_\_

Is Proposed Use: Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Conversion \_\_\_\_\_  
Interior/exterior renovations to washhouse  
Explain Conversion \_\_\_\_\_

FOUNDATION: Will Hinkelman - 774-0111  
1. Type of Soil: \_\_\_\_\_  
2. Set Backs - Front \_\_\_\_\_ Rear \_\_\_\_\_ Side(s) \_\_\_\_\_  
3. Footings Size: \_\_\_\_\_  
4. Foundation Size: \_\_\_\_\_  
5. Other: \_\_\_\_\_

FLOOR: \_\_\_\_\_  
1. Sills Size: \_\_\_\_\_ Sills must be \_\_\_\_\_ shored.  
2. Girder Size: \_\_\_\_\_  
3. Lally Column Spacing: \_\_\_\_\_ Size: \_\_\_\_\_ Spacing 16" O.C.  
4. Joists Size: \_\_\_\_\_ Size: \_\_\_\_\_  
5. Bridging Type: \_\_\_\_\_ Size: \_\_\_\_\_  
6. Floor Sheathing Type: \_\_\_\_\_  
7. Other Material: \_\_\_\_\_

EXTERIOR WALLS: \_\_\_\_\_  
1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_  
2. No. windows \_\_\_\_\_  
3. No. Doors \_\_\_\_\_  
4. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_  
5. Bracing: Yes \_\_\_\_\_ No \_\_\_\_\_  
6. Corner Posts Size \_\_\_\_\_  
7. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_  
8. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_  
9. Siding Type \_\_\_\_\_ Weather Exposure \_\_\_\_\_  
10. Masonry Materials \_\_\_\_\_  
11. Metal Materials \_\_\_\_\_

INTERIOR WALLS: \_\_\_\_\_  
1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_  
2. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_  
3. Wall Covering Type \_\_\_\_\_  
4. Fire Wall if required \_\_\_\_\_  
5. Other Materials \_\_\_\_\_

For Official Use Only  
Date: 7/10/92  
Subdivision: \_\_\_\_\_  
Home Lot: \_\_\_\_\_  
Public: \_\_\_\_\_  
Ownership: \_\_\_\_\_  
CITY OF PORTLAND

Street Frontage Provided: \_\_\_\_\_  
Provided Setbacks: Front \_\_\_\_\_ Back \_\_\_\_\_ Side \_\_\_\_\_  
Zoning: \_\_\_\_\_  
Review Required:  
Zoning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
Planning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
Conditional Use: \_\_\_\_\_ Variance \_\_\_\_\_ Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_  
Shoreland Zoning Yes \_\_\_\_\_ No \_\_\_\_\_ Floodplain Yes \_\_\_\_\_ No \_\_\_\_\_  
Special Exception \_\_\_\_\_  
Other: WDA (Explain) \_\_\_\_\_

CEILING: \_\_\_\_\_  
1. Ceiling Joists Size: \_\_\_\_\_ Spacing \_\_\_\_\_  
2. Ceiling Strapping Size \_\_\_\_\_  
3. Type Ceilings: \_\_\_\_\_ Size \_\_\_\_\_  
4. Insulation Type \_\_\_\_\_  
5. Ceiling Height: \_\_\_\_\_

ROOF: \_\_\_\_\_  
1. Truss or Rafter Size \_\_\_\_\_ Span \_\_\_\_\_  
2. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_  
3. Roof Covering Type \_\_\_\_\_

CHIMNEYS: \_\_\_\_\_  
Type: \_\_\_\_\_ Number: \_\_\_\_\_  
Heating: \_\_\_\_\_  
Type of Heat: \_\_\_\_\_

ELECTRICAL: \_\_\_\_\_  
Service Entrance Size: \_\_\_\_\_ Smoke Detector Required: Yes \_\_\_\_\_ No \_\_\_\_\_  
PLUMBING: \_\_\_\_\_  
1. Approval of soil test if required \_\_\_\_\_  
2. No. of TLLs or Showers \_\_\_\_\_  
3. No. of Flushes \_\_\_\_\_  
4. No. of Lavatories \_\_\_\_\_  
5. No. of Other Fixtures \_\_\_\_\_

SWIMMING POOLS: \_\_\_\_\_  
1. Type: \_\_\_\_\_ Square Footage: \_\_\_\_\_  
2. Pool Size: \_\_\_\_\_  
3. Must conform to National Electrical Code and State Law

PERMIT ISSUED WITH LETTER

PERMIT ISSUED WITH LETTER

White - Tax Assessor

CONTINUED TO REVERSE SIDE  
Ivory Tag - CEO

**PLOT PLAN**



**FEES (Breakdown From Front)**

Base Fee \$ \_\_\_\_\_

Subdivision Fee \$ \_\_\_\_\_

Site Plan Review Fee \$ \_\_\_\_\_

Other Fees \$ \_\_\_\_\_

(Explain) \_\_\_\_\_

Late Fee \$ \_\_\_\_\_

Type	Inspection Record	Date
<i>Completed</i>		<i>6/16/94</i>
<i>Refused</i>		
<i>Inspection</i>		
<i>Re-inspection</i>		

*[Signature]*

**COMMENTS**

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**CERTIFICATION**

I hereby certify that I am the owner of record of the name, property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

*[Signature]*  
 SIGNATURE OF APPLICANT

ADDRESS

*974-0111*  
 PHONE NO.

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE NO.

Inspection Services  
Samuel P. Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

CITY OF PORTLAND

July 13, 1992

Mr. Charles G. Moore  
Suite #3601  
World Financial Center  
New York, NY 10281

Re: 105-7-21,025,027  
Little Diamond Island

Dear Mr. Moore,

Your application to make interior/exterior renovations has been reviewed and a permit is herewith issued subject to the following requirements:

No certificate of occupancy can be issued until all requirements of this letter are met.

1. This permit is being issued with the understanding that no dwelling units will be created.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

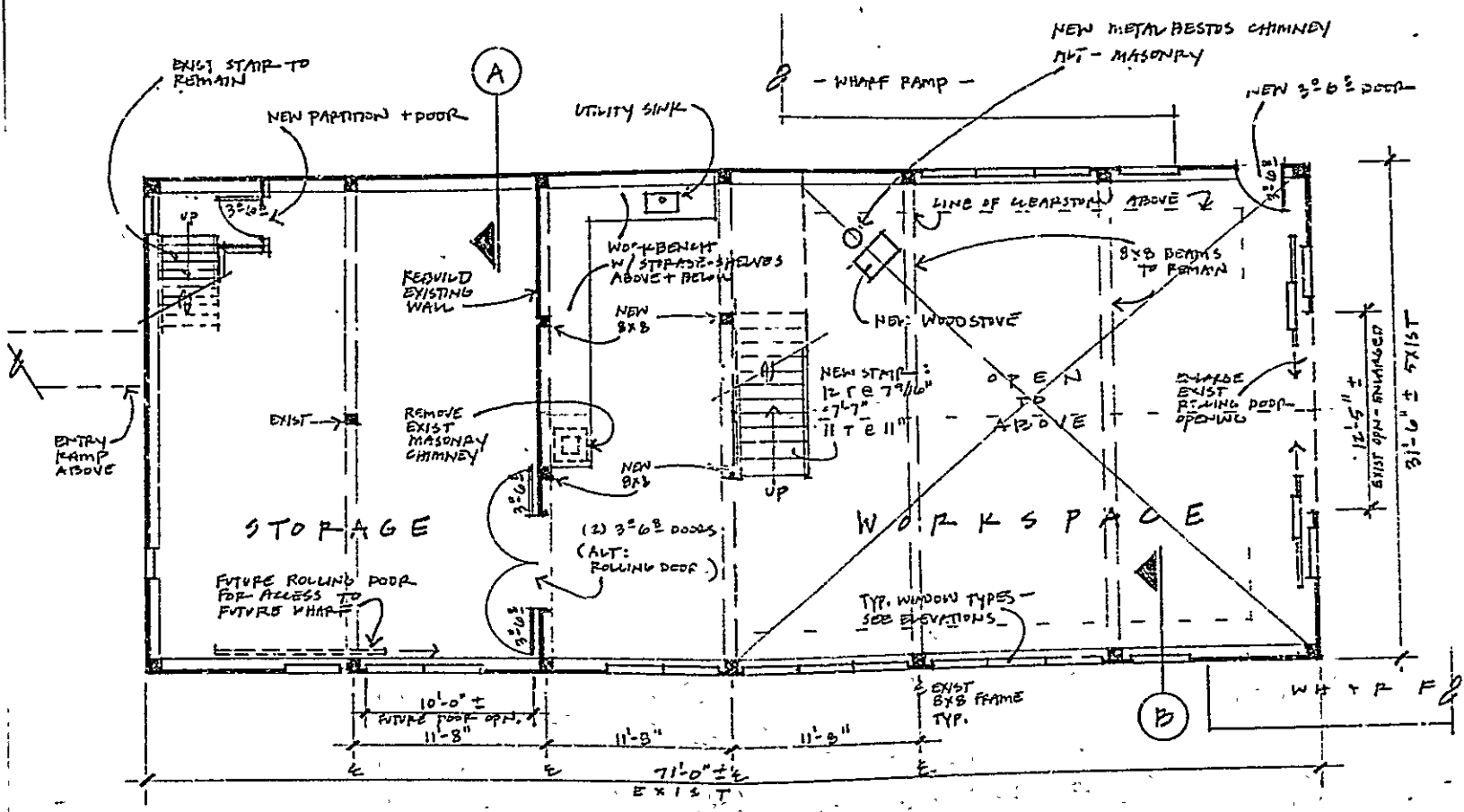


S. P. Hoffses  
Chief of Inspection Services

cc: W. Giroux, Zoning Administrator

**RECEIVED**  
 JUL 10 1992

DEPT OF BUILDING INSPECTORS  
 CITY OF PORTLAND

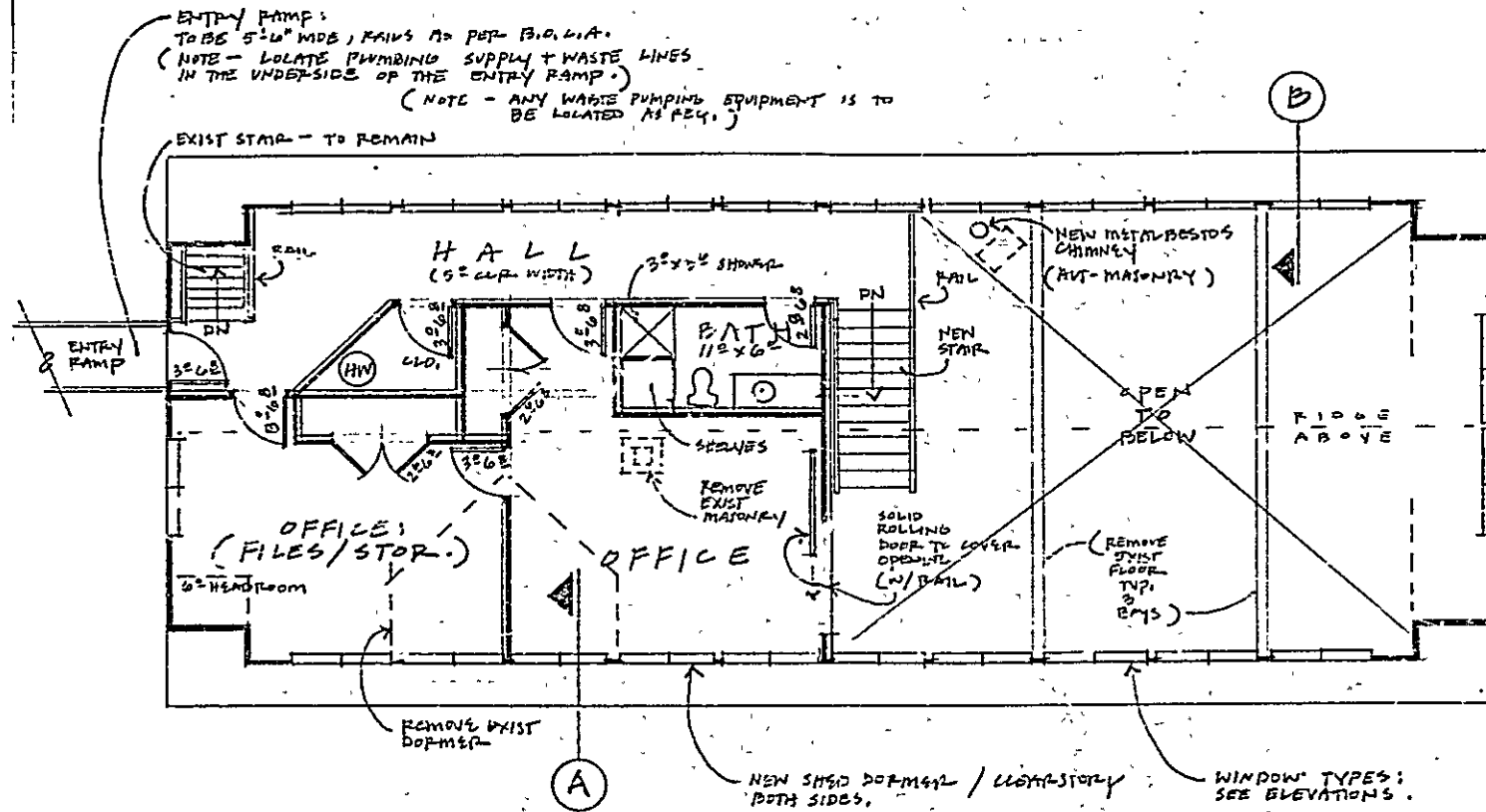


Little Diamond Island Boathouse - Kip Moore

**1**  
 Wharf Level Floor Plan  
 Scale: 1/8" = 1'-0" Date: 9 July 1992

Whiten Architects 37 Silver St Box 404 Portland, Me 04112

207-774-0111 Fax: 207-775-3744



RECEIVED

JUL 10 1992

DEPT OF BUILDING CITY OF PORTLAND

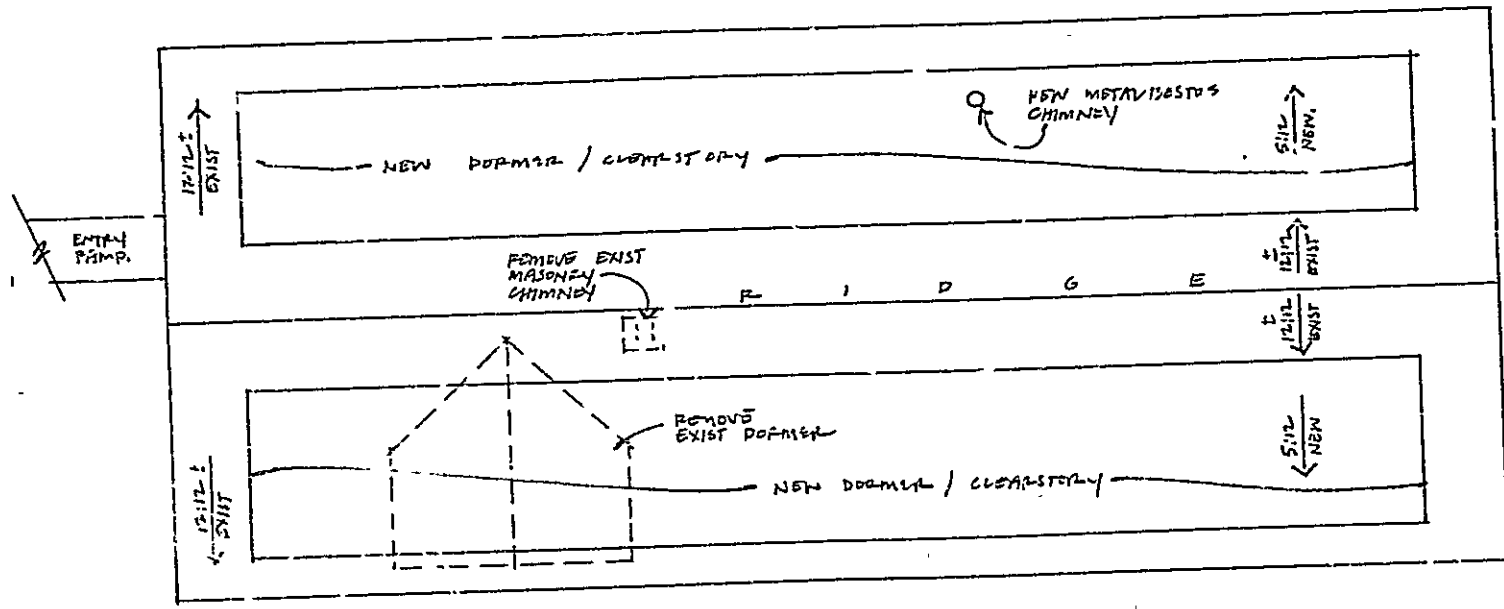
Little Diamond Island Boathouse - Kip Moore

Whitten Architects, 37 Silver St Box 404 Portland, Me. 04112



Upper Level Floor Plan  
Scale: 1/8" = 1'-0" Date: 9 July 1992

207-774-0111 Fax: 207-775-3744



Little Diamond Island Boathouse - Kip Moore  
 Whalen Architects 37 Silver St Box 404 Portland, Me. 04112

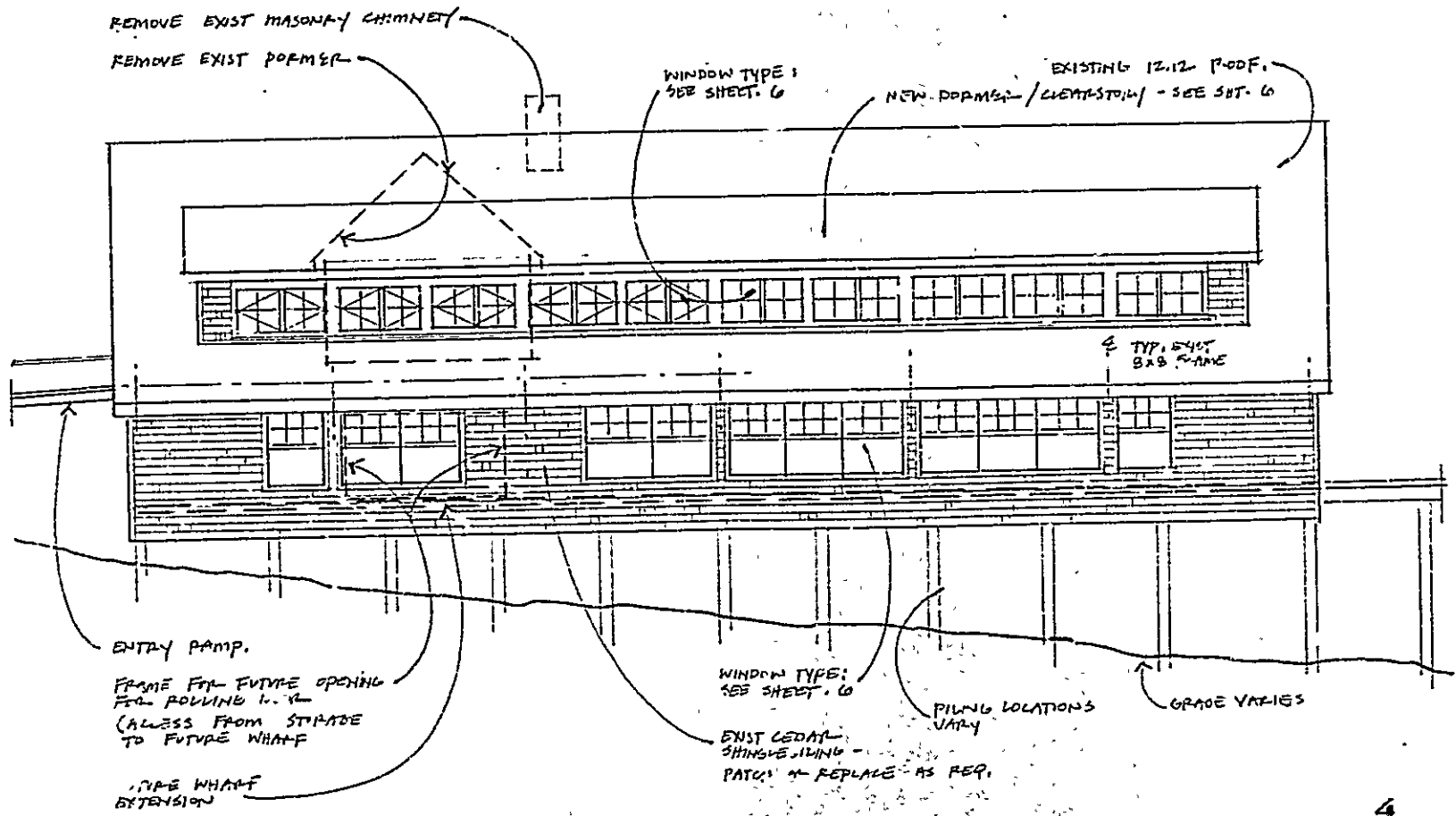


Scale: 1/8" = 1'-0" Date: 9 July 1992

207-774-0111 Fax: 207-775-3744

3

Roof Plan

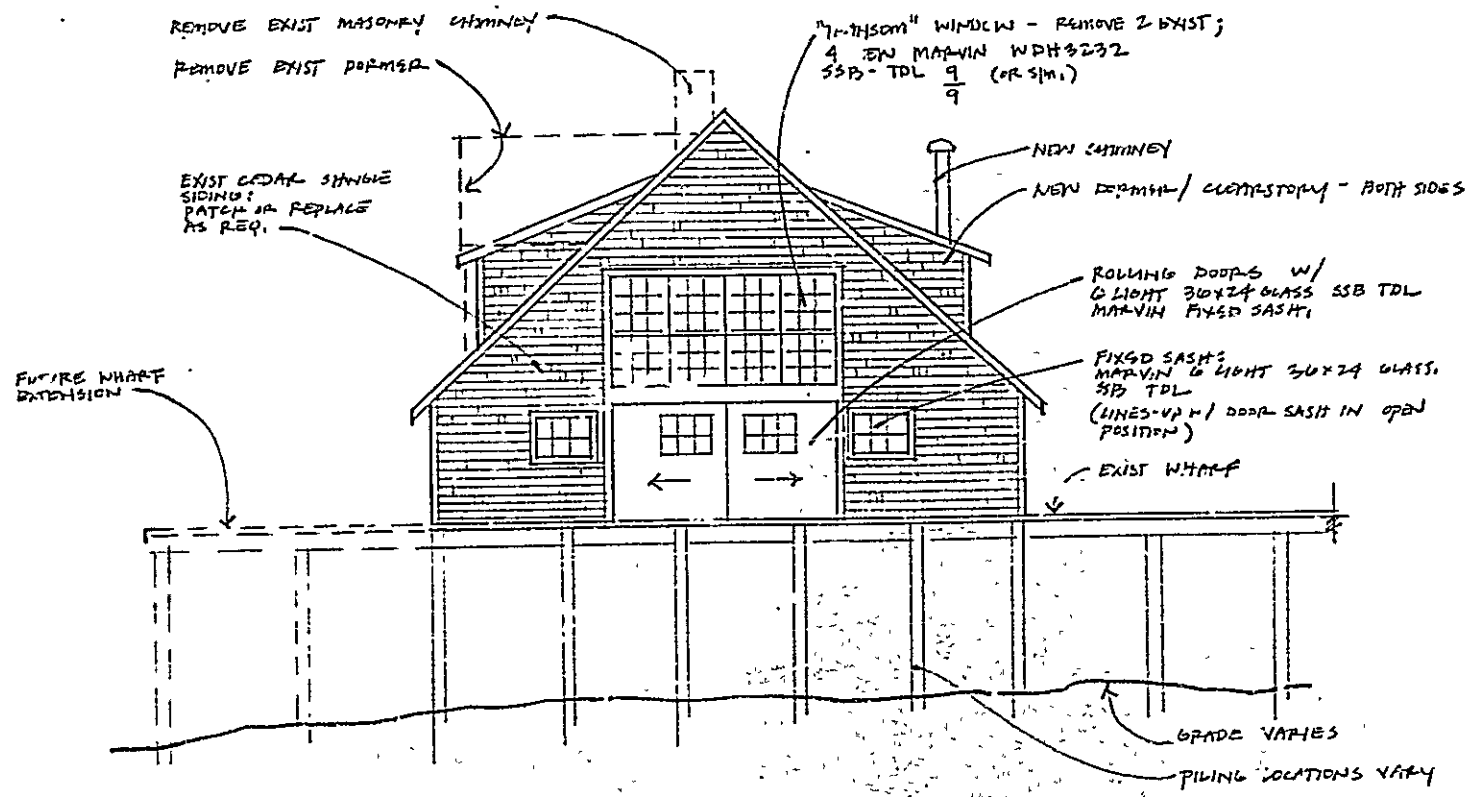


Little Diamond Island Boathouse - Kip Moore

Whitten Architects 37 Silver St Box 404 Portland, Me. 04112

4  
 South Elevation  
 Scale: 1/8" = 1'-0" Date: 9 July 1992

207-774-0111 Fax: 207-775-3744



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DEPT OF BUILDING  
CITY OF PORTLAND

Little Diamond Island Boathouse - Kip Moore

Whitten Architects 37 Silver St Box 404 Portland, Me 04112

Scale: 1/8" = 1'-0"  
Date: 9 July 1992

207-774-0111 Fax: 207-775-3744

5

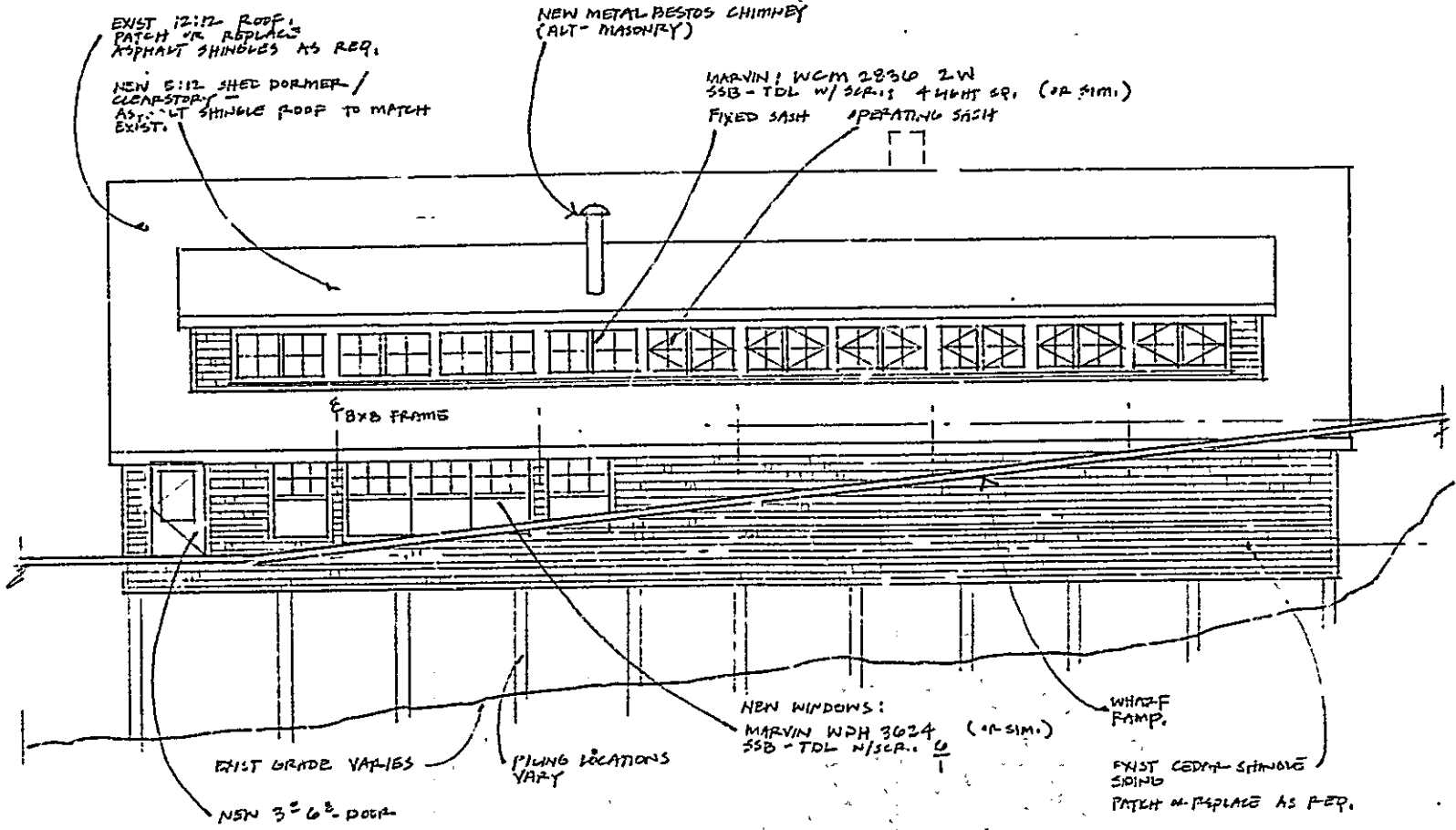
East Elevation



EXIST 12:12 ROOF,  
PATCH OR REPLACE  
KOPPAHNT SHINGLES AS REQ.  
  
NEW 5:12 SHED DORMER /  
CLEAR-STOP -  
AS EXIST SHINGLE ROOF TO MATCH  
EXIST.

NEW METAL BESTOS CHIMNEY  
(ALT. MASONRY)

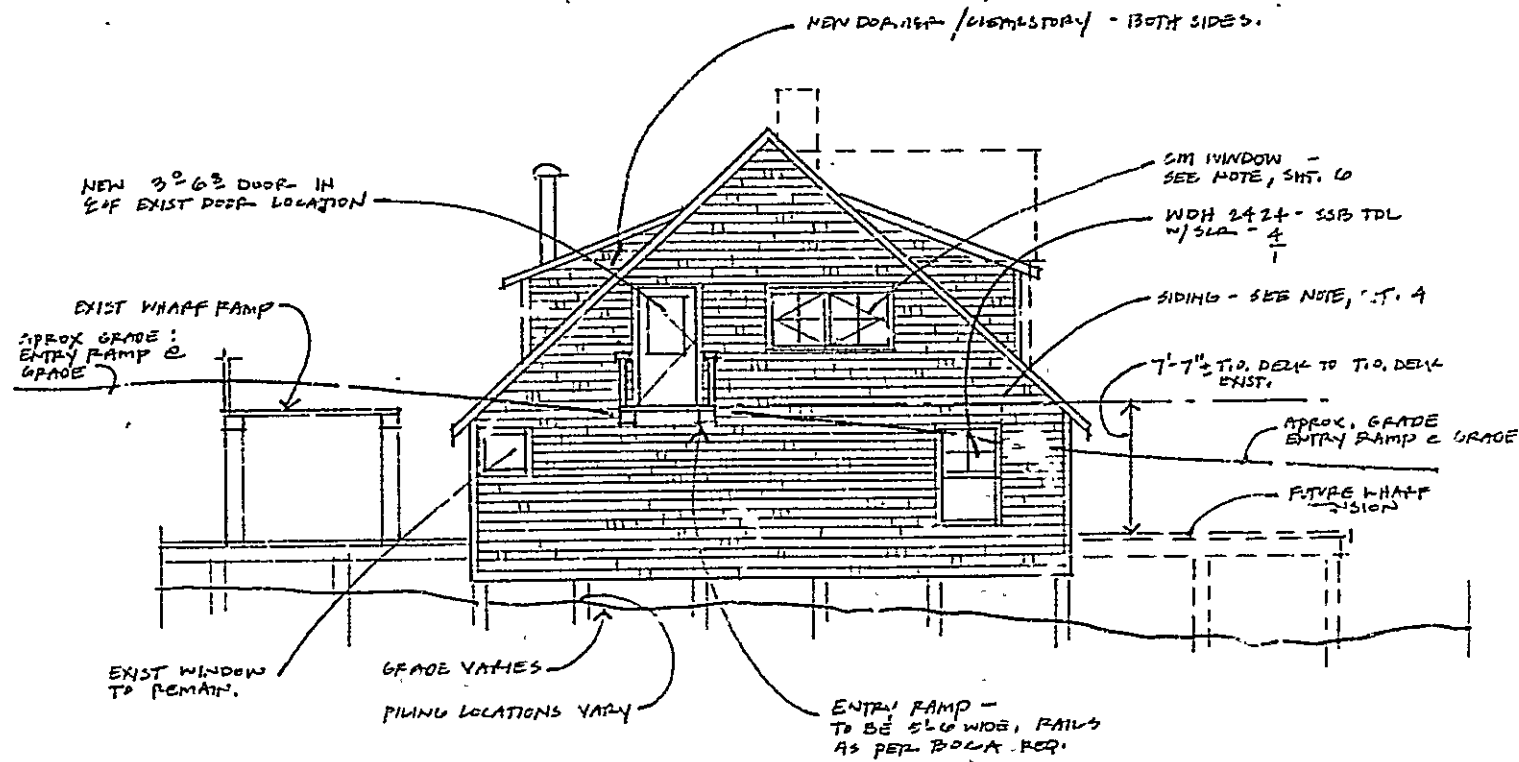
MARVIN WCM 2830 2W  
55B - TDL W/ SCR. 4 UNIT SQ. (OR SIM.)  
FIXED SASH OPERATING SASH



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JUL 10 1992  
DEPT OF BUILDING INSPECTIONS  
CITY OF PORTLAND

Little Diamond Island Boathouse - Kip Moore  
Whitten Architects 37 Silver St. Box 404 Portland, Me. 04112

6  
North Elevation  
Scale: 1/8" = 1'-0" Date: 9 July 1992.  
207-774-0111 Fax: 207-775-3744

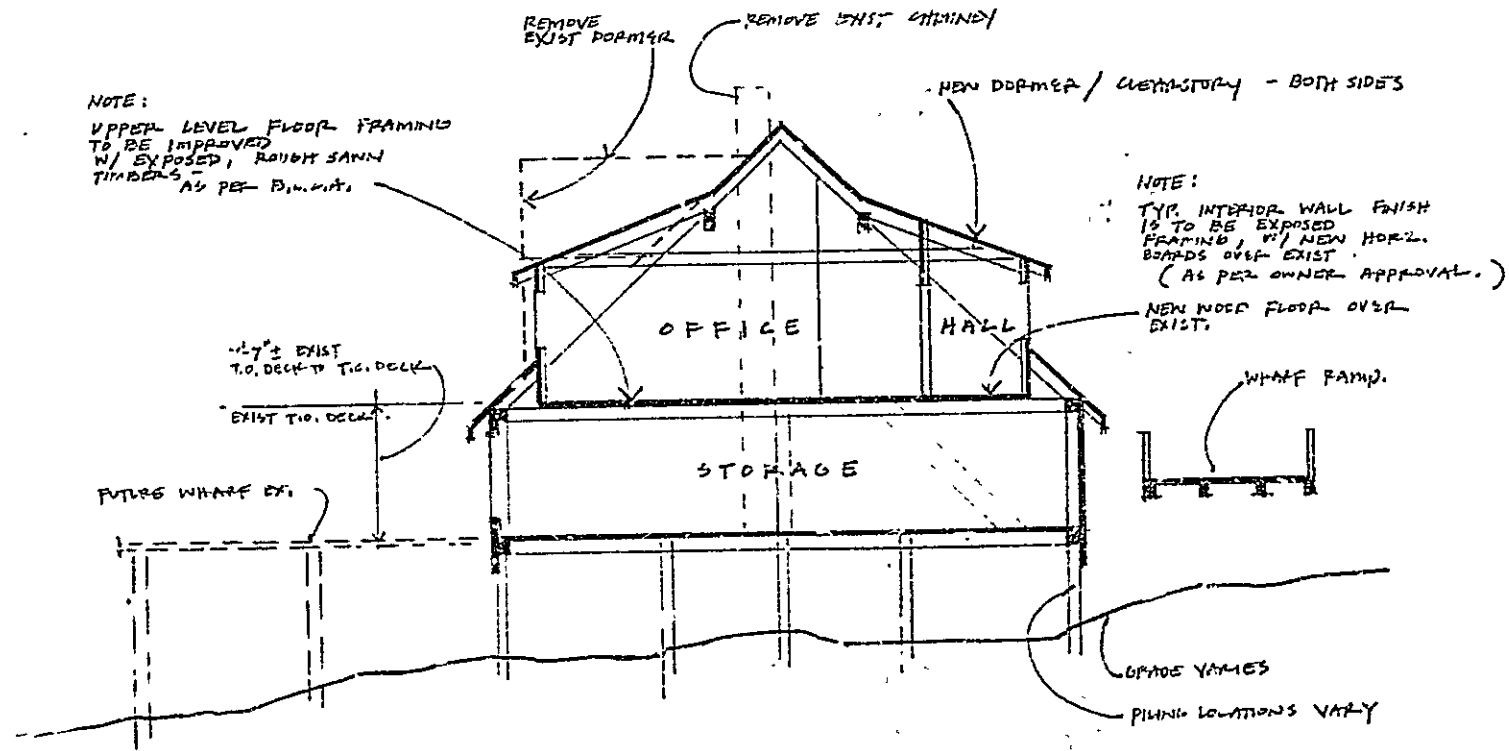


Little Diamond Island Boatouse - Kip Moore

Whitten Architects 37 Silver St Box 404 Portland, Me. 04112

7  
West Elevation  
Scale: 1/8" = 1'-0" Date: 9 July 1992

207-774-0111 Fax: 207-775-3744



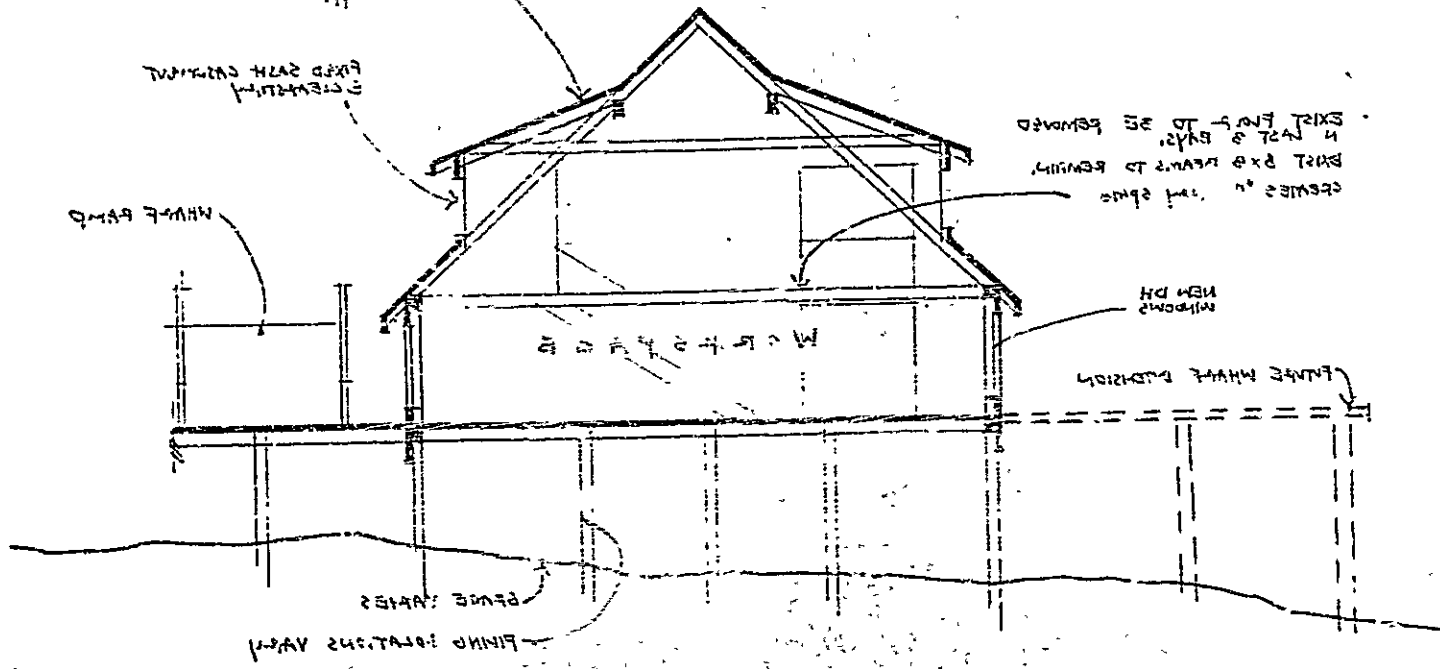
Little Diamond Island Boathouse - Kip Moore

Whitten Architects 37 Silver St. Box 404 Portland, Me: 04112

8  
Building Section 'A' at Office/Storage - looking inland  
Scale: 1/8" = 1'-0" Date: 9 July 1992

207-774-0111 Fax: 207-775-3744

NOTE:  
 ROOF FINISH - BOTH NEW EXISTING  
 AND EXIST - TO BE  
 IMPROVED (VENEER ROUGH WITH  
 LININGS) AS PER BOVA  
 415.



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 JUL 1 1992  
 DEPT. OF BUILDING INSPECTIONS  
 CITY OF PORTLAND

Whitman Architects 37 Silver St. Box 40 Portland, Me. 04113  
 507-774-0111 Fax: 507-775-3744  
 Castle Diamond Island Boatouse - Kip Moore  
 Building Section B at Workspace - looking inland  
 Scale: 1/8" = 1'-0" Date: 9 July 1992

923906

Permit # City of Portland BUILDING PERMIT APPLICATION Fee \$445. Zone \_\_\_\_\_ Map # \_\_\_\_\_ Lot# \_\_\_\_\_  
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Charles G. Moore Phone # 212-945-2011  
Address: Suite #3601; World Financial Ctr. New York;

LOCATION OF CONSTRUCTION Rockledge Ave - Little Diamond Is  
05-7-21-25,27

Contractor: \_\_\_\_\_ Sub. \_\_\_\_\_

Address: \_\_\_\_\_ Phone # \_\_\_\_\_

Est. Construction Cost: 85,000 Proposed Use: 1-fam w r nov boathouse

Past Use: 1-fam w boat house

# of Existing Res. Units \_\_\_\_\_ # of New Res. Units \_\_\_\_\_

Building Dimensions L \_\_\_\_\_ W \_\_\_\_\_ Total Sq. Ft. \_\_\_\_\_

# Stories: \_\_\_\_\_ # Bedrooms \_\_\_\_\_ Lot Size: \_\_\_\_\_

Is Proposed Use: Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Conversion \_\_\_\_\_  
Explain Conversion Interior/exte for renovations to boathouse  
(no change in footprint)

CONTACT PERSON: Will Winkelman - 774-0111

Foundation: \_\_\_\_\_ (architect)

1. Type of Soil: Box 404
2. Set Backs - Front \_\_\_\_\_ Rear \_\_\_\_\_ (ft)
3. Footings Size: PTD, ME 04112
4. Foundation Size: \_\_\_\_\_
5. Other: Whitten Architects

Floor: \_\_\_\_\_

1. Sills Size: \_\_\_\_\_ Sills must be anchored.
2. Girder Size: \_\_\_\_\_
3. Lally Column Spacing: \_\_\_\_\_ Size: \_\_\_\_\_
4. Joists Size: \_\_\_\_\_ Spacing 16" O.C.
5. Bridging Type: \_\_\_\_\_ Size: \_\_\_\_\_
6. Floor Sheathing Type: \_\_\_\_\_ Size: \_\_\_\_\_
7. Other Material: \_\_\_\_\_

Exterior Walls: \_\_\_\_\_

1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_
2. No. windows \_\_\_\_\_
3. No. Doors \_\_\_\_\_
4. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_
5. Bracing: Yes \_\_\_\_\_ No \_\_\_\_\_
6. Corner Posts Size \_\_\_\_\_
7. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_
8. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_
9. Siding Type \_\_\_\_\_ Weather Exposure \_\_\_\_\_
10. Masonry Materials \_\_\_\_\_
11. Metal Materials \_\_\_\_\_

Interior Walls: \_\_\_\_\_

1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_
2. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_
3. Wall Covering Type \_\_\_\_\_
4. Fire Wall if required \_\_\_\_\_
5. Other Materials \_\_\_\_\_

White - Tax Assessor

NY 10281 For Official Use Only PERMIT ISSUED

Date: 7/10/92 Subdivision: \_\_\_\_\_  
 Inland Use Code: (Waterbury Point) No. \_\_\_\_\_  
 Bldg Code: \_\_\_\_\_ Lot: \_\_\_\_\_  
 Time Limit: \_\_\_\_\_ Ownership: \_\_\_\_\_  
 Estimated Cost: 85,000 Public \_\_\_\_\_ Private \_\_\_\_\_

Street Frontage Provided \_\_\_\_\_  
 Provided Setbacks: Front \_\_\_\_\_ Back \_\_\_\_\_ Side \_\_\_\_\_  
 Review Required:  
 Zoning Board Approval Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning Board Approval Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
 Conditional Use \_\_\_\_\_ Variance \_\_\_\_\_ Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_  
 Shoreland Zoning Yes \_\_\_\_\_ No \_\_\_\_\_ Floodplain Yes \_\_\_\_\_ No \_\_\_\_\_  
 Special Exception \_\_\_\_\_  
 Other (Explain) DDP 7-13-92

Ceiling: \_\_\_\_\_ HISTORIC PRESERVATION

1. Ceiling Joists Size \_\_\_\_\_
2. Ceiling Strapping Size \_\_\_\_\_ Spacing \_\_\_\_\_
3. Type Ceilings \_\_\_\_\_
4. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_
5. Ceiling Height: \_\_\_\_\_

Roof: \_\_\_\_\_

1. Truss or Rafter Size \_\_\_\_\_ Span \_\_\_\_\_ Action: Approved
2. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_
3. Covering Type \_\_\_\_\_

Plumbing: \_\_\_\_\_

Number of Fire Places: \_\_\_\_\_

Smoke Detector Required Yes \_\_\_\_\_ No \_\_\_\_\_

soil test if required Yes \_\_\_\_\_ No \_\_\_\_\_

or Showers \_\_\_\_\_

1. No. of Sinks \_\_\_\_\_
2. No. of Lavatories \_\_\_\_\_
3. No. of Other Fixtures \_\_\_\_\_

Swimming Pools: \_\_\_\_\_

1. Type \_\_\_\_\_
2. Size \_\_\_\_\_ Square Footage \_\_\_\_\_
3. Uniform to National Electrical Code and State Law.

Signature of Applicant: Will Winkelman  
 Signature of District: Louise

CONTINUED TO REVERSE SIDE  
Ivory Tag - CEO

PERMIT ISSUED WITH LETTER  
 PERMIT ISSUED WITH LETTER  
 PERMIT ISSUED WITH LETTER  
 JULY 92  
 10/11/92