

EVERGREEN LDG. PEAKS ISLAND

92-G-42

# CITY OF PORTLAND, MAINE

## Application for Permit to Install Wires

Permit No. \_\_\_\_\_  
 Issued 5/10 1977  
 Portland, Maine

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

*(This form must be completely filled out — Minimum Fee, \$1.00)*

Owner's Name and Address Douglas Malone Tel. \_\_\_\_\_

Contractor's Name and Address CURRY Elec. Tel. \_\_\_\_\_

Location EVERGREEN LANDING PEAKS Island Use of Building \_\_\_\_\_

Number of Families \_\_\_\_\_ Apartments \_\_\_\_\_ Stores \_\_\_\_\_ Number of Stories \_\_\_\_\_

Description of Wiring: New Work \_\_\_\_\_ Additions \_\_\_\_\_ Alterations

Pipe .. Cable .. Metal Molding .. BX Cable .. Plug Molding (No. of feet) ..

No. Light Outlets .. Plugs .. Light Circuits .. Plug Circuits ..

FIXTURES: No. \_\_\_\_\_ Fluor. or Strip Lighting (No. feet) \_\_\_\_\_

SERVICE: Pipe .. Cable  .. Underground .. No. of Wires 3 Size 2

METERS: Relocated .. Added .. Total No. Meters \_\_\_\_\_

MOTORS: Number .. Phase .. H. P. .. Amps .. Volts .. Starter ..

HEATING UNITS: Domestic (Oil) .. No. Motors .. Phase .. H.P. ..

Commercial (Oil) .. No. Motors .. Phase .. H.P. ..

Electric Heat (No. of Rooms) \_\_\_\_\_

APPLIANCES: No. Ranges .. Watts .. Brand Feeds (Size and No.) ..

Elec. Heaters .. Watts ..

Miscellaneous .. Watts .. Extra Cabinets or Panels ..

Transformers .. Air Conditioners (No. Units) .. Signs (No. Units) ..

Will commence ... 19 Ready to cover in 19 Inspection 19

Amount of Fee \$ 1.00

Signed B. Curry Pres.

DO NOT WRITE BELOW THIS LINE

SERVICE .. .. .	METER	GROUND <input checked="" type="checkbox"/>
VISITS: 1 .. .. .	2 .. .. .	3 .. .. .
4 .. .. .	5 .. .. .	6 .. .. .
7 .. .. .	8 .. .. .	9 .. .. .
10 .. .. .	11 .. .. .	12 .. .. .

REMARKS:

INSPECTED BY J. H. [Signature]  
 (OVER)

Peaks Isl.

LOCATION *Evergreen Landing*  
INSPECTION DATE *6/5/73*  
WORK COMPLETED *6/5/73*  
TOTAL NO. INSPECTIONS *1*  
REMARKS:

FEEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING

1 to 30 Outlets \$ 2.00  
31 to 60 Outlets 3.00

Over 60 Outlets, each Outlet .05  
(Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).

SERVICES

Single Phase 2.00  
Three Phase 4.00

MOTORS

Not exceeding 50 H.P. 3.00  
Over 50 H.P. 4.00

HEATING UNITS

Domestic (Oil) 2.00  
Commercial (Oil) 4.00  
Electric Heat (Each Room) .75

APPLIANCES

Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Built-in Dishwashers, Dryers, and any permanent built-in appliance — each unit 1.50

MISCELLANEOUS

Temporary Service, Single Phase 1.00  
Temporary Service, Three Phase 2.00  
Circuses, Carnivals, Fairs, etc. 10.00  
Meters, relocate 1.00  
Distribution Cabinet or Panel, per unit 1.00  
Transformers, per unit 2.00

# CITY OF PORTLAND, MAINE

## Application for Permit to Install Wires

Permit No. **1035**

Issued

Portland, Maine **Dec. 18** . . . . 19**73**

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out — Minimum Fee, \$1.00)

Owner's Name and Address **Arnold Bates Evergreen Landscaping Peaks Island**

Contractor's Name and Address **E. Corcoran Peaks Island**

Location **Evergreen Landscaping**

Use of Building **Dwelling**

Number of Stories **1 1/2**

Description of Wiring: **New Work**

Pipe . . . Cable . . . Metal Molding . . . BX Cable . . . Plug Molding (No. of feet) . . .  
 No. Light Outlets . . . Plugs . . . Light Circuits . . . Plug Circuits . . .  
**FIXTURES:** No. . . . . Fluor. or Strip Lighting (No. feet) . . . . .

**SERVICE:** Pipe . . . Cable  Underground . . . No. of Wires **3** Size **No. 2**  
**METERS:** Relocated  Added . . . Total No. Meters **1**

**MOTORS:** Number **1** Phase **1** H. P. **3/4** Amps . . . Volts **270** Starter . . .  
**HEATING UNITS:** Domestic (Oil) . . . No. Motors . . . Phase . . . H.P. . . .  
 Commercial (Oil) . . . No. Motors . . . Phase . . . H.P. . . .  
 Electric Heat (No. of Rooms) . . . . .

**APPLIANCES:** No. Ranges . . . Watts . . . Brand Feeds (Size and No.) . . .  
 Elec. Heaters . . . Watts . . . Extra Cabinets or Panels . . .  
 Miscellaneous . . . Watts . . . Signs (No. Units) . . .

Transformers . . . Air Conditioners (No. Units) . . . 19 Inspection **12-19** 19**73**  
 Will commence **12-19** 19**73** Ready to cover in . . . . .

Amount of Fee \$ **5.00**

Signed **Edmund E. Corcoran**

DO NOT WRITE BELOW THIS LINE

SERVICE . . . . .	METER . . . . .		GROUND . . . . .		
VISITS: 1 . . . . . 2	3 . . . . . 4	5	6 . . . . .	7 . . . . .	8 . . . . .
7 . . . . . 8	9 . . . . . 10	11 . . . . .	12 . . . . .		
REMARKS:					

INSPECTED BY

(OVER)



# APPLICATION FOR PERMIT

PERMIT ISSUED

Class of Building or Type of Structure Third Class (Log) FEB 19 1935

Portland, Maine, February 9, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ ~~also install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Evergreen Landing, Peaks Ward Inl. 2 Within Fire Limits? no Dist. No. \_\_\_\_\_  
 Owner's or Lessee's name and address Mrs. Ethel F. Barker, 1608 Penn. Ave. Telephone \_\_\_\_\_  
 Contractor's name and address Jasper Haynes, Norcross, Wilmington Del. Telephone \_\_\_\_\_  
 Architect's name and address \_\_\_\_\_  
 Proposed use of building 1 car garage No. families \_\_\_\_\_  
 Other buildings on same lot 1 family su mtr cottage  
 Plans filed as part of this application? yes No. of sheets \_\_\_\_\_  
 Estimated cost \$ 150. Fee \$ .75

### Description of Present Building to be Altered

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_

### General Description of New Work

To erect one car frame (log) garage 10' x 18'

NOTIFICATION BEFORE LAYING OR CLOSING-IN IS WAIVED.

CERTIFICATE OF COMPLETION IS WAIVED.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

### Details of New Work

Size, front 10' depth 18' Height average grade to top of plate 11'  
 To be erected on solid or filled land? solid Height average grade to highest point of roof 8'  
 Material of foundation stone earth or rock? ledge  
 Material of underpinning \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
 Kind of Roof pitch Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Rise per foot 7" Roof covering asphalt shingles Class C Und. Lab.  
 No. of chimneys no Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
 Kind of heat no Type of fuel \_\_\_\_\_ In gas fitting involved? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
 Joists and rafters: 1st floor dirt, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 4" diam.  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2"  
 Max. imum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_  
 If a Garage  
 No. cars now accommodated on same lot none, to be accommodated 1  
 Total number commercial cars to be accommodated no  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

### Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? \_\_\_\_\_

INSPECTION COPY

Signature of owner Mrs. Ethel F. Barker

By Jasper Haynes

CHIEF OF FIRE DEPT.

3771B1

Ward ~~2nd~~ Permit No. 35/191

Location ~~Evergreen Pk. Peaks~~

Owner - Ethel W. Becker

Date of permit 2/19/35

Notif. closing-in 92

Inspn. closing-in 6-12  
42

Final Notif.

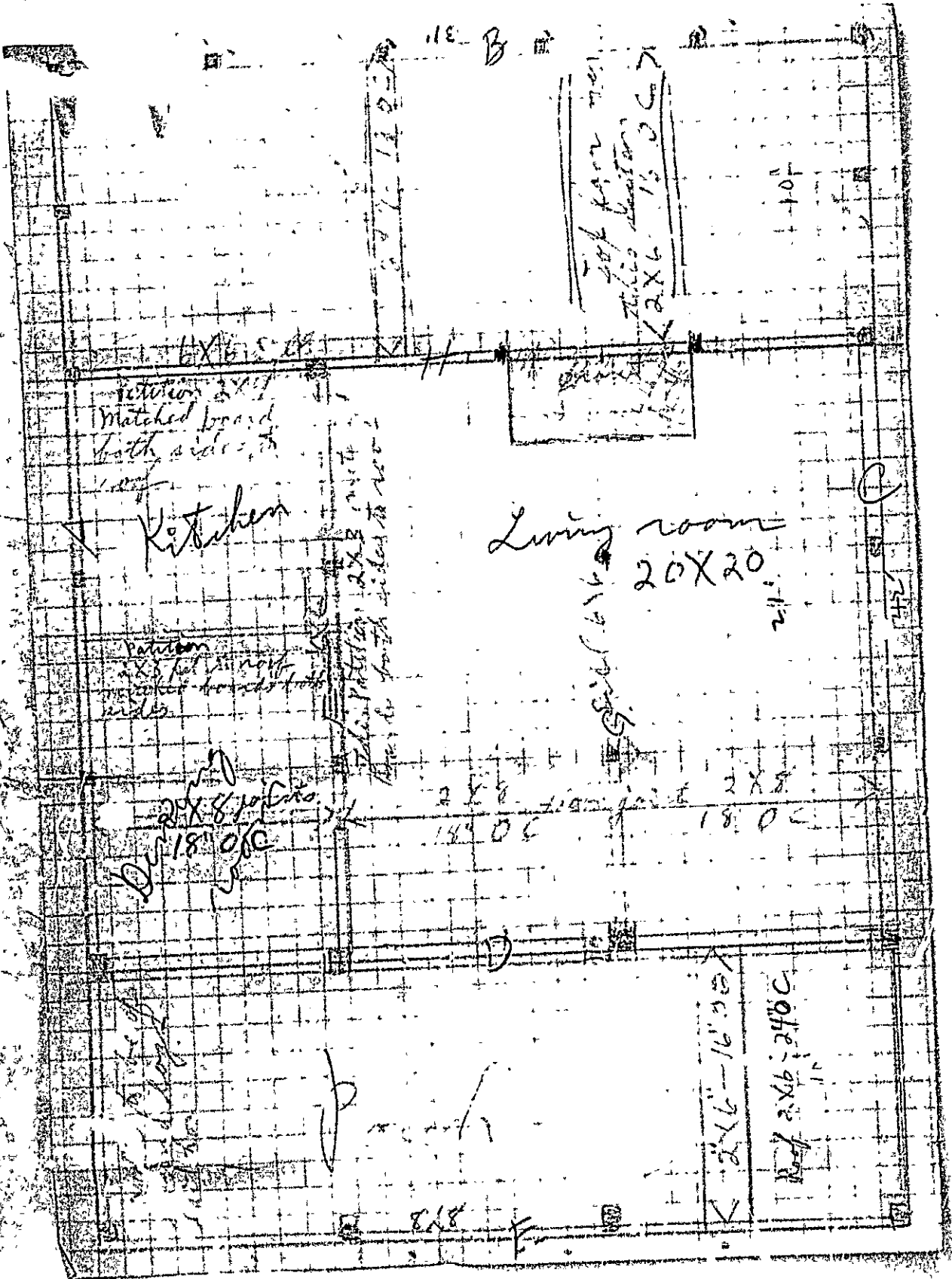
Final Inspn. 7/17/35 J.D.

Cert. of Occupancy issued - None

~~5/17/35~~ NOTES

~~5/17/35 Foundation  
for garage of stones  
on ledge made. Lo-  
cation of building  
has been changed  
somewhat from that  
shown on plan but  
is even farther from  
right than than  
before & much farther  
from lot line than  
is required - A.G.~~

~~6/21/35 - walls laid  
up - A.G.~~



18 B

top floor  
this section  
2X6-18'0"

2X6-18'0"  
Kitchen  
Matched board  
both sides  
18'0"

Living room  
20X20

pantry  
2X8 top  
18'0"

Dining  
20X8  
18'0"

2X8  
18'0"

2X8  
18'0"

2X6-16'0"

20'0" x 20'0"

18'0"

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for log cabin (summer cottage)

at Evergreen Landing, Peaks Island

Date 2/9/35

1. In whose name is the title of the property now recorded? Ms. Ethel W. Becker
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? yes. run in rock & drilled hole in ledge
3. Is the outline of the proposed work now staked out upon the ground? yes If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? \_\_\_\_\_
4. What is to be maximum projection or overhang of eaves or drip? 4"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches, and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Jasper Haynes



Fin original: for log = 0.098 d<sup>3</sup>

Becken Bay bath - Peako Island <sup>2/19/31</sup>  
1st and 2nd floor joints OK.

Cell 4 + 3 -  $5 \times 7 \times 45 + 15 \times 7 \times 30 = 1575 + 3150 = 4725$

Reg S =  $\frac{4725 \times 7 \times 1.5}{1100} = 45.1$  Reg. 5

8" log = S of  $0.098 \times 512 = 50.17$

7" " = S of  $0.098 \times 343 = 33.6$

6" " = S of  $0.098 \times 216 = 21.2$

4" " = S of  $0.098 \times 729 = 71.4$

10" " = S of  $0.098 \times 1000 = 98.0$

Cell 3 -  $6 \times 5 \times 60 = 1800$  add wall 700 = 2500

Reg S =  $\frac{2500 \times 6 \times 1.5}{1100} = \frac{2250}{11} = 20.4$

6" log on 4 x 6 OK.

Cell 2 -  $10 \times 5 \times 90 = 4500$  \*

Reg S =  $\frac{4500 \times 10 \times 1.5}{1100} = 61.3$

7" log on 6 x 8 OK

Cell 1 of 20 open =  $7 \times 5 \times 90 = 3150$

Reg S =  $\frac{3150 \times 7 \times 1.5}{1100} = 30.1$

7" log on 6 x 6 OK

Cell 1 -  $10 \times 3.0 \times 45 + 10 \times 12 \times 10 = 1575 + 1200 = 2775$

Reg S =  $\frac{2775 \times 10 \times 1.5}{1100} = 37.8$

7" log on 6 x 8 OK

Cell 1 F + 5 =  $7 \times 10 \times 45 = 3150$

Reg S =  $\frac{3150 \times 7 \times 1.5}{1100} = 30.01$

7" log on 6 x 6 OK

Becken-berg Bohrin (2)

$$\text{Juden } H = 10 \times 5 \times 60 + 80 \times 5 \times 12 = 3000 + 6000 = 9000$$

$$\text{Reg. S} = \frac{3273 + 50 \times 10 \times 1.5}{1.5} = 4905$$

811 kg in 6 x 8 5k

February 20, 1935

File Receipt No. 37708-1

Mr. Jasper Haynes,  
Peaks Island,  
Maine.

Dear Sir:

Enclosed is the building permit covering erection of a log cabin to be used as a summer cottage for Mrs. Ethel W. Becker of Wilmington, Delaware.

This log cabin construction is considerably at variance with the usual detailed requirements of our Building Code, but I am issuing this permit with the understanding that the cabin is to be put up in a substantial manner, that the logs are to be fastened together with large spikes, that the building is to be tied thoroughly together so as to avoid spreading due to the pitch roof and that all headers, etc. over windows and doors are to be thoroughly supported.

I have examined the supporting sills and girders of the structure quite carefully and am giving you the results of this investigation herewith. It should be understood, however, that these sizes are worked out from my understanding of your proposition and the City of Portland assumes no responsibility whatever for these figures as regards safety.

The sills under the side walls of the cabin have piers seven feet on centers and either an eight inch log or 6x8 should prove satisfactory. The sill under the rear wall has piers six feet on centers and a six inch log or 6x6 should prove satisfactory. Under the front of the porch you have shown piers or posts ten feet on centers and with this span a nine inch log or 6x8 should be satisfactory. If you desire to cut the span of this sill to seven feet, a seven inch log or 6x6 should be satisfactory. The piers under the front wall of the cottage are ten feet on centers and an eight inch log or a 6x8 should prove satisfactory. The two inside girders running from front to back have piers seven feet on centers and a seven inch log or 6x6 should be satisfactory. One of these girders may rest on the foundation of the airplane if there is to be no open space under the hearth and if the woodwork is not close to the hearth otherwise a separate pier should be built. The crosswise girder ten feet from the rear wall has a maximum span of ten feet and an eight inch log or 6x8 should be satisfactory.

Moreover I have given the diameter of the log it is meant to be the minimum diameter taking the entire span into account and these sizes do not allow for flattening any part of the log near the middle of the span.

Mr. Jasper Hayes— 2

All concrete piers should be no less than 8" x 8" at the top and larger if more than four feet in height. Wherever wooden piers are used which you referred to as being eleven feet long in some cases, knee braces should be used at the top of the posts. All posts should have a flat bearing on the ledger or pier and should be anchored.

It is understood that you have not made up your mind whether you will use logs for rafters or dry sawn lumber and that you will let us know about this detail before you start erecting the roof.

The garage permit enclosed also.

Very truly yours,

Inspector of Buildings.

McD/H



APARTMENT HOUSE CODE  
**APPLICATION FOR PERMIT** **PERMIT ISSUED**  
**0190**

Class of Building or Type of Structure Third Class **FEB 19 1935**

Portland, Maine, **February 9, 1935**

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~insert~~ the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location: Evergreen Land, Peaks Island Ward Isl. 2 Within Fire Limits? no Dist. No. \_\_\_\_\_  
 Owner's or lessee's name and address: Wm. H. Buckner, 1608 Penn. Ave., Wilmington, Del. Telephone \_\_\_\_\_  
 Contractor's name and address: Jasper H. Payne, Peaks Island, Maine Telephone \_\_\_\_\_  
 Architect's name and address: \_\_\_\_\_

Proposed use of building Summer Cottage No. families \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Plans filed as part of this application? yes No. of sheets 1  
 Estimated cost \$ 2500. Fee \$ 1.25

**Description of Present Building to be Altered**

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_

**General Description of New Work**

To erect one story log cabin 31' x 42'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

**DETAILS OF NEW WORK**

Size, front 31' depth 42' No. stories 1 Height average grade to top of plate \_\_\_\_\_  
 To be erected on solid or filled land? solid Height average grade to highest point of roof 20'  
 Material of foundation concrete piers 6" dia earth or rock? ledge  
 Material of underpinning \_\_\_\_\_ Thickness, top 8" square bottom 14" square  
 Kind of Roof pitch Rise per foot 9" Roof covering Asphalt shingles Class C Und. Lch  
 No. of chimneys 1 Material of chimneys stone 12" thick of lining tile  
 Kind of heat stove Type of fuel \_\_\_\_\_ Is gas fitting involved? no  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
 Joists and rafters: 1st floor 2x8, 2nd 2x8, 3rd \_\_\_\_\_, roof 5" diam  
 On centers: 1st floor 18", 2nd 18", 3rd \_\_\_\_\_, roof 2'  
 Maximum span: 1st floor 10', 2nd 10', 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

**If a Garage**

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_  
 Total number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

**Miscellaneous**

Will above work require removal or disturbing of any shade tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner. Mrs. Ethel H. Buckner  
 By Jasper H. Payne

37208

Ward 25 Permit No. 35/190  
 Location - Wagon Hdg. Peaks  
 Owner - Edel W. Becker  
 Date of permit - 2/19/35  
 Notif. closing-in - 92  
 Inspn. closing-in - 92  
 Final Notif. - 112

Final Inspn. - 7/17/35 (C.R.)  
 Cert. of Occupancy issued - 7/18/35

NOTES  
 3/12/35 - in at top  
 re-arrangement in  
 rafters of front  
 & rear portions  
 use of log  
 over front porch  
 on floor - also  
 roof - log rafters  
 and Mr. Haynes  
 to frame the  
 frame  
 4/25/35 - Part of floor  
 framed - A.G.S.  
 5/17/35 - Walls nearly  
 all constructed,  
 went over roof  
 framing & support

of roof with Mr.  
 Haynes. Roof over  
 living room which  
 has a pitch of 8"  
 to the foot will be  
 framed of logs at  
 least 6" thick at  
 large end spaced  
 24" o.c. with a big  
 purline spanning  
 the 14' width of  
 living room at the  
 center of the span  
 on one side (this  
 log being 12" in dia  
 at the large end and  
 at least 9" at the  
 small end); and  
 the rafters on the other  
 half supported  
 midway on a par-  
 tition. The rafters  
 over the rear portion  
 will be partly 2x4-2'  
 o.c. supported on  
 6x10 & 4x6 purlins so that  
 this span will not  
 exceed 4 1/2' + 4" dia  
 round logs - 24" o.c.  
 on a span not exceed-  
 ing 7'. Stone fireplace  
 chimney erected to  
 point above roof.

Cautioned Mr. Haynes  
 about keeping wood-  
 work at least 1'  
 away from chimney.  
 A.G.S.  
 6/7/35 - Work well  
 along. Sheathing  
 up partitions. Cautioned Mr. Haynes  
 about covering up  
 any electric wiring  
 until it has been  
 inspected & approved.  
 A.G.S.  
 6/12/35 - Work nearly  
 completed. Some  
 more supports to  
 be put in as agreed  
 upon with Mr.  
 Haynes A.G.S.  
 7/17/35 - Work seems com-  
 pleted and Mr. Seaw  
 said he thought every-  
 thing O.K. for certificate  
 of occupancy. Mr.  
 Howarth, chief insp.  
 said O.K. as far as his  
 work concerned.  
 C.R.