

PERMIT # 002275

CITY OF Portland

BUILDING PERMIT APPLICATION

MAP #

LOT#

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Steven MacIsaac - 617-877-7824

Address: 13 Francine Rd., Framingham, MA 01701

LOCATION OF CONSTRUCTION 92-G-31 Woods Rd., Peaks Island

CONTRACTOR: owner SUBCONTRACTORS: XXXXXXXXXXXXXXXX

ADDRESS:

Est. Construction Cost: \$50,000.00 Type of Use: Summer Cottage

Past Use: Vacant Lot

Building Dimensions 128' x 30' Sq Ft: 900 # Stories: 2 Lot Size: 25,676 X.P.

Is Proposed Use: Summer Cottage Seasonal Condominium Apartment

Conversion - Explain To construct Summer Cottage. 2 site plans and 1 construction plans;

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only: # Of Dwelling Units # Of New Dwelling Units

Foundation: 1. Type of Soil: 2. Set Backs - Front 3. Footings Size 4. Foundation Size 5. Other

Floor: 1. Sills Size: 2. Girder Size: 3. Lally Column Spacing 4. Joists Size: 5. Bridging Type 6. Floor Sheathing Type 7. Other Material:

Exterior Walls: 1. Studding Size 2. No. windows 3. No. Doors 4. Header Sizes 5. Bracing 6. Corner Posts Size 7. Insulation Type 8. Sheathing Type 9. Siding Type 10. Masonry Materials 11. Metal Materials

Interior Walls: 1. Studding Size 2. Header Size 3. Wall Covering Type 4. Fire Wall if required 5. Other Materials

For Official Use Only. Subdivision: Yes / No. Name: Date: May 5, 1989. Inside Fire Limits: Ely Code: Time Limit: Estimate Cost: \$50,000.00. Value/Structure Fee: \$270.00 & \$50.00 Site Plan Review. Permit Expiration: Ownership: Public Private.

Ceiling: 1. Ceiling Joists Size: 2. Ceiling Strapping Size 3. Type Ceiling: 4. Insulation Type 5. Ceiling Height:

Roof: 1. Truss or Rafter Size 2. Sheathing Type 3. Roof Covering Type 4. Other

Chimneys: Type: Number of Fire Places

Heating: Type of Heat: Electrical: Service Entrance: Smoke Detector Required Yes No

Plumbing: 1. Approval of soil test if required 2. No. of Tubs or Showers 3. No. of Flushes 4. No. of Lavatories 5. No. of Other Fixtures

Swimming Pools: 1. Type: 2. Pool Size: 3. Must conform to National Electrical Code and State Law.

Zoning: District: Street Frontage Req: Provided Side Required Setbacks: Front Back S.A. Side

Review Required: Zoning Board Approval: Yes No Date: Planning Board Approval: Yes No Date: Conditional Use: Variance Site Plan Subdivision Shore and Woodplain Mgmt. Special Exception Other (Explain): Date Approved:

Permit Received By: Nancy Grossman

Signature of Applicant: Steven MacIsaac Date: 5-5-89

Signature of CEO: [Signature] Date:

Inspection Dates: [Signature] White Tag - CEO

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CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

19

Applicant: Steven MacIsaac - 617-877-7824

Date: May 5, 1989

Mailing Address: 13 Francine Rd., Framingham, Mass 01701

Address of Proposed Site: 92-G-31 Wood Rd., Peaks Island

Proposed Use of Site: summer cottage

Site Identifier(s) from Assessors Maps: 92-G-31

Acres of Site: 7 / Ground Floor Coverage: 900 sq. ft.

Zoning of Proposed Site: IR-1

Site Location Review (DEP) Required: ( ) Yes ( ) No

Proposed Number of floors: 2

Board of Appeals Action Required: ( ) Yes ( ) No

Total Floor Area: XXXX 1620 sq ft

Planning Board Action Required: ( ) Yes ( ) No

Other Comments: \_\_\_\_\_

Date Dept. Review Due: \_\_\_\_\_

BUILDING DEPARTMENT SITE PLAN REVIEW

(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
- Requires Board of Appeals Action
- Requires Planning Board/City Council Action

Explanation: \_\_\_\_\_

Use complies with Zoning Ordinance - Staff Review Below

Zoning: IR-1  
SPACE & BULK, as applicable

COMPLIES

COMPLIES CONDITIONALLY

DOES NOT COMPLY

DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	30 FT. SETBACK AREA (SEC 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: OK W.D.H.P. 6-26-89

SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT—ORIGINAL

**CITY OF PORTLAND, MAINE**

**SITE PLAN REVIEW**

Processing Form

20

Applicant: Steven MacIsaac - 617-877-7824

Date: May 5, 1989

Mailing Address: 13 Francine Rd., Framingham, Mass 01701

Address of Proposed Site: 92-G-31 Wood Rd., Peaks Island

Proposed Use of Site: summer cottage

Site Identifier(s) from Assessors Maps: 92-G-31

Acres of Site: 1.7 Ground Floor Coverage: 900 sq ft

Zoning of Proposed Site: IR-1

Site Location Review (DEP) Required: ( ) Yes (  ) No

Proposed Number of Floors: 2

Board of Appeals Action Required: ( ) Yes ( ) No

Total Floor Area: 1620 sq ft

Planning Board Action Required: ( ) Yes ( ) No

Other Comments: \_\_\_\_\_

Date Dept. Review Due: \_\_\_\_\_

**PUBLIC WORKS DEPARTMENT REVIEW**

(Date Received) \_\_\_\_\_

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	CONDITIONS SPECIFIED BELOW
APPROVED																
APPROVED CONDITIONALLY																
DISAPPROVED																REASONS SPECIFIED BELOW

REASONS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

(Attach Separate Sheet if Necessary)

*[Signature]*  
 INATURE OF REVIEWING STAFF/DATE: 6/22/89

PUBLIC WORKS DEPARTMENT COPY

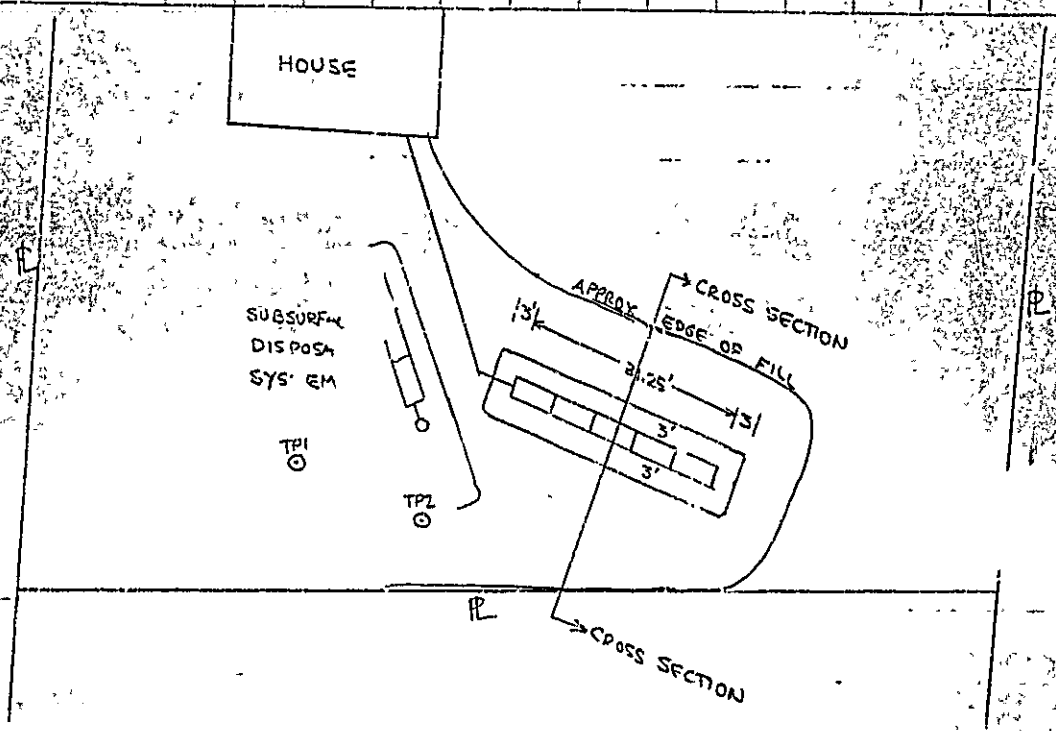
**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Department of Human Services  
Division of Health Engineering

Town, City, Parish: **PORTLAND PEAKS ISLAND** Street, Road, Subdivision: **WOODS RD 92-G-31** Owners Name: **STEVEN MACISAAC**

**SUBSURFACE WASTEWATER DISPOSAL PLAN**

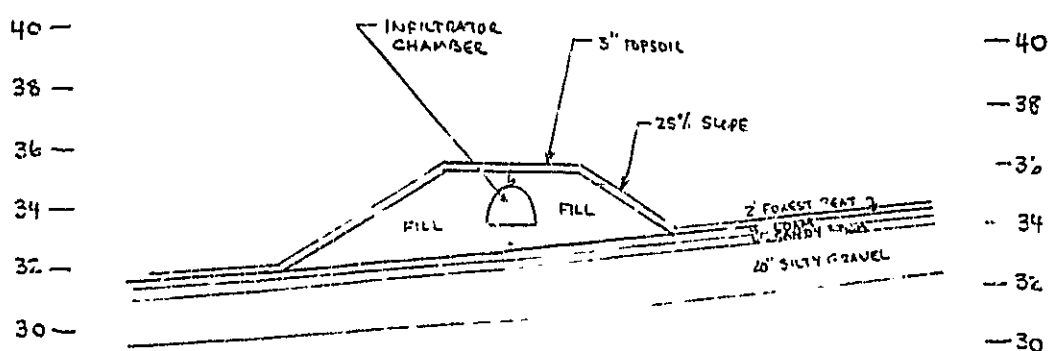
Scale 1" = 20' Ft.



FILL REQUIREMENTS		CONSTRUCTION ELEVATIONS		ELEVATION REFERENCE POINT LOCATION & DESCRIPTION	
Depth of Fill (Upslope)	32"	Reference Elevation Is	34.09	SPIKE IN 8" SPRUCE NEAR HOUSE	
Depth of Fill (Downslope)	32"	Bottom of Disposal Area	33.66		
		Top of Distribution Lines or Chambers	34.91		

**DISPOSAL AREA CROSS SECTION**

Scale:  
Vertical: 1 inch = 4 Ft.  
Horizontal: 1 inch = 10 Ft.



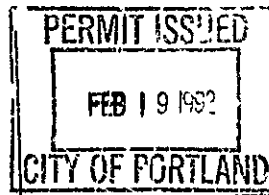
*William B. Cochran*  
State Evaluator or Professional Engineer's Signature

0003/4814  
SE #/PE #

5/2/89  
Date



# APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. 1

Portland, Maine, 2/10/92

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 89/2275 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Woods Rd - Peaks Island Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address Steve MacIsaac 92-G-310 Telephone 766-2308  
 Lessee's name and address 59 Highland Ave - Peaks Isl, ME 04108 Telephone \_\_\_\_\_  
 Contractor's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Plans filed \_\_\_\_\_ No. of sheets \_\_\_\_\_  
 Proposed use of building 1-family dwelling No. families \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Increased cost of work \_\_\_\_\_ Additional fee \$25.

### Description of Proposed Work

Switch the locations of driveway & house

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point on roof \_\_\_\_\_  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
 Framing lumber -- Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Jirt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Approved: WMA 2-19-92

Signature of Owner: Steve MacIsaac  
 Approved: \_\_\_\_\_  
 Insp. for of Buildings

INSPECTION COPY -- WHITE  
 APPLICANT'S COPY -- YELLOW  
 FILE COPY -- PINK  
 ASSESSOR'S COPY -- GOLDEN



2-7-92  
called Mrs. MacI  
- Lee

RECEIVED

FEB 06 1992

DEPT. OF BUILDING INSPECTIONS  
CITY OF PORTLAND

59 Highland Ave.  
Peaks Island, Me.  
04108  
Feb. 3, 1992

Mr. William Giroux  
Building Inspections Dept.  
Portland City Hall  
389 Congress St.  
Portland, Maine 04101

Re: Proposed  
Amendment to  
Building Permit  
No. 002275

92-G-31

Dear Mr. Giroux:

June 89

This is an application for an amendment to Building Permit No. 002275 issued for a summer cottage on Woods Road, Peaks Island.

In order to take better advantage of the ocean view from this lot it is proposed that the location of the driveway and the house be switched (see attached site plan - hand drawn figures are proposed sites). The height of the house from the sill to the peak of the roof will be 24 feet, including the foundation it will be 29 feet. The piers underpinning the house will be 5 feet above grade eliminating the need to pump the sewerage to the septic tank.

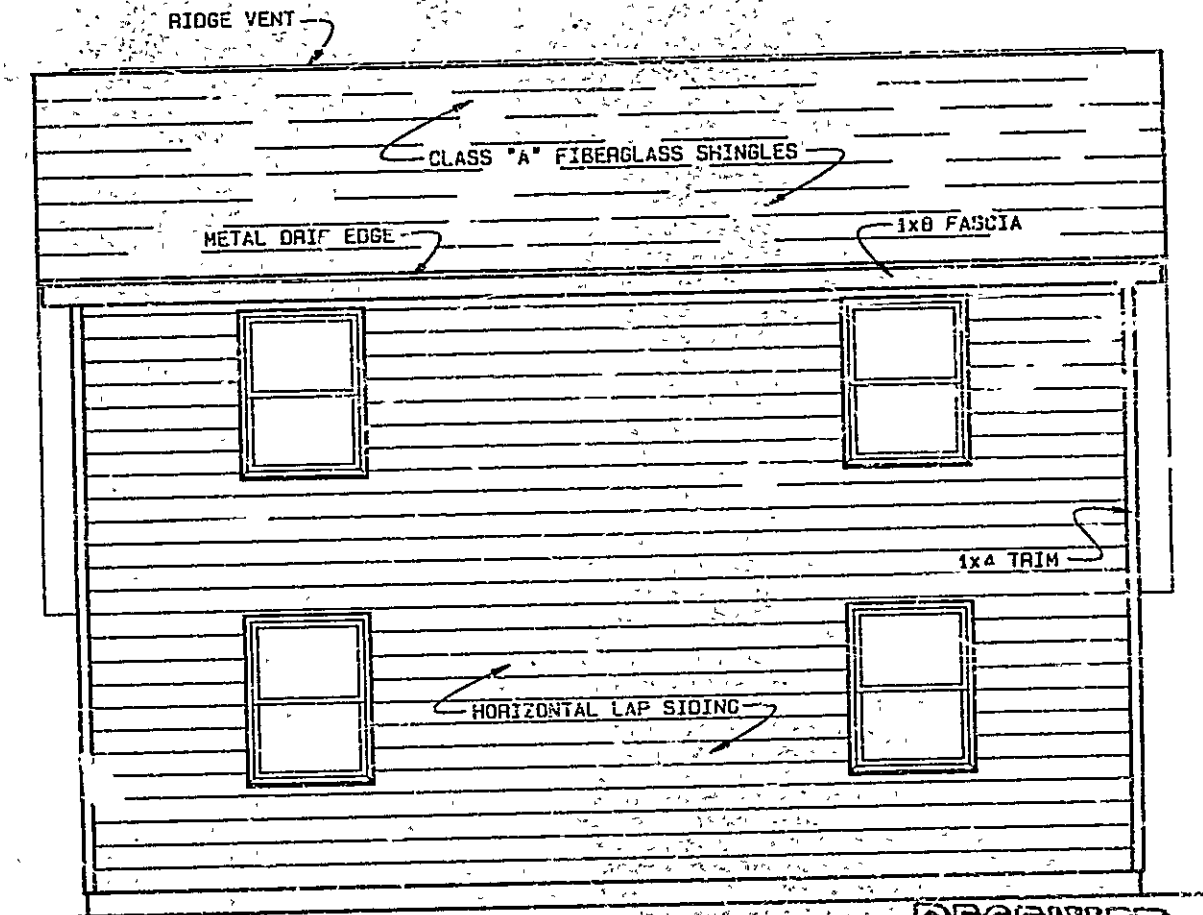
The overall grading and drainage plan of the lot will not change as a result of this proposal. The drainage swale pictured on the plan will run under the driveway in a culvert as it did on the original plan.

\* Please advise us at 765-2308 if any other information is required for your review of this proposal.

Sincerely,

Steve MacI  
Steve MacIaac

P.S. Attached are revised house flows permit is OK + current  
2-10-92  
per J Hoffes  
le



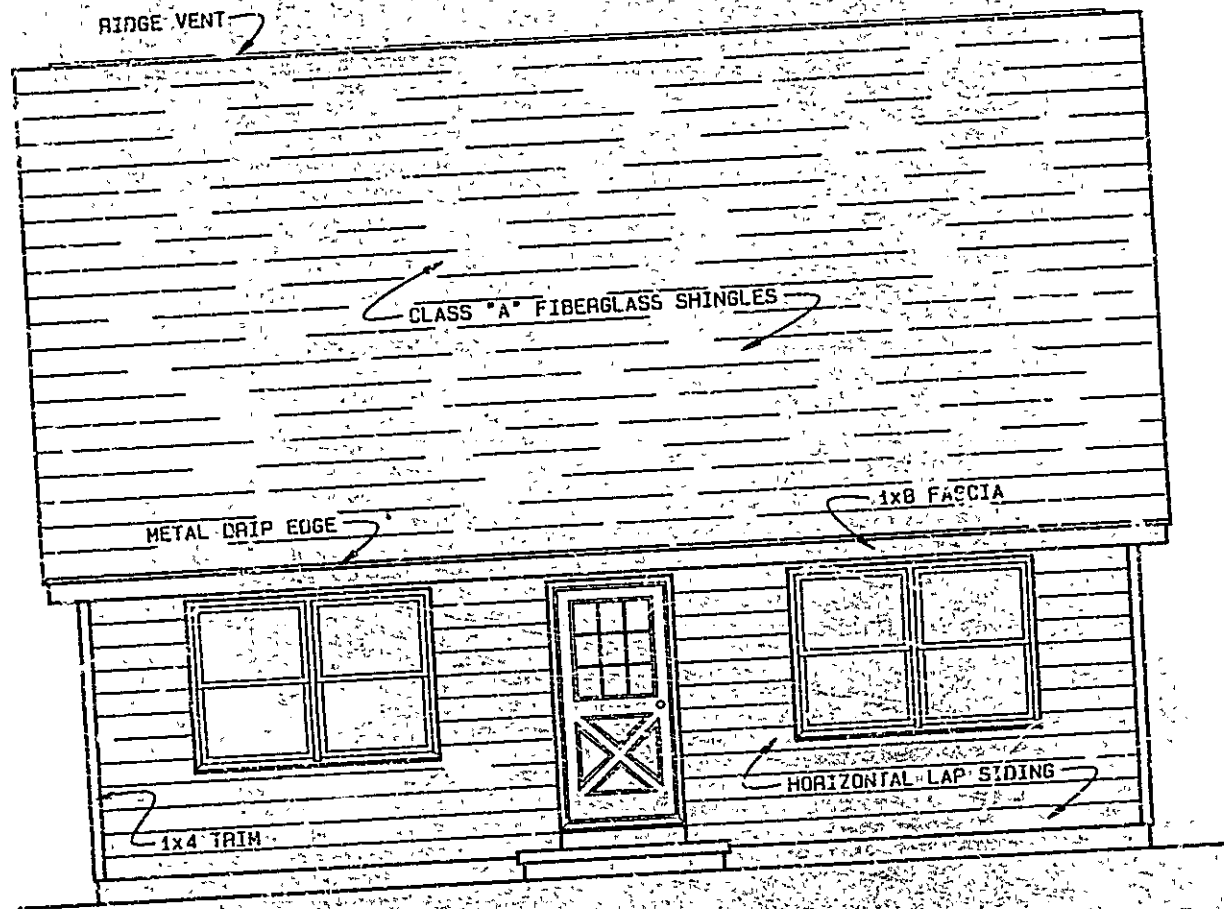
REAR

Scale: 1/4" = 1'-0"

RECEIVED

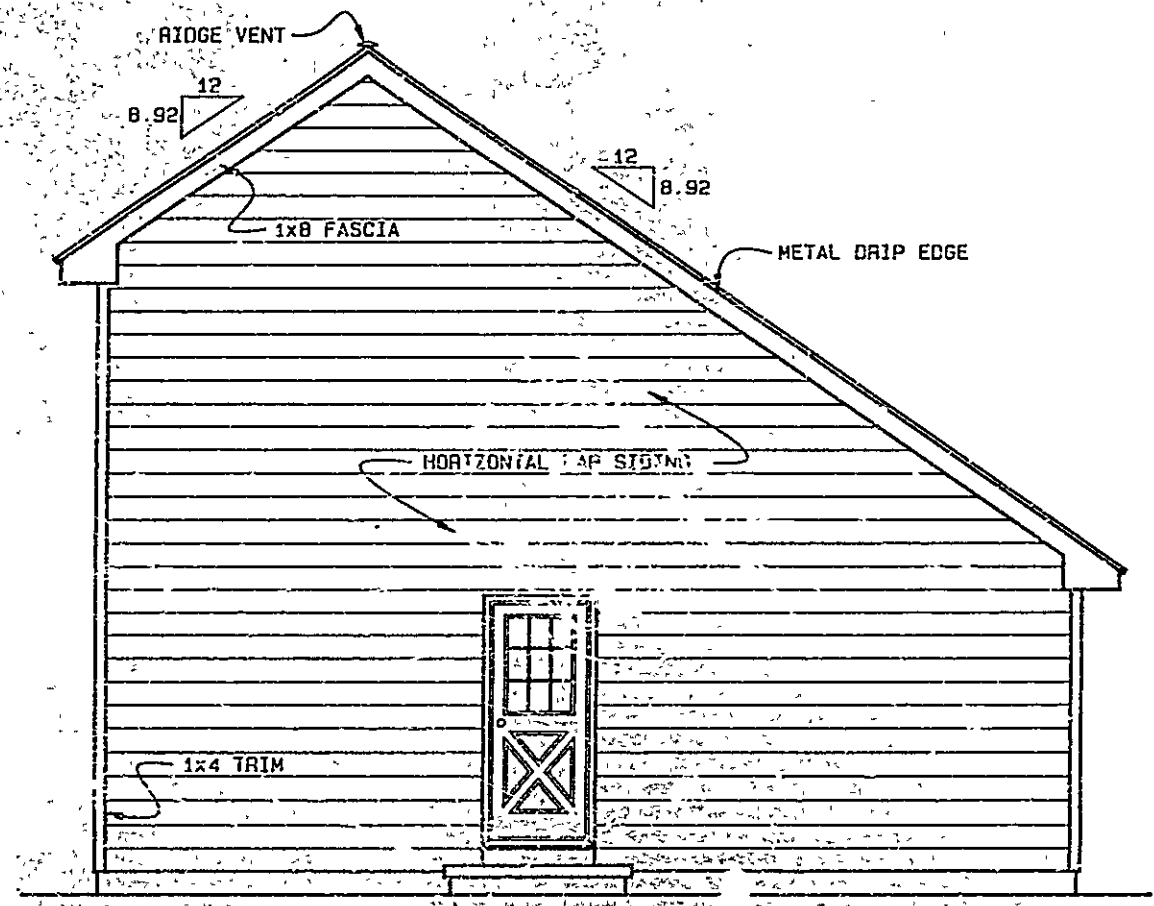
FEB 06 1992

DEPT. OF BUILDING INSPECTIONS  
CITY OF PORTLAND

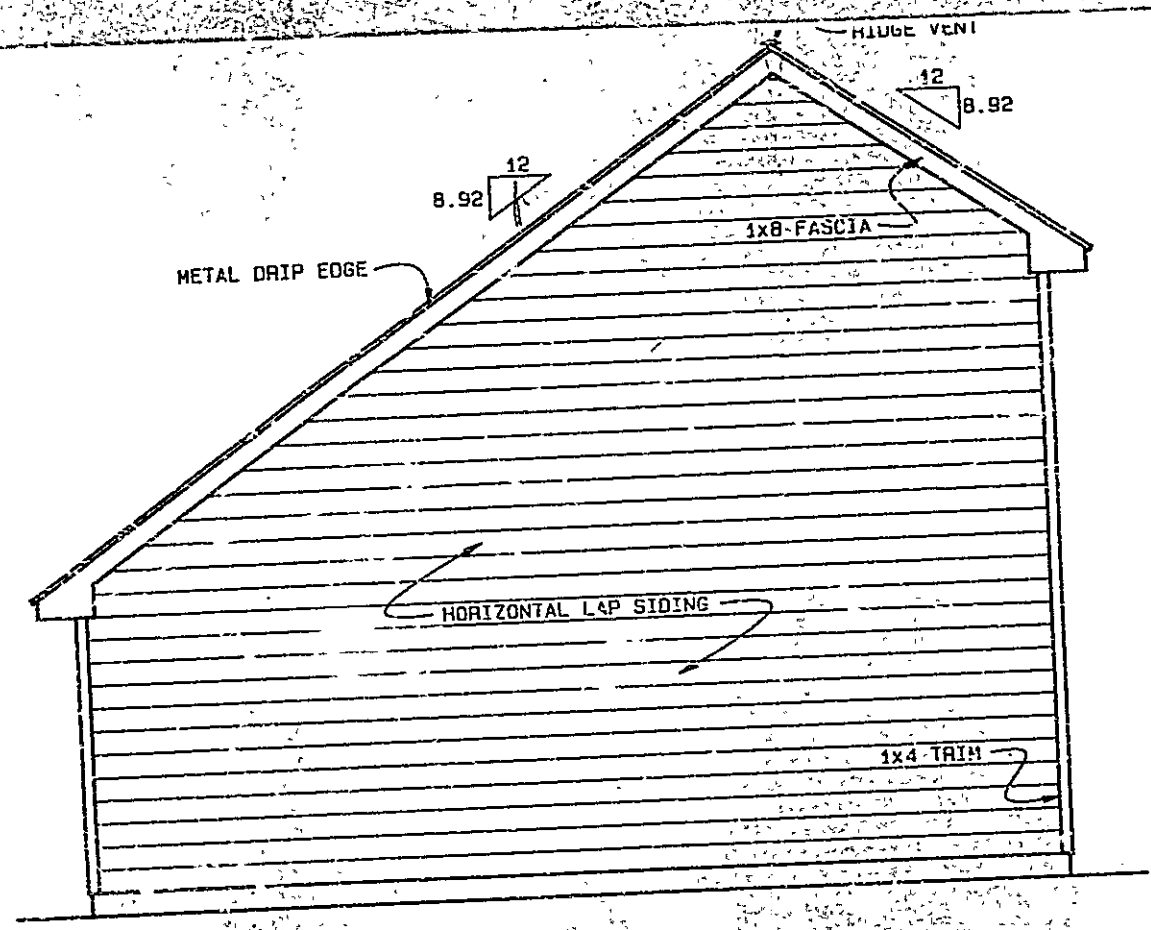


**FRONT**  
Scale: 1/4" = 1'





Scale: 1/4" = 1'-0"



RIIDGE VENT

12  
8.92

12  
8.92

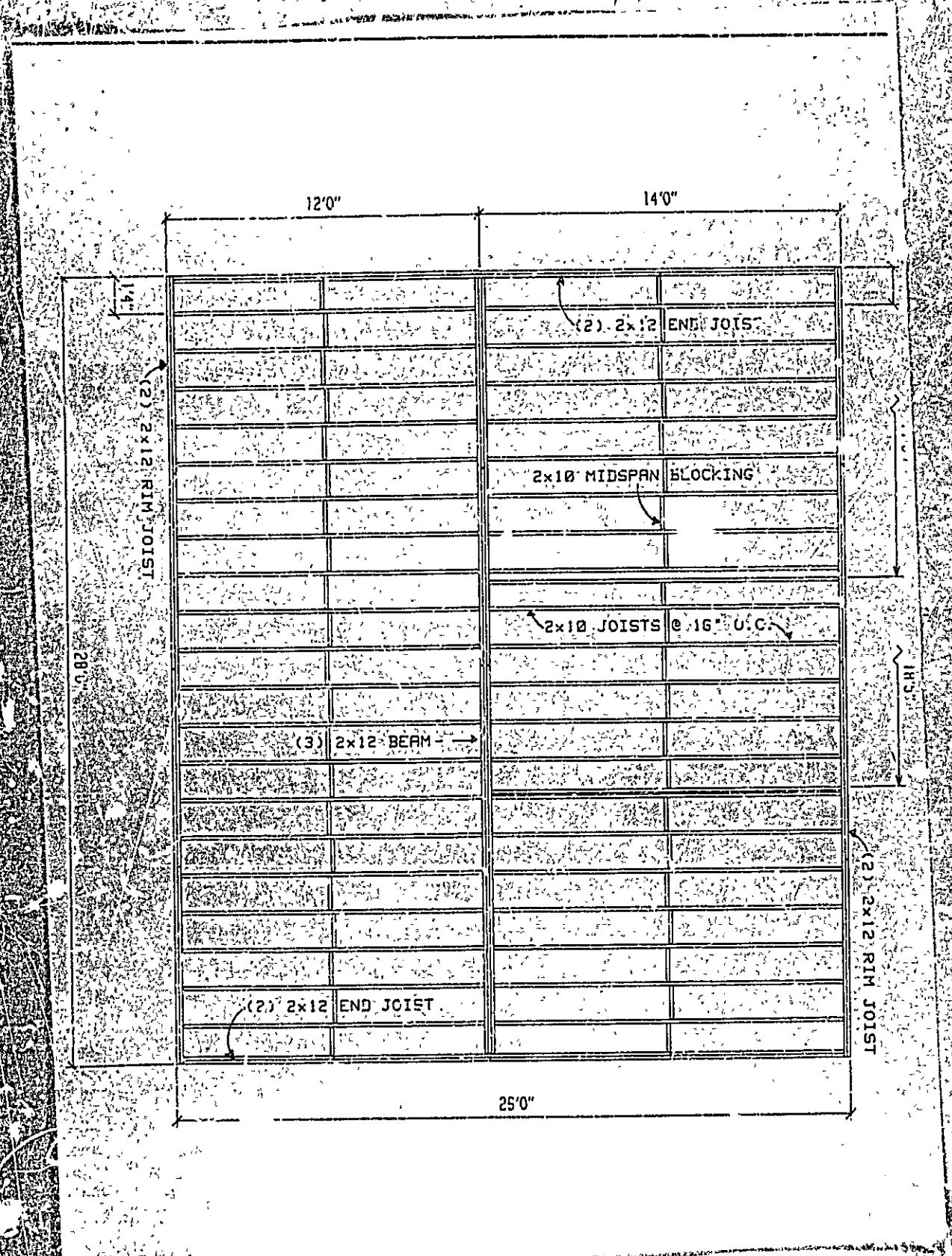
METAL DRIP EDGE

1x8 FASCIA

HORIZONTAL LAP SIDING

1x4 TRIM

**RIGHT**  
Scale: 1/4" = 1'-0"



12'0"

14'0"

(2) 2x12 RIM JOIST

28'0"

(2) 2x12 END JOIST

2x10 MIDSPAN BLOCKING

2x12 JOISTS @ 16" O.C.

(3) 2x12 BEAM

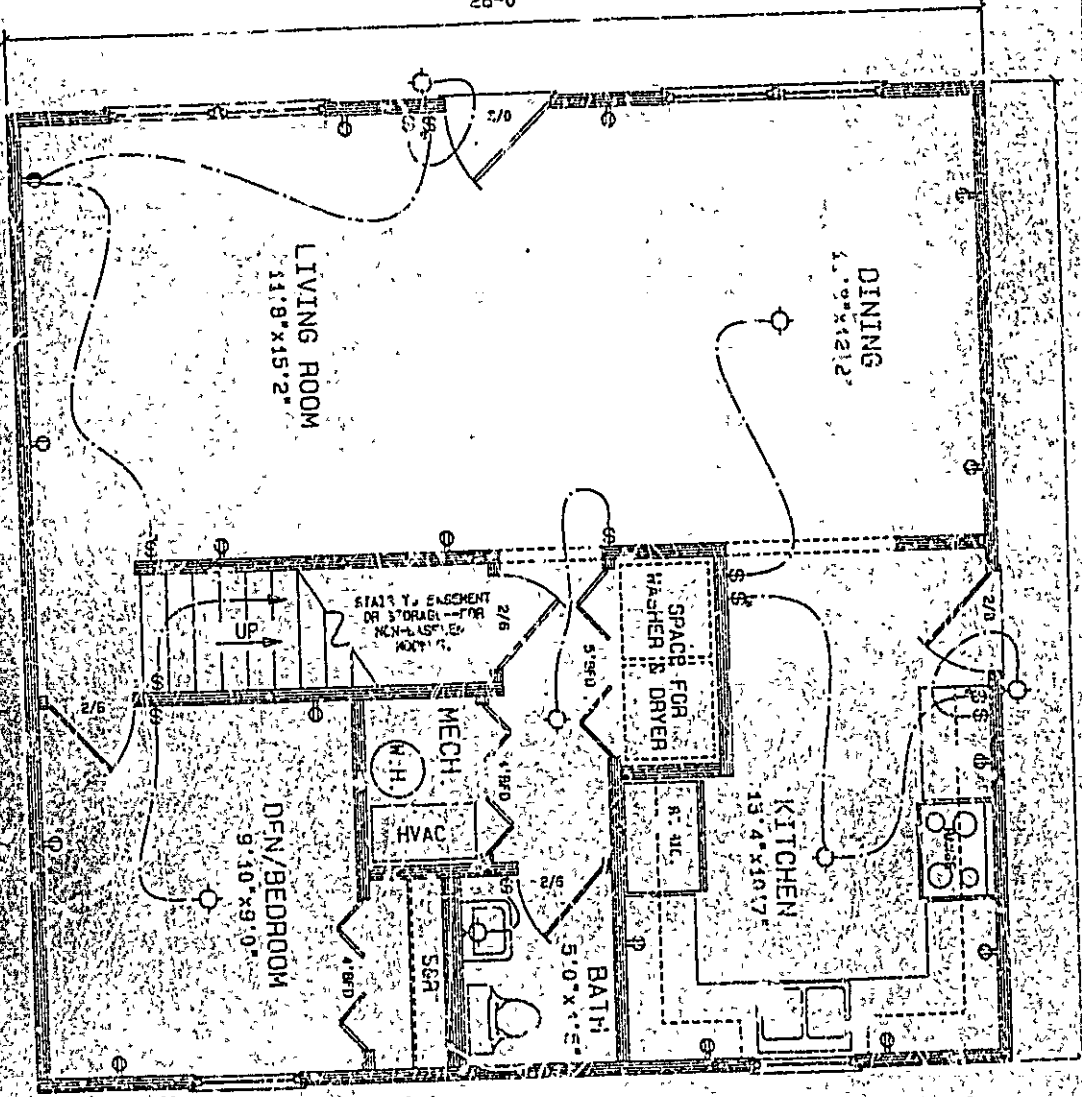
14'0"

(2) 2x12 RIM JOIST

(2) 2x12 END JOIST

25'0"

28'-0"



LIVING ROOM  
11'-8" x 15'-2"

DINING  
11'-9" x 12'-12"

KITCHEN  
13'-4" x 10'-7"

BATH  
5'-0" x 11'-5"

DFN/BEDROOM  
9'-10" x 9'-0"





# APPLICATION FOR AMENDMENT TO PERMIT

**PERMIT ISSUED**  
FEB 19 1992  
CITY OF PORTLAND

Amendment No. 1  
Portland, Maine, 2/10/92

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 69/2275 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any submitted herewith, and the following specifications:

Location Woods Rd - Peaks Island Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address Steve MacIsaac 92-G-31 Telephone 766-2308  
Lessee's name and address 59 Highland Ave - Peaks Isl, ME 04108 Telephone \_\_\_\_\_  
Contractor's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Plans filed \_\_\_\_\_ No. of sheets \_\_\_\_\_  
Proposed use of building 1-family dwelling No. families \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_  
Increased cost of work \_\_\_\_\_ Additional fee \$25.

### Description of Proposed Work

Switch the locations of driveway & house

92-G-31

### Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
Framing lumber - Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Sluds (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.  
Joints and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

Approved: [Signature] 2-19-92

Signature of Owner [Signature]

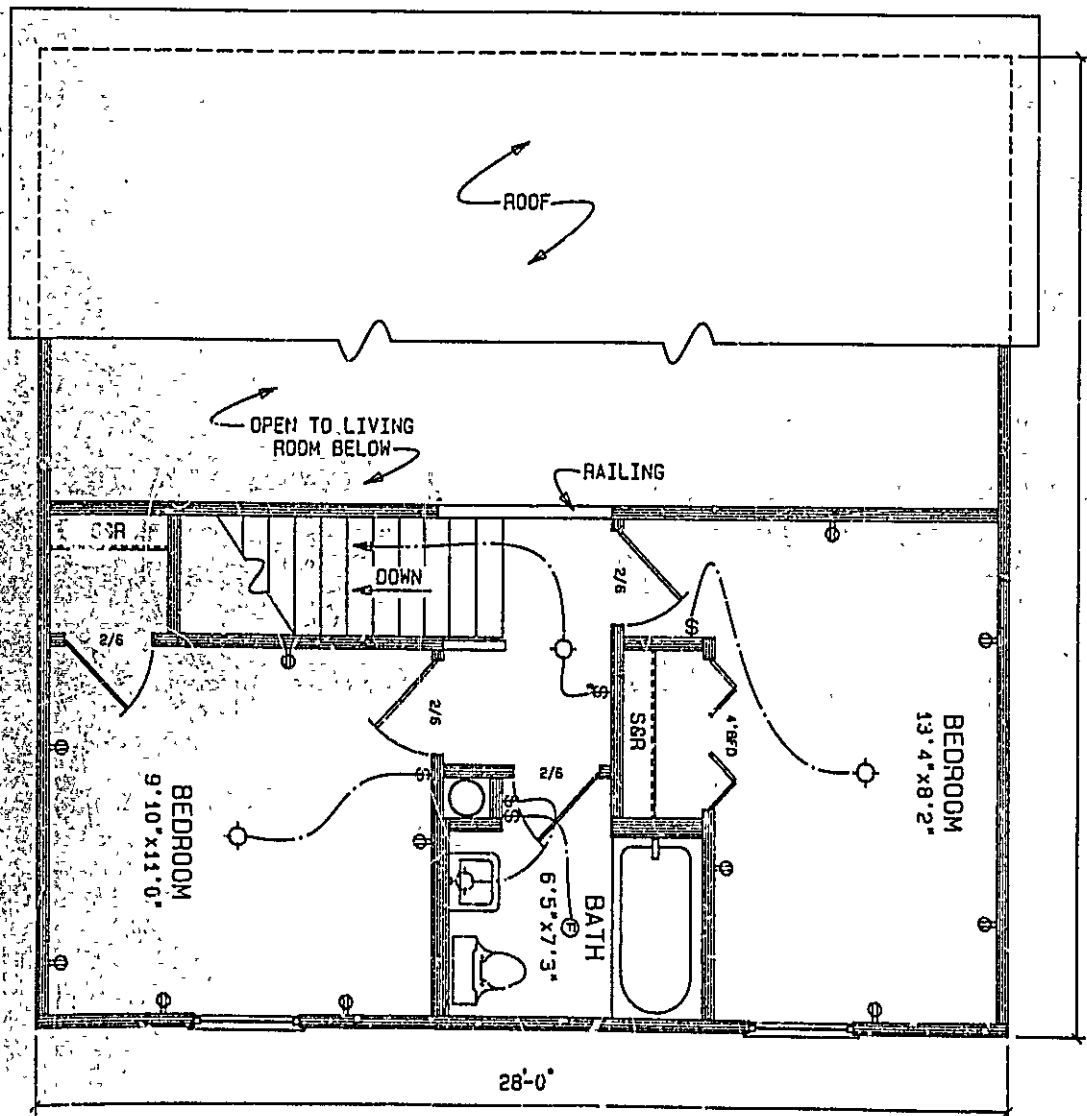
Approved: [Signature] Inspector of Buildings

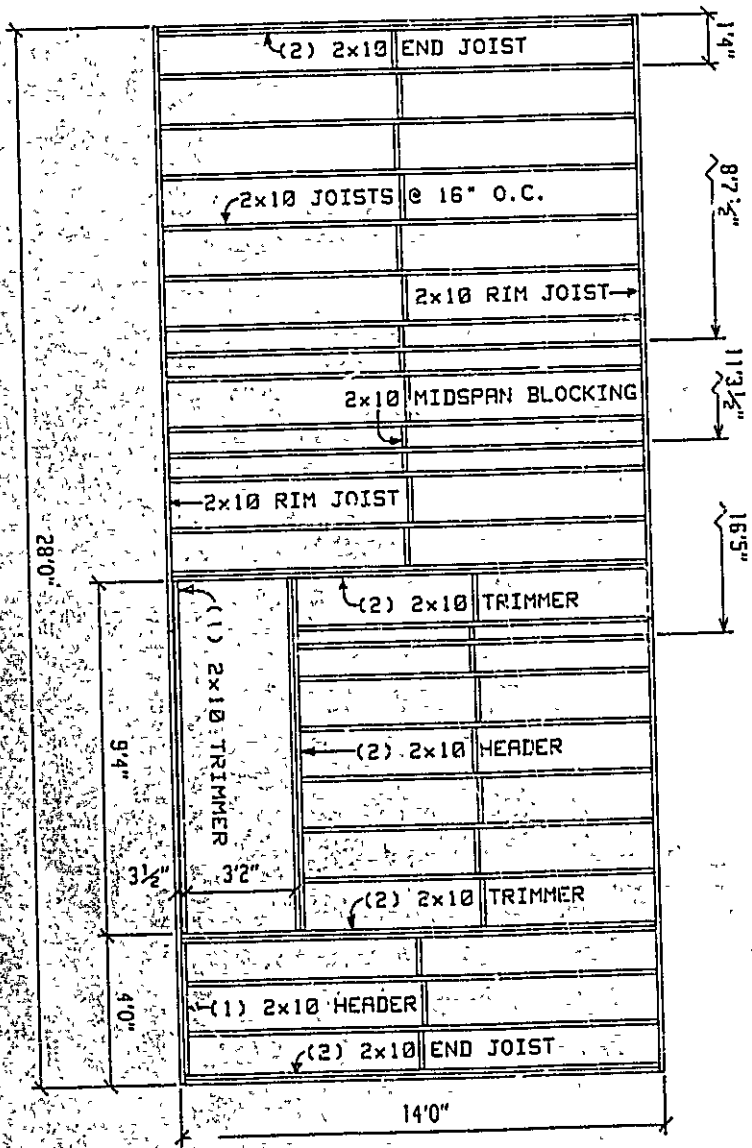
INSPECTION COPY - WHITE  
APPLICANT'S COPY - YELLOW

FILE COPY - PINK  
ASSESSOR'S COPY - GOLDEN



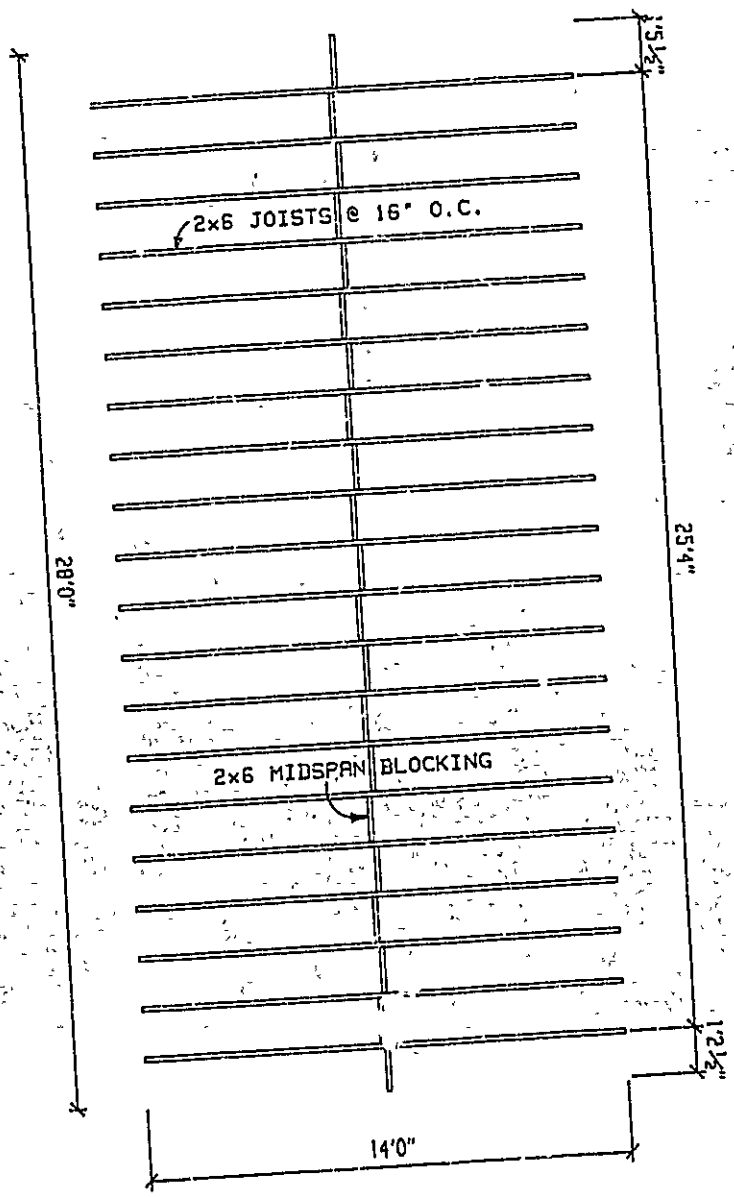
Hatteras  
FLOOR PLAN  
ELEVATION



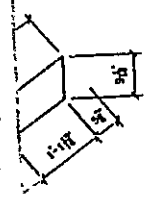


# Ceiling Framing

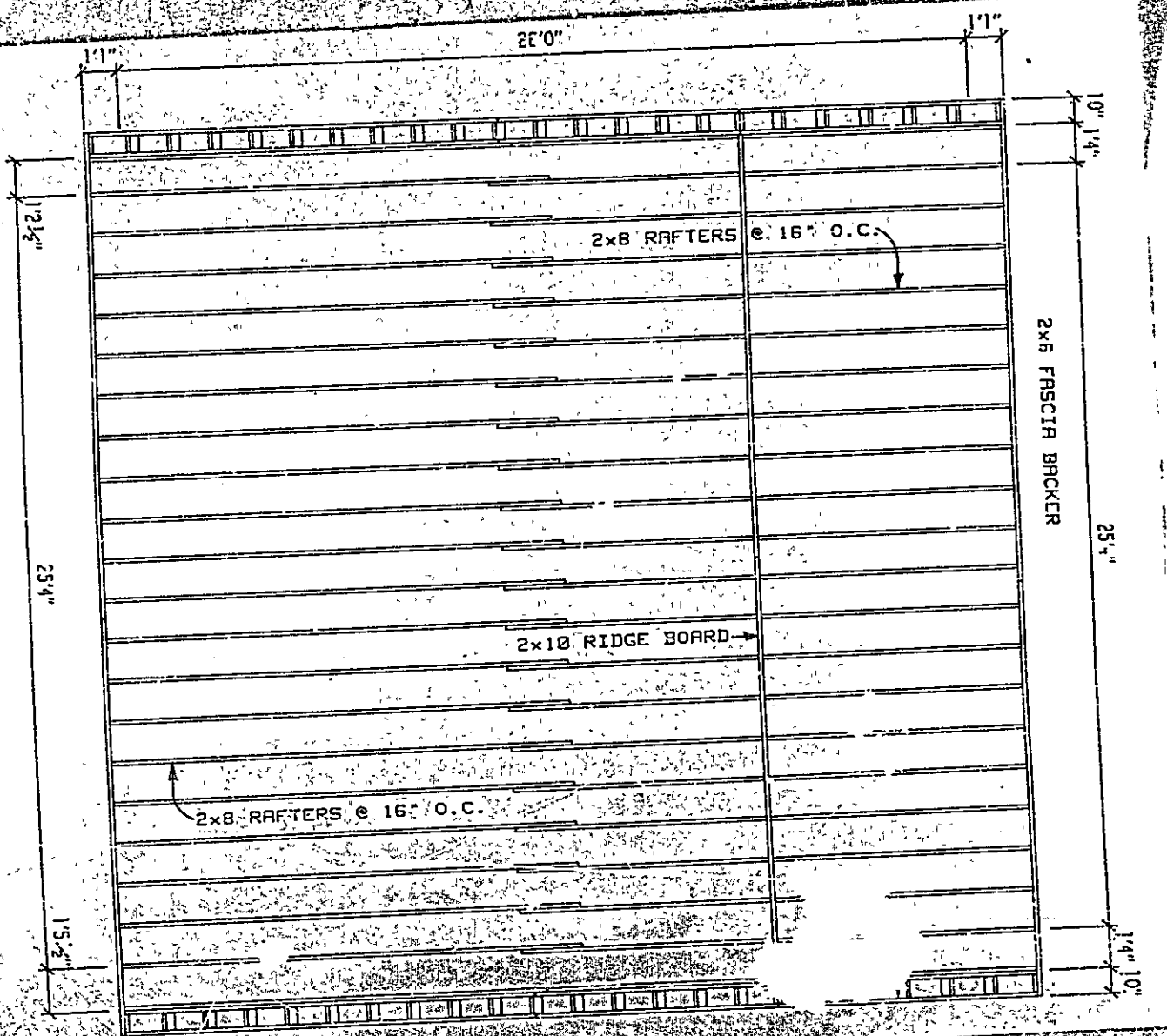
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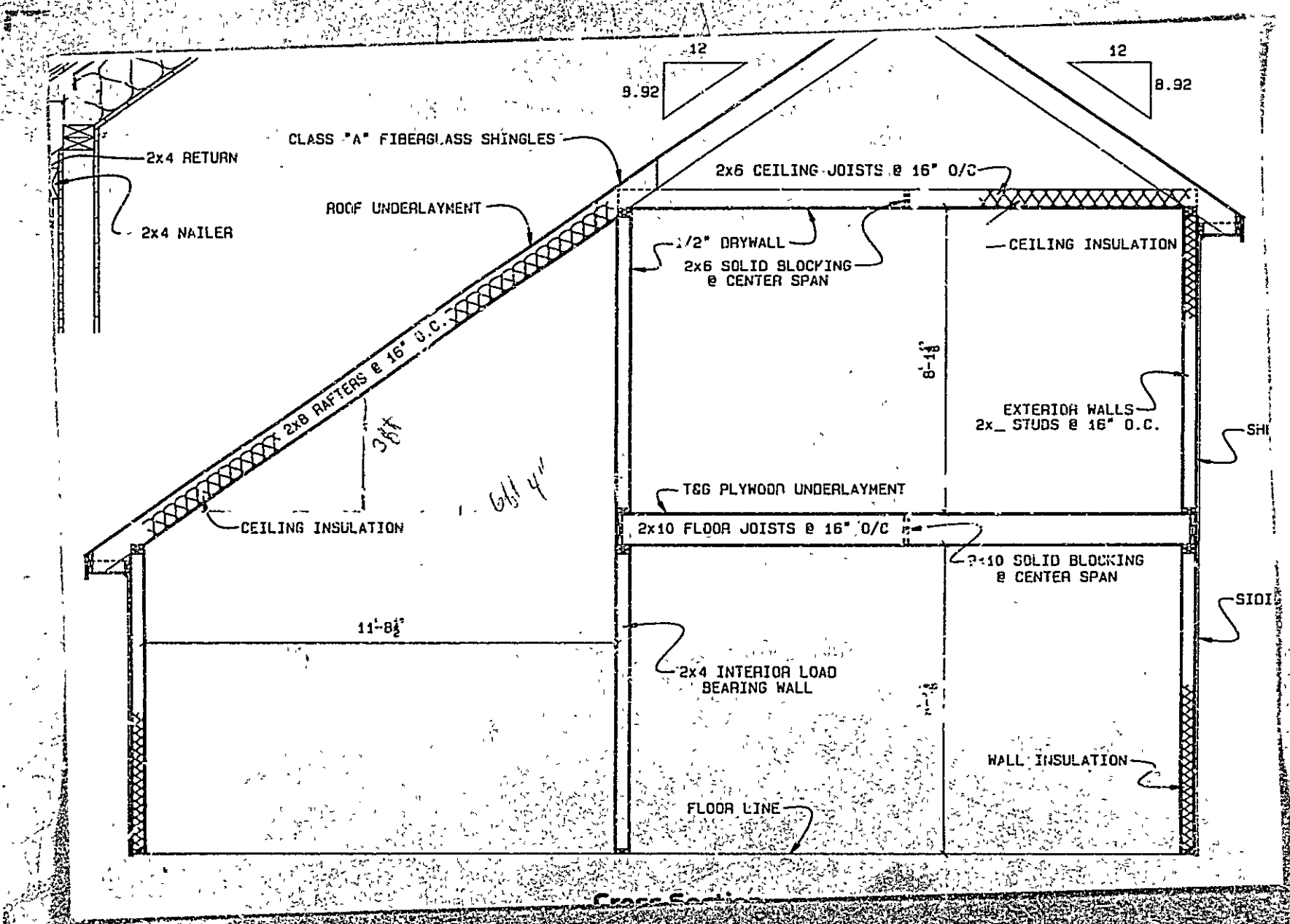


after



after







PERMIT # 002275 CITY OF Portland BUILDING PERMIT APPLICATION MAP # \_\_\_\_\_ LOT# \_\_\_\_\_

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Steven MacIsaac 508 517-877-7828 875-9603

Address: 13 Francine Rd., Framingham, MA 01701

LOCATION OF CONSTRUCTION 92-6-31 Woods Rd., Peaks Island

CONTRACTOR: owner SUBCONTRACTORS: XXXXXXXXXXXX

ADDRESS: \_\_\_\_\_

Est. Construction Cost: \$50,000.00 Type of Use: Summer Cottage

Past Use: Vacant Lot

Building Dimensions: 12x17x30 Sq. Ft. 900 # Stories: 2 Lot Size: 25,675 Yr. \_\_\_\_\_

Is Proposed Use: Summer Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Apartment \_\_\_\_\_

Conversion Explain: to construct Summer Cottage, 2 site plans and

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE 1 construction plans/

Residential Buildings Only: \_\_\_\_\_

# Of Dwelling Units: \_\_\_\_\_ # Of New Dwelling Units: \_\_\_\_\_

Foundation:

- 1. Type of Soil: \_\_\_\_\_
- Set Backs - Front \_\_\_\_\_ Rear \_\_\_\_\_ Side(s) \_\_\_\_\_
- 3. Footings Size: \_\_\_\_\_
- 4. Foundation Size: \_\_\_\_\_
- 5. Other: \_\_\_\_\_

1st floor:

- 1. Sills Size: \_\_\_\_\_ Sills must be anchored.
- 2. Girder Size: \_\_\_\_\_
- 3. Lally Column Spacing: \_\_\_\_\_ Size: \_\_\_\_\_
- 4. Joists Size: \_\_\_\_\_ Spacing 16" O.C.
- 5. Bridging Type: \_\_\_\_\_ Size: \_\_\_\_\_
- 6. Floor Sheathing Type: \_\_\_\_\_ Size: \_\_\_\_\_
- 7. Other Material: \_\_\_\_\_

Exterior Walls:

- 1. Studding Size: \_\_\_\_\_ Spacing \_\_\_\_\_
- 2. No. windows: \_\_\_\_\_
- 3. No. Doors: \_\_\_\_\_
- 4. Header Sizes: \_\_\_\_\_ Span(s) \_\_\_\_\_
- 5. Bracing: Yes \_\_\_\_\_ No \_\_\_\_\_
- 6. Corner Posts Size: \_\_\_\_\_
- 7. Insulation Type: \_\_\_\_\_ Size: \_\_\_\_\_
- 8. Sheathing Type: \_\_\_\_\_ Size: \_\_\_\_\_
- 9. Siding Type: \_\_\_\_\_ Weather Exposure \_\_\_\_\_
- 10. Masonry Materials: \_\_\_\_\_
- 11. Metal Materials: \_\_\_\_\_

Interior Walls:

- 1. Studding Size: \_\_\_\_\_ Spacing \_\_\_\_\_
- 2. Header Sizes: \_\_\_\_\_ Span(s) \_\_\_\_\_
- 3. Wall Covering Type: \_\_\_\_\_
- 4. Fire Wall if required: \_\_\_\_\_
- 5. Other Materials: \_\_\_\_\_

**For Official Use Only**

Date: 5-2-88 Division: Yes / No

Inside Fire Limits: \_\_\_\_\_ Name: \_\_\_\_\_

Blkg Code: \_\_\_\_\_ Lot: \_\_\_\_\_

Time Limit: \_\_\_\_\_ Block: \_\_\_\_\_

Estimated Cost: \$50,000.00 Permit Expiration: \_\_\_\_\_ Public \_\_\_\_\_

Value/Structure: \_\_\_\_\_ Ownership: \_\_\_\_\_ Private \_\_\_\_\_

Fee: \$270.00 \$50.00 Site Plan Review \_\_\_\_\_

Roofing: **PERMIT ISSUED**

1. Ceiling Joists Size: \_\_\_\_\_ Spacing \_\_\_\_\_
2. Ceiling, Trapping Size: \_\_\_\_\_
3. Type Ceiling: \_\_\_\_\_ Size JUN 27 1988
4. Insulation Type: \_\_\_\_\_
5. Ceiling Height: \_\_\_\_\_

Roof: **City Of Portland**

1. Truss or Rafter Size: \_\_\_\_\_ Spacing \_\_\_\_\_
2. Shear Type: \_\_\_\_\_ Size \_\_\_\_\_
3. Roofing Type: \_\_\_\_\_
4. Other: \_\_\_\_\_

Chimneys: \_\_\_\_\_

Type: \_\_\_\_\_ Number of Fire Places: \_\_\_\_\_

Heating: \_\_\_\_\_

Type of Heat: \_\_\_\_\_

Electrical: \_\_\_\_\_

Servic Entrance Size: \_\_\_\_\_ Smoke Detector Required: Yes \_\_\_\_\_ No \_\_\_\_\_

Plumbing: \_\_\_\_\_

1. Approval of soil test if required: Yes \_\_\_\_\_ No \_\_\_\_\_

- 2. No. of Tubs or Showers: \_\_\_\_\_
- 3. No. of Fixtures: \_\_\_\_\_
- 4. No. of Lavatories: \_\_\_\_\_
- 5. No. of Other Fixtures: \_\_\_\_\_

Swimming Pools: \_\_\_\_\_

- 1. Type: \_\_\_\_\_
- 2. Pool Size: \_\_\_\_\_ Square Footage \_\_\_\_\_
- 3. Must conform to National Electrical Code and State Law.

Zoning: \_\_\_\_\_

District: IR-1 Street Frontage Req: \_\_\_\_\_ Provided \_\_\_\_\_

Required Setbacks: Front \_\_\_\_\_ Back \_\_\_\_\_ Side \_\_\_\_\_ Side \_\_\_\_\_

Review Required: \_\_\_\_\_

Zoning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_

Planning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_

Conditional Use: \_\_\_\_\_ Variance \_\_\_\_\_ Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_

Shore and Floodplain Mgmt: \_\_\_\_\_ Special Exception \_\_\_\_\_

Other: \_\_\_\_\_ (Explain) \_\_\_\_\_

Date Approved: 5-2-88

Permit Received By: Nancy Grossman

Signature of Applicant: \_\_\_\_\_ Date: 5-5-88

Signature of CEO: \_\_\_\_\_ Date: \_\_\_\_\_

Inspection Dates: \_\_\_\_\_

**PERMIT ISSUED WITH LETTER**

White-Tax Assessor \_\_\_\_\_ Yellow-GPCOG \_\_\_\_\_ White Tag-CEG \_\_\_\_\_

© Copy Right GPCOG 1987

Mr. Samuel Hefses  
Chief, Building Inspections Dept.  
City Hall  
360 Congress St  
Portland, Maine ,04101

Dear Sam:

This is a belated note thanks for the way : you, Bill Giroux, and Arthur Adatto handled the dispute with Mr. Swain related to the legality of the Building Permit issued to me for my Woods Road, Peaks Island lot.

I know how easy it would have been for you to have given into Mr. Swain's furious onslaught and to have simply cancelled my permit. You and your staff showed a great deal of integrity and professionalism to have weathered the storm mounted by Mr. Swain and for that I will be forever grateful.

Again, I apologize for this belated commendation especially when I hear that Mr. Swain beat me to it!!! Finally, I enjoyed dealing with you people simply because you are good people.

Sincerely,

*Steve Mac Isaac*  
Steve Mac Isaac

cc: J. Gray  
P. O'Donnell



John R. McKernan, Jr.  
Governor

Rollin Ives  
Commissioner

STATE OF MAINE  
DEPARTMENT OF HUMAN SERVICES  
AUGUSTA, MAINE 04333

July 17, 1990

Mr. Arthur Addato, CEO  
Office of Code Enforcement  
City Hall  
Portland ME 04401

SUBJECT: Review of proposed SSW disposal system design, Steven MacIsaac property, Woods Road, Peaks Island, Portland

Dear Mr. Addato:

Division review of the subject disposal system design prepared by Mr. William Goodwin, SE, finds the system design specifications to meet the Rule requirements, and therefore acceptable.

Consequently, the Local Plumbing Inspector for the City of Portland is authorized to issue the required permit for the system's installation.

Should either yourself or others have any questions regarding this review please call (289-5688 or write me at the Division.

Very truly yours,

*Jay Hardcastle*  
Jay Hardcastle  
Wastewater and Plumbing Control  
Division of Health Engineering

JH/lid  
cc: William Goodwin, SE  
Steven MacIsaac

RECEIVED

JUL 19 1990

DEPT OF BUILDING INSPECTIONS  
CITY OF PORTLAND



CITY OF PORTLAND, MAINE

389 CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 874-8100

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL NOFFSES, CHIEF  
INSPECTION SERVICES DIVISION

Wood Road, Peaks Island  
(Chart 92 Block G Lot 31)

June 6, 1990

Mr. Steven MacIsaac  
13 Francone Road  
Framingham, Mass. 01701

Dear Mr. MacIsaac:

Since our last communication on March 8, 1990, it has become quite apparent that no work on your proposed project can begin because of two issues:

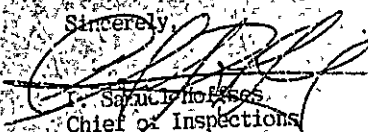
1. On May 23, 1990, Mr. Arthur Addato received a letter from Mr. Jay Hardcastle of the Division of Health Engineering stating he could not approve your revised Subsurface Wastewater Disposal System Application until he receives more information.
2. This Division has not received the information from the Corps of Army Engineers that Mr. Giroux, the Zoning Enforcement Officer, requested from you regarding wetlands.

It has been almost one year since your permit #2275 was issued, but due to misinformation, work was not authorized to be started.

If these two issues are not resolved by June 30, 1990, I will have to revoke permit #2275 under Section 112.6 of the Building Code. This doesn't mean that you can't still reapply at a future date when you have all your required material. Also, a rebate can be obtained as per City policy.

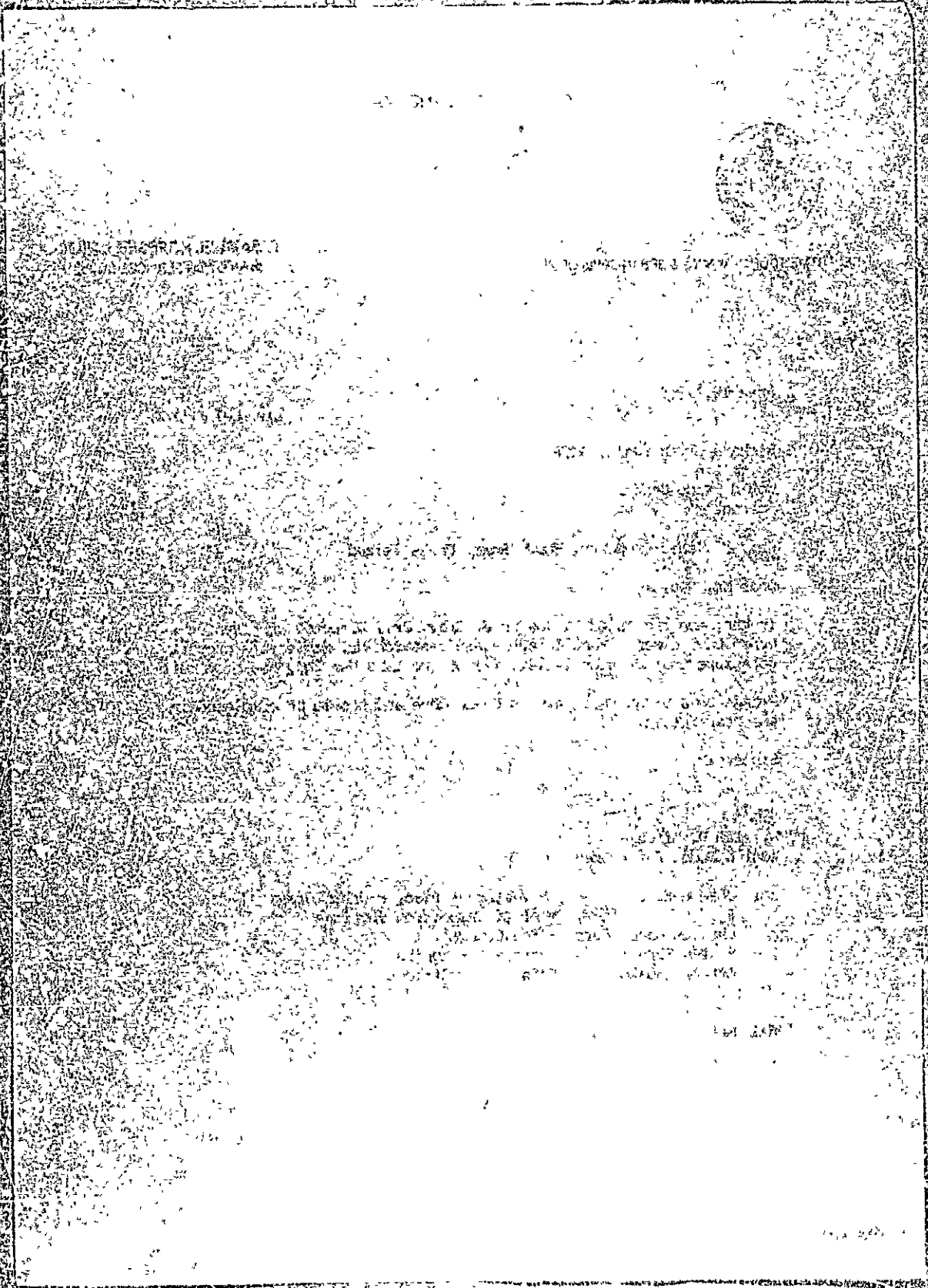
If you have any questions on this matter, please call this office.

Sincerely,

  
P. Samuel Noffses  
Chief of Inspections

cc: Joseph E. Gray, Jr., Director of Planning & Urban Development  
Charles A. Lane, Associate Corporation Counsel  
William D. Giroux, Zoning Enforcement Officer  
Arthur Addato, Code Enforcement Officer









CITY OF PORTLAND, MAINE

389 CONGRESS STREET  
PORTLAND, MAINE 04101  
(207)874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF  
INSPECTION SERVICES DIVISION

August 3, 1990

RE: 92-G-31 Wood Road, Peaks Island, Maine

Mr. Steve MacIsaac  
72 Elizabeth Street  
Peaks Island, Maine 04108

Dear Sir:

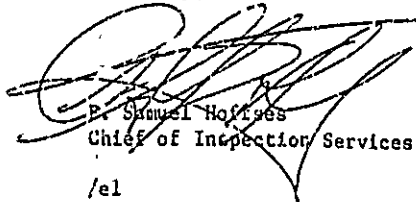
Your application to construct a summer cottage has been reviewed and a permit is herewith issued subject to the following requirements:

No certificate of occupancy can be issued until all requirements of this letter are met.

1. The requirements of the May 5, 1989 building permit #00275 must still be adhered to.
2. The new revised HHE-200 reviewed by the State of Maine Wastewater and Plumbing Control and found acceptable must be implemented (letter dated July 17, 1990)-(HHE-200) revised by Mr. William B. Goodwin dated June 27, 1990.
3. The installation of this system shall be done with extreme care, and if any questions on its installation should happen, both the C.E.O., the site evaluator and I shall be notified immediately.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

  
P. Samuel Hoffses  
Chief of Inspection Services

/el

cc: Mr. Charles Lane, Assoc. Corporation Counsel  
Mr. Arthur Addato, Code Enforcement Officer


13 Francine Rd.  
Framingham, Ma.  
01701  
Jan. 25, 1991

Mr. Samuel Hoffses  
Chief, Building Inspections Dept.  
City Hall  
389 Congress St.  
Portland, Maine 04101

Dear Sam:

Could you please send me an application to extend my building permit for Woods Road, Peaks Island? I want to be sure that everything is in order so Mr. Swain will have no grounds to cause more trouble for you or for me.

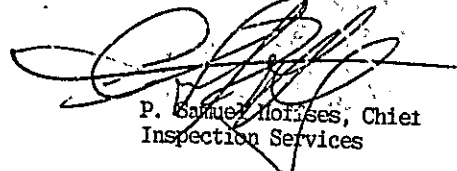
Sincerely,

  
Steve MacIsaac

Jan. 28, 1991

Dear Mr. MacIsaac:

We have no forms on which to apply for extensions; however, we are extending your building permit for ninety days in accordance with your above request.

  
P. Samuel Hoffses, Chief  
Inspection Services

cc: Arthur Addato, Code Enforcement Officer

13 Francine Rd.  
Framingham, Ma.  
01701  
Jan. 25, 1991

Mr. Samuel Hoffses  
Chief, Building Inspections Dept.  
City Hall  
389 Congress St.  
Portland, Maine 04101

Dear Sam:

Could you please send me an application to extend my building permit for Woods Road, Peaks Island? I want to be sure that everything is in order so Mr. Swain will have no grounds to cause more trouble for you or for me.

Sincerely,

*Steve MacIsaac*

Steve MacIsaac

*90 days from Expiration date  
Granted by Sam...*

CONFIDENTIAL

TOP SECRET

SECRET

CONFIDENTIAL - SECURITY INFORMATION  
TOP SECRET

TOP SECRET

CONFIDENTIAL - SECURITY INFORMATION  
TOP SECRET

SECRET

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TOP SECRET

SECRET

## Goodwin Associates

OCEAN SPRAY ROAD  
PEAKS ISLAND, MAINE 04109

June 27, 1990

Maine Department of Human Services  
Division of Health Engineering  
Wastewater and Plumbing Control Section  
Augusta, Maine 04333

Attention: Mr. Jay Hardcastle

Re: Revised Subsurface Wastewater Disposal System Application  
Steven MacIsaac Property, Woods Road, Peaks Island, Portland

Dear Mr. Hardcastle:

In response to your letter of May 22, 1990 to Arthur Addato (on which I was copied) in reference to the above mentioned revised disposal system design, I have conducted an evaluation of the additional soil test pits required by the Division. This re-evaluation was performed on June 16, 1990. The test pit in the area of the separated laundry system revealed that inadequate mineral soil existed between the 5" organic strata and the ground water table

Last November at our meeting, we discussed revising the system from a trench configuration to a cluster configuration and including the design flow from the home laundry in the primary disposal area rather than a separated laundry system. We also discussed changing the design flow from conservative to moderate.

Attached please find copies of the revised HHE-200 forms incorporating the revisions we discussed last fall. These forms include the soil test pit logs for the required additional test pits evaluated on June 16, 1990. Three additional acceptable test pits were located in the area of the revised cluster system for a total of five acceptable pits in the area of the system. An additional test pit located between the wetland area and the cluster system, shown as test pit #3 had only 12" between the organic strata and the ground water table rather than the required 15".

I am sending four originals of this form to Mr. MacIsaac for his signature along with a copy of this letter. Mr. Addato and Mr. P. Samuel Hoffses are also being provided with a copy of the revised HHE-200 form as attachments to their copy of this letter.

In regards to the second paragraph in the subject letter to Mr. Addato, please be advised that Mr. MacIsaac was provided with 4 original complete copies of the HHE-200 forms for both the primary system and the separated laundry system last fall. If you were not provided with both designs when you were requested to review the



systems, I can only assume that one of the applications was omitted by the person or persons requesting your review.

I am hand delivering this letter and the revised HHE-200 forms at our scheduled 10:00am meeting on June 28, 1990 at which time I can review the forms with you and answer any questions you may have. Should you or others have any additional questions, please contact me at Goodwin Associates at 766-2083.

Very truly yours,

*William B. Goodwin*

William B. Goodwin, S.E.

cc w/ attachments:

✓ Arthur Addato - City of Portland Code Enforcement Officer  
P. Samuel Hoffses - City of Portland Chief of Inspections  
Steven MacIsaac

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Planning Services  
Division of Health Engineering  
(207) 285-3826

PROPERTY ADDRESS	
Town Or Plantation	PORTLAND PEAKS ISLAND
Street	WOODS ROAD
Subdivision/Lot #	TAX MAP 92 BLOCKG LOT 31
PROPERTY OWNERS NAME	
MACISAAC	STEVEN
Last:	First:
Applicant Name:	STEVEN MACISAAC
Mailing Address of Owner/Applicant (if different)	13 FRANCINE ROAD FRAMINGHAM MASS 01701
Owner/Applicant Statement	
I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.	
Signature of Owner/Applicant	Date

**Caution: Permit Required**

The Subsurface Wastewater Disposal System shall not be installed until a Permit is attached here by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

**Caution: Inspection Required**

I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules.

Local Plumbing Inspector Signature \_\_\_\_\_ Date Approved \_\_\_\_\_

## PERMIT INFORMATION

<p><b>THIS APPLICATION IS FOR:</b></p> <ol style="list-style-type: none"> <li><input checked="" type="checkbox"/> NEW SYSTEM</li> <li><input type="checkbox"/> REPLACEMENT SYSTEM</li> <li><input type="checkbox"/> EXPANDED SYSTEM</li> <li><input type="checkbox"/> SEASONAL CONVERSION</li> <li><input type="checkbox"/> EXPERIMENTAL SYSTEM</li> </ol>	<p><b>THIS APPLICATION REQUIRES:</b></p> <ol style="list-style-type: none"> <li><input checked="" type="checkbox"/> NO RULE VARIANCE REQUIRED</li> <li><input type="checkbox"/> NEW SYSTEM VARIANCE Attach New System Variance Form</li> <li><input type="checkbox"/> REPLACEMENT SYSTEM VARIANCE Attach Replacement System Variance Form</li> <li><input type="checkbox"/> Requires only Local Plumbing Inspector Approval</li> <li><input type="checkbox"/> Requires both State and Local Plumbing Inspector Approval</li> </ol>	<p><b>INSTALLATION IS COMPLETE SYSTEM</b></p> <ol style="list-style-type: none"> <li><input checked="" type="checkbox"/> NON-ENGINEERED SYSTEM</li> <li><input type="checkbox"/> PRIMITIVE SYSTEM (includes Alternative Toilet)</li> <li><input type="checkbox"/> ENGINEERED (&gt;2000 gpd)</li> </ol> <p><b>INDIVIDUALLY INSTALLED COMPONENTS:</b></p> <ol style="list-style-type: none"> <li><input type="checkbox"/> TREATMENT TANK (ONLY)</li> <li><input type="checkbox"/> HOLDING TANK</li> <li><input type="checkbox"/> ALTERNATIVE TOILET (ONLY)</li> <li><input type="checkbox"/> NON-ENGINEERED DISPOSAL AREA (ONLY)</li> <li><input type="checkbox"/> ENGINEERED DISPOSAL AREA (ONLY)</li> <li><input type="checkbox"/> SEPARATED LAUNDRY SYSTEM</li> </ol>
<p><b>IF REPLACEMENT SYSTEM:</b></p> <p>YEAR FAILING SYSTEM INSTALLED _____</p> <p>THE FAILING SYSTEM IS:</p> <ol style="list-style-type: none"> <li><input type="checkbox"/> BED</li> <li><input type="checkbox"/> CHAMBER</li> <li><input type="checkbox"/> TRENCH</li> <li><input type="checkbox"/> OTHER _____</li> </ol>	<p><b>DISPOSAL SYSTEM TO SERVE:</b></p> <ol style="list-style-type: none"> <li><input checked="" type="checkbox"/> SINGLE FAMILY DWELLING</li> <li><input type="checkbox"/> MODULAR OR MOBILE HOME</li> <li><input type="checkbox"/> MULTIPLE FAMILY DWELLING</li> <li><input type="checkbox"/> OTHER _____ SPECIFY _____</li> </ol>	<p><b>TYPE OF WATER SUPPLY</b></p> <p>PUBLIC WATER</p>
<p>SIZE OF PROPERTY _____ ZONING _____</p> <p>25,600 SF      IR1</p>		

## DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

<p><b>TREATMENT TANK</b></p> <ol style="list-style-type: none"> <li><input checked="" type="checkbox"/> SEPTIC: <input type="checkbox"/> Regular <input checked="" type="checkbox"/> Low Profile</li> <li><input type="checkbox"/> AEROBIC</li> </ol> <p>SIZE: 1000 GALS.</p>	<p><b>WATER CONSERVATION</b></p> <ol style="list-style-type: none"> <li><input type="checkbox"/> NONE</li> <li><input checked="" type="checkbox"/> LOW VOLUME TOILET</li> <li><input type="checkbox"/> SEPARATED LAUNDRY SYSTEM</li> <li><input type="checkbox"/> ALTERNATIVE TOILET</li> </ol> <p>SPECIFY: _____</p>	<p><b>PUMP AND DOSE</b></p> <ol style="list-style-type: none"> <li><input checked="" type="checkbox"/> NOT REQUIRED</li> <li><input type="checkbox"/> MAY BE REQUIRED (DEPENDENT ON TREATMENT TANK LOCATION AND ELEVATION)</li> <li><input type="checkbox"/> REQUIRED</li> </ol> <p>DOSE: _____ GALS</p>	<p><b>CRITERIA USED FOR DESIGN FLOW (BEDROOMS, SEATING, EMPLOYEES, WATER RECORDS, ETC.)</b></p> <p>3 BEDROOM MODERATE 360</p>
<p><b>SOIL CONDITIONS USED FOR DESIGN PURPOSES</b></p> <p>PROFILE 3      CONDITION AIII</p> <p>DEPTH TO LIMITING FACTOR 16</p>	<p><b>SIZE RATINGS USED FOR DESIGN PURPOSES</b></p> <ol style="list-style-type: none"> <li><input type="checkbox"/> SMALL</li> <li><input type="checkbox"/> MEDIUM</li> <li><input checked="" type="checkbox"/> MEDIUM-LARGE</li> <li><input type="checkbox"/> LARGE</li> <li><input type="checkbox"/> EXTRA LARGE</li> </ol>	<p><b>DISPOSAL AREA TYPE/SIZE</b></p> <ol style="list-style-type: none"> <li><input type="checkbox"/> BED _____ Sq. Ft.</li> <li><input checked="" type="checkbox"/> CHAMBER 558* Sq. Ft. <input checked="" type="checkbox"/> REGULAR <input type="checkbox"/> H-20</li> <li><input type="checkbox"/> TRENCH _____ Linear Ft.</li> <li><input type="checkbox"/> OTHER: _____</li> </ol>	<p><b>LOW VOLUME TOILET -36</b></p> <p>DESIGN FLOW: 324 (GALLONS/DAY)</p>

**SITE EVALUATOR STATEMENT \* USED 31 INFILTRATOR CHAMBERS IN CLUSTER CONFIGURATION**

On JUNE 16, 1982 (date) I conducted a site evaluation for this project and certify that the data reported is accurate. The system I propose is in accordance with the Subsurface Wastewater Disposal Rules.

William B. Jordan      0003/4814      6/27/90

Site Evaluator or Professional Engineer's Signature      SE # / PE #      Date

Local Plumbing Inspector's Signature # & Local E&E Evaluator's Waiver under a Local Option      Page 1 of 3      RHE-200 Rev. 4/83

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Town, Co., Plantation

PORTLAND PEAKS ISLAND WOODS ROAD

Street, Road, Subdivision

92-6-31

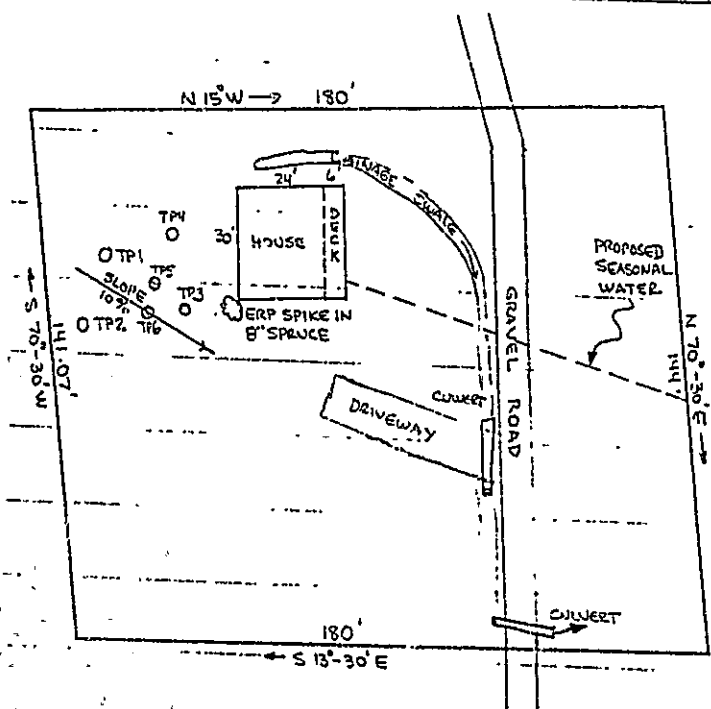
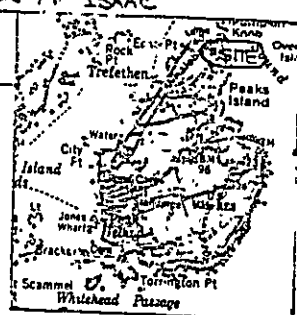
Department of Human Services  
Division of Health Engineering

Owner's Name

STEVEN M. ISAAC

SITE PLAN

Scale 1" = 40' Ft



**SOIL DESCRIPTION AND CLASSIFICATION** (Location of Observation Holes Shown Above)

Observation Hole 1  Test Pit  Boring

2" FOREST FEAT. Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (Inches)	Texture	Consistency	Color	Mottling
0-3	LOAM	SLIGHTLY FRIABLE	DARK BROWN	
3-8	SANDY LOAM	FRIABLE	MEDIUM BROWN	NONE
8-15	SILTY GRAVEL	SLIGHTLY FRIABLE	RED BROWN	COMMON
15-30		FRIABLE	RED GRAY	FEW
30-40	BEDROCK			

Soil Profile: 3 Classification: AIII Slope: 10% Limiting Factor: 18

Groundwater  Rooting Layer  Bedrock

Observation Hole 2  Test Pit  Boring

2" FOREST FEAT. Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (Inches)	Texture	Consistency	Color	Mottling
0-3	LOAM	SLIGHTLY FRIABLE	DARK BROWN	
3-8	SANDY LOAM	FRIABLE	GRAY BROWN	
8-15		SLIGHTLY FRIABLE	RED BROWN	COMMON
15-30	SILTY GRAVEL	FRIABLE	RED GRAY	FEW
30-40	BEDROCK			

Soil Profile: 3 Classification: AIII Slope: 10% Limiting Factor: 16

Groundwater  Rooting Layer  Bedrock

*William B. Johnson*  
Site Evaluator or Professional Engineer's Signature

0003/4814  
Site #

6/27/90  
Date

MACISAAC JUNE 16, 1990

SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)				
Observation Hole <u>3</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring		Observation Hole <u>4</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring		
2' FOREST PEAT - Depth of Organic Horizon Above Mineral Soil		2' FOREST PEAT - Depth of Organic Horizon Above Mineral Soil		
DEPTH BELOW MINERAL SOIL SURFACE (Inches)	Texture	Consistency	Color	Mottling
0	LOAM		DARK BROWN	
5				NONE
10	SILTY LOAM	FRIABLE	GRAY BROWN	
15				STANDING WATER
20				
25				FEW
30				
35	ASSUMED BEDROCK			
40				
45				
50				
Soil <u>3</u>		Classification <u>AIII</u>	Slope <u>10</u> %	Limiting Factor <u>12</u>
<small>Profile</small>		<small>Common</small>		<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Rooting Layer <input type="checkbox"/> Bedrock

SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)				
Observation Hole <u>3</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring		Observation Hole <u>4</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring		
2' FOREST PEAT - Depth of Organic Horizon Above Mineral Soil		2' FOREST PEAT - Depth of Organic Horizon Above Mineral Soil		
DEPTH BELOW MINERAL SOIL SURFACE (Inches)	Texture	Consistency	Color	Mottling
0	LOAM		DARK BROWN	
5				NONE
10	SANDY LOAM	FRIABLE	BROWN	
15				
20				
25				FEW
30				
35	ASSUMED BEDROCK			
40				
45				
50				
Soil <u>3</u>		Classification <u>AIII</u>	Slope <u>10</u> %	Limiting Factor <u>20</u>
<small>Profile</small>		<small>Common</small>		<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Rooting Layer <input type="checkbox"/> Bedrock

LEGEND :

- BOTTOM OF DUG TEST PIT
- DEPTH PROBED (ONLY) FOR BEDROCK
- BORING REFUSAL ASSUMED BEDROCK

SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)				
Observation Hole <u>5</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring		Observation Hole <u>6</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring		
3' FOREST PEAT - Depth of Organic Horizon Above Mineral Soil		2' FOREST PEAT - Depth of Organic Horizon Above Mineral Soil		
DEPTH BELOW MINERAL SOIL SURFACE (Inches)	Texture	Consistency	Color	Mottling
0			DARK BROWN	
5				NONE
10	LOAM	FRIABLE	BROWN	
15				
20				STANDING WATER
25				
30				
35	ASSUMED BEDROCK			
40				
45				
50				
Soil <u>3</u>		Classification <u>AIII</u>	Slope <u>10</u> %	Limiting Factor <u>20</u>
<small>Profile</small>		<small>Common</small>		<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Rooting Layer <input type="checkbox"/> Bedrock

SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)				
Observation Hole <u>5</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring		Observation Hole <u>6</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring		
3' FOREST PEAT - Depth of Organic Horizon Above Mineral Soil		2' FOREST PEAT - Depth of Organic Horizon Above Mineral Soil		
DEPTH BELOW MINERAL SOIL SURFACE (Inches)	Texture	Consistency	Color	Mottling
0	LOAM		DARK BROWN	
5				NONE
10	SILTY LOAM	FRIABLE	GRAY BROWN	
15				
20				STANDING WATER
25				
30				
35	ASSUMED BEDROCK			
40				
45				
50				
Soil <u>3</u>		Classification <u>AIII</u>	Slope <u>10</u> %	Limiting Factor <u>15</u>
<small>Profile</small>		<small>Common</small>		<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Rooting Layer <input type="checkbox"/> Bedrock

*William B. Goodwin*  
Site Evaluator

0003/4814  
SE#

6/27/90  
Date

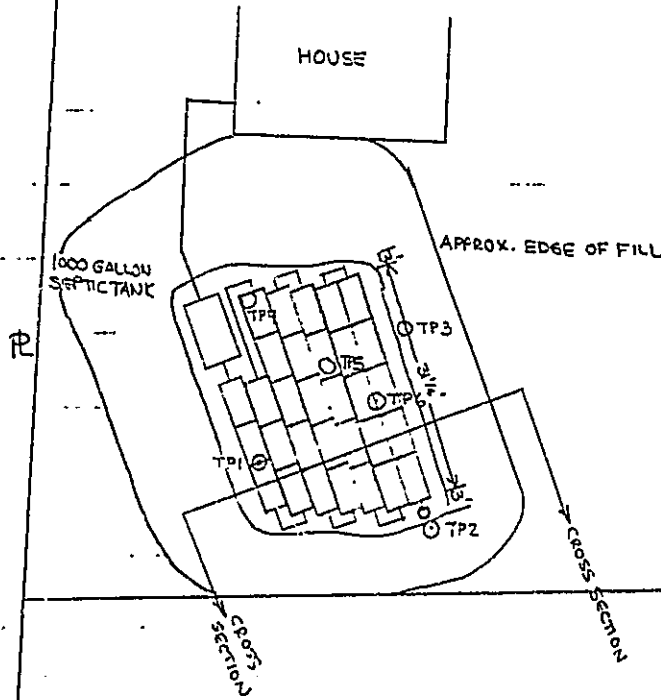
**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Department of Human Services  
Division of Health Engineering

Town, City, Plantation: **PORTLAND PEAKS ISLAND** Street, Road, Subdivision: **WOODS ROAD 92-6-31** Owners Name: **STEVEN MACIS/AC**

**SUBSURFACE WASTEWATER DISPOSAL PLAN**

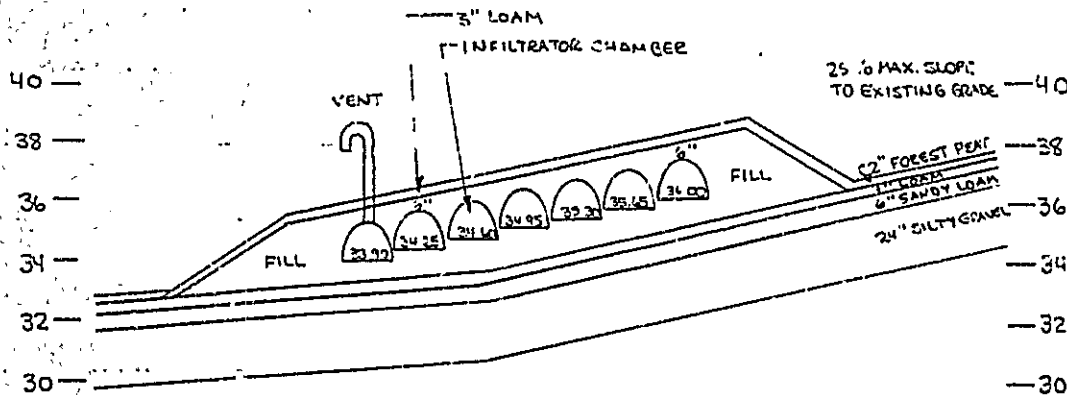
Scale 1" = 20' FL.



<b>FILL REQUIREMENTS</b>	<b>CONSTRUCTION ELEVATIONS</b>	<b>ELEVATION REFERENCE POINT LOCATION &amp; DESCRIPTION</b>
Depth of Fill (Upslope) <b>30'</b>	Reference Elevation is <b>31.09</b>	<b>SPIKE IN 8" SPRUCE NEAR HOUSE</b>
Depth of Fill (Downslope) <b>28'</b>	Bottoms of Disposal Area <b>SEE X SECTION</b>	
	Top of Distribution Lines or Chambers <b>SEE X SECTION</b>	

**DISPOSAL AREA CROSS SECTION**

Scale:  
Vertical: 1 Inch = 5' FL.  
Horizontal: 1 Inch = 10' FL.



*William B. Gradstein*  
Site Evaluator or Professional Engineer's Signature

0003/4814  
SE #1 PE #

6/27/90  
Date

Page 3 of 3  
DHE-200 Rev. 48.





CITY OF PORTLAND, MAINE

CONGRESS STREET  
PORTLAND, MAINE 04101  
(207)874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF  
INSPECTION SERVICES DIVISION

March 8, 1990

RE: 92-G-31 Woods Road, Peaks Island, Maine

Mr. Steven MacIsaac  
13 Francine Road  
Framingham, Mass. 01701

Dear Sir:

I received your letter dated February 12, 1990 with an attached page 3 of the HHE-200 form that was revised from the original dated 5/2/89. I have been advised that I can not approve this revision because the original did not do this work.

I have talked with Mr. William Goodwin and he stated he has revised the original but can not give it because it conflicts with the City."

Therefore, until I receive and approve the revised HHE-200 no work is to be done on your proposed project at 92-G-31 Wood Rd., Peaks Island, Maine. This also includes the proposed building.

If you have any questions regarding this matter, please call this office.

Sincerely,

Samuel Hoffses  
Chief of Inspection Services

PS Form 3800, June 1985

Special Delivery Fee	
Restricted Delivery Fee	
Return Receipt showing to whom and Date Delivered	
Date and Address of Delivery	
TOTAL Postage and Fees	\$
Postmark of Date	

Send to: Mr. Steven MacIsaac  
Street: 13 Francine Road  
P.O. State and Zip Code: FRAMINGHAM, MASS. 01701  
Postage: \$  
Certified Fee: \$  
Special Delivery Fee: \$  
Restricted Delivery Fee: \$  
Return Receipt showing to whom and Date Delivered: \$  
Date and Address of Delivery: \$  
TOTAL Postage and Fees: \$

NO INSURANCE COVERAGE PROVIDED  
NOT FOR INTERNATIONAL MAIL  
(See Reverse)  
RECEIPT FOR CERTIFIED MAIL  
MP 792457 149



John R. McKernan, Jr.  
Governor

Rollin Ives  
Commissioner

STATE OF MAINE  
DEPARTMENT OF HUMAN SERVICES  
AUGUSTA, MAINE 04333

July 17, 1990

Mr. Arthur Addato, CEO  
Office of Code Enforcement  
City Hall  
Portland ME 04401

SUBJECT: Review of proposed SSW disposal system design, Steven MacIsaac  
property, Woods Road, Peaks Island, Portland

Dear Mr. Addato:

Division review of the subject disposal system design prepared by Mr.  
William Goodwin, SE, finds the system design specifications to meet the Rule  
requirements, and therefore acceptable.

Consequently, the Local Plumbing Inspector for the City of Portland is  
authorized to issue the required permit for the system's installation.

Should either yourself or others have any questions regarding this  
review please call (289-5688 or write me at the Division.

Very truly yours,

A handwritten signature in cursive script that reads "Jay Hardcastle".

Jay Hardcastle  
Wastewater and Plumbing Control  
Division of Health Engineering

JH/ld  
cc: William Goodwin, SE  
Steven MacIsaac

RECEIVED

JUL 19 1990

DEPT. OF BUILDING INSPECTIONS  
CITY OF PORTLAND



John R. McKernan, Jr  
Governor

Robin Ives  
Commissioner

STATE OF MAINE  
DEPARTMENT OF HUMAN SERVICES  
AUGUSTA, MAINE 04333

May 22, 1990

Mr. Arthur Addato  
Dept of Plan & Urban Development  
389 Congress Street  
Portland ME 04101

SUBJECT: Revised Subsurface Wastewater Disposal System Application, Steve MacIsaac property, Woods Road, Peaks Island, Portland

Dear Mr. Addato:

In reply to your letter of 5/7/90 in reference to the subject revised disposal system design, the Division will require additional soil TP's to be logged in both the primary disposal area, and in the separated laundry system area for which no soil TP information was submitted. Due to the very marginal soil conditions existing on the property, the Division is of the opinion that multiple soil TP's, say four (4), should be profiled for the primary disposal area and one (1) for the laundry system.

Administratively (paperworkwise) two (2) separate and complete subsurface wastewater disposal applications will be required, one (1) for the primary system and a second for the laundry system. If the site/soil conditions are found acceptable, then the two separate applications should be completed.

Should you or others have any questions, please call me at 289-5688.

Very truly yours,

A handwritten signature in cursive script that reads "Jay Hardcastle".

Jay Hardcastle  
Wastewater and Plumbing Control  
Division of Health Engineering

JH/lid

cc: William Goodwin, SE  
Richard Swain, Davelor Consulting Group

Daylor  
Consulting  
Group  
Inc.

June 11, 1990

Mr. Joseph E. Gray, Jr.  
Director, Department of Planning and Urban Development  
City of Portland  
389 Congress Street  
Portland, Maine 04101

Subject: MacIsaac Property, Woods Road, Peaks Island

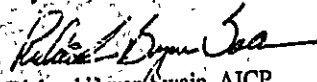
Dear Mr. Gray,

I have received a copy of the June 6th letter from Sam Hoffses to Steven MacIsaac indicating a revocation date for the Permits, should the "misinformation" not be corrected by them. Although I believe this is an extreme understatement of the cause for revocation of the Permits, the action which Sam Hoffses has taken is both appropriate and appreciated.

An unresolved issue, however, is the applicability of Section 14-145.5 (2) of the Portland Zoning Ordinance for improvements to Woods Road, in accordance with Article III of Chapter 25 of the municipal Code of Ordinances, to provide suitable access for new development. I remain concerned about this subject and would appreciate a response to my letter of May 9th.

Thank you again for your attention to my concerns.

Sincerely  
Daylor Consulting Group, Inc.

  
Richard Bryan Swain, AICP

Bill

Please call/see me on this



Suite 216  
World Trade Center  
Boston/MA 02210  
617 439 5525  
FAX 439 5470

RECEIVED  
JUN 13 1990  
PORTLAND PLANNING OFFICE



13 Francine Rd.  
Framingham, Ma.  
01701  
June 20, 1990

Mr. Samuel Hoffses  
Chief of Inspections  
Department of Planning  
Portland City Hall  
389 Congress St.  
Portland, Maine 04101

Re: Woods Road  
Pea Island  
92-1-1 Permit

Dear Mr. Hoffses:

I am in receipt of your June 6, 1990 letter wherein you indicate that I must satisfy the additional information needs of the Army Corps of Engineers and State Division of Health Engineering by June 30, 1990 or my building permit #2275 will be revoked.

Please be advised that I will comply with your request, however, I have no control over when these agencies will issue replies and, therefore, cannot be held responsible for their timeliness.

I, therefore, respectfully request that I only be held accountable for those things I can control.

Sincerely,

*Steve MacIsaac*  
Steve MacIsaac

**RECEIVED**

JUN 27 1990

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND



13 Francine Rd.  
Framingham, Ma.  
01701  
June 19, 1990

Mr. Jay Clemens  
U.S. Army Corps of Engineers  
Maine Project Office  
R.R. 5, Box 1855  
Augusta, Maine 04330

RECEIVED

JUN 27 1990

DEPT. OF BUILDING INSPECTIONS  
CITY OF PORTLAND

Dear Mr. Clemens:

This is a follow-up to our recent telephone discussion. As you suggested, I am notifying the Corps via letter rather than a permit application of our proposed construction of a summer cottage on Lot # 92-G-31 located on Woods Road, Peaks Island, Maine.

Please see attached vicinity plan, plot plan, septic plan, and photos. The site consists of a 25,600 square foot parcel. The proposed fill area is located 27 feet above the high water mark of a portion of Portland Harbor. The wetland circumstances at the site are man-made, having been caused by the collapse of a culvert under Woods Road and/or the gradual build-up of multiple applications of fill on the road over a number of years. Because of this blockage, the natural drainage flow of spring water runoff collect on the site from surrounding higher elevation areas. Under normal conditions this water would have drained into the harbor through a cut in the ledge on an adjoining lot. During the late spring, summer, and fall the site is dry but, because of the winter water stagnant pooling, a species of wetland vegetation grows on a small portion of the site. No wildlife, birds, fish or shellfish are supported by this somewhat damp soil and in many areas of this "wetlands area" non wetland trees such as birches grow. The area does, however, support the breeding of a large quantity of mosquitoes.

Our proposal, as can be seen on the plan, is to fill the area indicated and to channel the drainage under the road via a culvert. This will release the stagnant pooling and return the area to the way it was prior to the blockage.

The City of Portland originally granted my wife and I a building permit for this project, but requested us not to undertake construction until an abutter's concerns could be researched. It is our understanding that the City is ready to reconfirm the permit as soon as we have satisfied your requirements.

We request consideration for a "nationwide permit" for this project under the provisions of 33 CFR 330.5(A).26. This project may possibly be a candidate for consideration under 33 CFR 323.4(E).6(iii) since it will correct a nonconforming forest road "fill" project.

We hope the preceeding provides you with the background information required for your evaluation. My wife and I look forward to meeting you at the site at the end of June. Please call me at 617-722-3228 Ext.5003 if you need additional material and to arrange for the site visit.

Sincerely,

*Steve MacIsaac*

*Kim MacIsaac*

Steve MacIsaac  
Kim MacIsaac

cc: Samuel Hoffses  
William Giroux

## Goodwin Associates

OCEAN SPRAY ROAD  
PEAKS ISLAND, MAINE 04108

June 27, 1990

Maine Department of Human Services  
Division of Health Engineering  
Wastewater and Plumbing Control Section  
Augusta, Maine 04333

Attention: Mr. Jay Hardcastle

Re: Revised Subsurface Wastewater Disposal System Application  
Steven MacIsaac Property, Woods Road, Peaks Island, Portland

Dear Mr. Hardcastle:

In response to your letter of May 22, 1990 to Mr. Addato (on which I was copied) in reference to the above mentioned revised disposal system design, I have conducted an evaluation of the additional soil test pits required by the Division. This re-evaluation was performed on June 16, 1990. The test pit in the area of the separated laundry system revealed that inadequate mineral soil existed between the 6" organic strata and the ground water table.

Last November at our meeting, we discussed revising the system from a trench configuration to a cluster configuration and including the design flow from the home laundry in the primary disposal area rather than a separated laundry system. We also discussed changing the design flow from conservative to moderate.

Attached please find copies of the revised HHE-200 forms incorporating the revisions we discussed last fall. These forms include the soil test pit logs for the required additional test pits evaluated on June 16, 1990. Three additional acceptable test pits were located in the area of the revised cluster system for a total of five acceptable pits in the area of the system. An additional test pit located between the wetland area and the cluster system, shown as test pit #3 had only 12" between the organic strata and the ground water table rather than the required 15".

I am sending four originals of this form to Mr. MacIsaac for his signature along with a copy of this letter. Mr. Addato and Mr. P. Samvel Hoffses are also being provided with a copy of the revised HHE-200 form as attachments to their copy of this letter.

In regards to the second paragraph in the subject letter to Mr. Addato, please be advised that Mr. MacIsaac was provided with 4 original complete copies of the HHE-200 forms for both the primary system and the separated laundry system last fall. If you were not provided with both designs when you were requested to review the

systems, I can only assume that one of the applications was omitted by the person or persons requesting your review.

I am hand delivering this letter and the revised LSE-200 forms at our scheduled 10:00am meeting on June 28, 1990 at which time I can review the forms with you and answer any questions you may have. Should you or others have any additional questions, please contact me at Goodwin Associates at 766-2083.

Very truly yours,

*William B. Goodwin*

William B. Goodwin, S.E.

cc w/ attachments:

✓ Arthur Addato - City of Portland Code Enforcement Officer  
P. Samuel Hoffses - City of Portland Chief of Inspections  
Steven MacIsaac

**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Department of Human Services  
Division of Health Engineering  
(207) 283-3826

**PROPERTY ADDRESS**

Town Or Plantation: **PORTLAND PEAKS ISLAND**

Street: **WOODS ROAD**

Subdivisor/Lot #: **TAX MAP 92 BLOCK 6 LOT 31**

**PROPERTY OWNERS NAME**

Last: **MACISAAC** First: **STEVEN**

Applicant Name: **STEVEN MACISAAC**

Mailing Address of Owner/Applicant (if Differs): **13 FRANCINE ROAD  
FRAMINGHAM MASS 01701**

**Owner/Applicant Statement**

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant \_\_\_\_\_ Date \_\_\_\_\_

**Caution: Permit Required**

The Subsurface Wastewater Disposal System shall not be installed until a Permit is attached here by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

**Caution: Inspection Required**

I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules.

Local Plumbing Inspector Signature \_\_\_\_\_ Date Approved \_\_\_\_\_

**PERMIT INFORMATION**

<p><b>THIS APPLICATION IS FOR:</b></p> <p>1. <input checked="" type="checkbox"/> NEW SYSTEM</p> <p>2. <input type="checkbox"/> REPLACEMENT SYSTEM</p> <p>3. <input type="checkbox"/> EXPANDED SYSTEM</p> <p>4. <input type="checkbox"/> SEASONAL CONVERSION</p> <p>5. <input type="checkbox"/> EXPERIMENTAL SYSTEM</p>	<p><b>THIS APPLICATION REQUIRES:</b></p> <p>1. <input checked="" type="checkbox"/> NO RULE VARIANCE REQUIRED</p> <p>2. <input type="checkbox"/> NEW SYSTEM VARIANCE Attach New System Variance Form</p> <p><input type="checkbox"/> REPLACEMENT SYSTEM VARIANCE Attach Replacement System Variance Form</p> <p>3. <input type="checkbox"/> Requires only Local Plumbing Inspector Approval</p> <p>4. <input type="checkbox"/> Requires both State and Local Plumbing Inspector Approval</p>	<p><b>INSTALLATION IS COMPLETE SYSTEM</b></p> <p>1. <input checked="" type="checkbox"/> NON-ENGINEERED SYSTEM</p> <p>2. <input type="checkbox"/> PRIMITIVE SYSTEM (Includes Alternative Toilet)</p> <p>3. <input type="checkbox"/> ENGINEERED (+2000 gpd)</p> <p><b>INDIVIDUALLY INSTALLED COMPONENTS:</b></p> <p>4. <input type="checkbox"/> TREATMENT TANK (ONLY)</p> <p>5. <input type="checkbox"/> HOLDING TANK</p> <p>6. <input type="checkbox"/> ALTERNATIVE TOILET (ONLY)</p> <p>7. <input type="checkbox"/> NON-ENGINEERED DISPOSAL AREA (ONLY)</p> <p>8. <input type="checkbox"/> ENGINEERED DISPOSAL AREA (ONLY)</p> <p>9. <input type="checkbox"/> SEPARATED LAUNDRY SYSTEM</p>
<p><b>IF REPLACEMENT SYSTEM:</b></p> <p>YEAR FAILING SYSTEM INSTALLED _____</p> <p>THE FAILING SYSTEM IS:</p> <p>1. <input type="checkbox"/> JED    2. <input type="checkbox"/> TRENCH</p> <p>3. <input type="checkbox"/> CHAMBER    4. <input type="checkbox"/> OTHER _____</p>	<p><b>DISPOSAL SYSTEM TO SERVE:</b></p> <p>1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING</p> <p>2. <input type="checkbox"/> MODULAR OR MOBILE HOME</p> <p>3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING</p> <p>4. <input type="checkbox"/> OTHER _____ SPECIFY _____</p>	<p><b>TYPE OF WATER SUPPLY</b></p> <p>PUBLIC WATER</p>
<p>SIZE OF PROPERTY: <b>25,600 SF</b></p> <p>ZONING: <b>IR1</b></p>		

**DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)**

<p><b>TREATMENT TANK</b></p> <p>1. <input checked="" type="checkbox"/> SEPTIC: <input type="checkbox"/> Regular <input checked="" type="checkbox"/> Low Profile</p> <p>2. <input type="checkbox"/> AEROBIC</p> <p>SIZE: <b>1000</b> GALS.</p>	<p><b>WATER CONSERVATION</b></p> <p>1. <input type="checkbox"/> NONE</p> <p>2. <input checked="" type="checkbox"/> LOW VOLUME TOILET</p> <p>3. <input type="checkbox"/> SEPARATED LAUNDRY SYSTEM</p> <p>4. <input type="checkbox"/> ALTERNATIVE TOILET</p> <p>SPECIFY: _____</p>	<p><b>PUMPING</b></p> <p>1. <input checked="" type="checkbox"/> NOT REQUIRED</p> <p>2. <input type="checkbox"/> MAY BE REQUIRED (DEPENDS ON TREATMENT TANK LOCATION AND ELEVATION)</p> <p>3. <input type="checkbox"/> REQUIRED</p> <p>DOSE: _____ GALS</p>	<p><b>CRITERIA USED FOR DESIGN FLOW* (BEDROOMS, SEATING, EMPLOYEES, WATER RECORDS, ETC.)</b></p> <p><b>3 BEDROOM MODERATE 360</b></p> <p><b>LOW VOLUME TOILET -36</b></p> <p>DESIGN FLOW: <b>324</b> (GALLONS/DAY)</p>
<p><b>SOIL CONDITIONS USED FOR DESIGN PURPOSES</b></p> <p>PREVIOUS CONDITION: <b>AIII</b></p> <p>DEPTH OF LIMITING FACTOR: <b>1'</b></p>	<p><b>SIZE RATINGS USED FOR DESIGN PURPOSES</b></p> <p>1. <input type="checkbox"/> SMALL</p> <p>2. <input type="checkbox"/> MEDIUM</p> <p>3. <input checked="" type="checkbox"/> MEDIUM-LARGE</p> <p>4. <input type="checkbox"/> LARGE</p> <p>5. <input type="checkbox"/> EXTRA LARGE</p>	<p><b>DISPOSAL AREA TYPE/SIZE</b></p> <p>1. <input type="checkbox"/> BED _____ Sq. Ft.</p> <p>2. <input checked="" type="checkbox"/> CHAMBER <b>558*</b> Sq. Ft.</p> <p><input checked="" type="checkbox"/> REGULAR <input type="checkbox"/> H 20</p> <p>3. <input type="checkbox"/> TRENCH _____ Linear Ft.</p> <p>4. <input type="checkbox"/> OTHER: _____</p>	

**SITE EVALUATOR**  
JUNIOR #102  
On **MARCH 27 1989** (date) I conducted a site evaluation for this project and certify that the data reported is accurate. The system I propose is in accordance with the Subsurface Wastewater Disposal Rules.

*William B. Jordan* **0003/4814** **G/27/90**

See Evaluator or Professional Engineer's Signature      SE # / P.I.#      Date

\_\_\_\_\_  
Local Plumbing Inspector's Signature if a Local Site Evaluation Waiver under a Local Order

Page 1 of 3  
HHE-200 Rev. 4/81



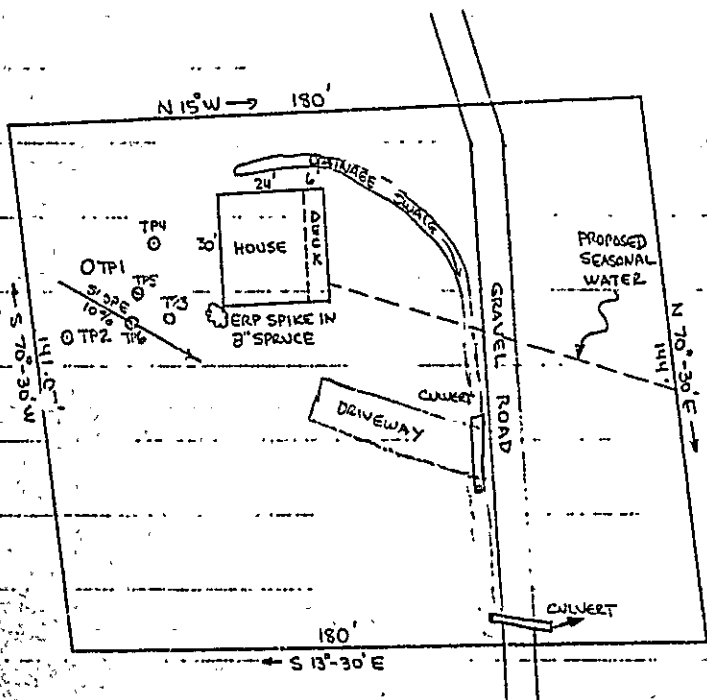
**-SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Department of Human Services  
Division of Health Engineering

Town, City, Plantation: **PORTLAND PEAKS ISLAND WOODS ROAD** Street, Road, Subdivision: **92-S-31** Owners Name: **STEVEN MACISAAC**

SITE PLAN

Scale 1" = **40** FL



**SOIL DESCRIPTION AND CLASSIFICATION**

(Location of Observation Holes Shown Above)

Observation Hole 1  Test Pit  Boring

**2" FOREST FEAT** Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
LOAM	SLIGHTLY FRIABLE	DARK BROWN	
SANDY LOAM	FRIABLE	MEDIUM BROWN	NONE
SILTY SAND	SLIGHTLY FRIABLE	RED BROWN	
GRAVEL	FRIABLE	RED GRAY	COMMON
RED ROCK			FEW

Sol	Classification	Slope	Limiting Factor	<input checked="" type="checkbox"/> Ground Water
3	A.III	10%	18	<input type="checkbox"/> Redox Layer
	Condition			<input type="checkbox"/> Bedrock

Observation Hole 2  Test Pit  Boring

**2" FOREST FEAT** Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
LOAM	SLIGHTLY FRIABLE	DARK BROWN	
SANDY LOAM	FRIABLE	GRAY BROWN	
SILTY SAND	SLIGHTLY FRIABLE	RED BROWN	
GRAVEL	FRIABLE	RED GRAY	COMMON
RED ROCK			FEW

Sol	Classification	Slope	Limiting Factor	<input checked="" type="checkbox"/> Ground Water
3	A.III	10%	16	<input type="checkbox"/> Redox Layer
	Condition			<input type="checkbox"/> Bedrock

*William B. Johnson*  
Site Evaluator or Professional Engineer's Signature

0003/4814  
SE# / PE#

6/27/90  
Date

MACISAAC JUNE 16, 1990

SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)				
Observation Hole <u>3</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring		Observation Hole <u>4</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring		
2" FOREST FEAT - Depth of Organic Horizon Above Mineral Soil		2" FOREST FEAT - Depth of Organic Horizon Above Mineral Soil		
Texture	Consistency	Color	Mottling	
0 LOAM		DARK BROWN	NONE	
6				
10 SILTY LOAM	FRIABLE	GRAY BROWN	NONE	
15				
20			STANDING WATER	
25				
30				
35				
40			ASSUMED BEDROCK	
45				
50				
Soil <u>3</u>	Classification <u>AIII</u>	Slope <u>10</u> %	Limiting Factor <u>12</u>	<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Perched Layer <input type="checkbox"/> Bedrock

Texture	Consistency	Color	Mottling	
0 LOAM		DARK BROWN		
6				
10 SANDY LOAM	FRIABLE	BROWN	NONE	
15				
20			FEW	
25				
30				
35				
40			ASSUMED BEDROCK	
45				
50				
Soil <u>3</u>	Classification <u>AIII</u>	Slope <u>10</u> %	Limiting Factor <u>20</u>	<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Perched Layer <input type="checkbox"/> Bedrock

LEGEND :



— BOTTOM OF DUG TEST PIT  
 - - - DEPTH PROBED (ONLY) FOR BEDROCK  
 / / / BORING REFUSAL ASSUMED BEDROCK

SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)				
Observation Hole <u>5</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring		Observation Hole <u>6</u> <input checked="" type="checkbox"/> Test Pit <input type="checkbox"/> Boring		
3" FOREST FEAT - Depth of Organic Horizon Above Mineral Soil		2" FOREST FEAT - Depth of Organic Horizon Above Mineral Soil		
Texture	Consistency	Color	Mottling	
0 LOAM		DARK BROWN		
6				
10 LOAM	FRIABLE	BROWN	NONE	
15				
20				
25				
30				
35				
40			ASSUMED BEDROCK	
45				
50				
Soil <u>3</u>	Classification <u>AIII</u>	Slope <u>10</u> %	Limiting Factor <u>20</u>	<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Perched Layer <input type="checkbox"/> Bedrock

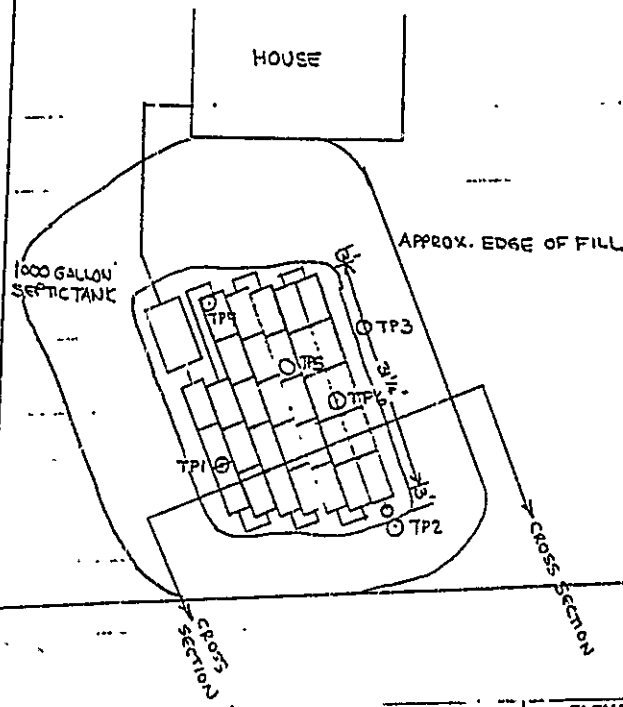
Texture	Consistency	Color	Mottling	
0 LOAM		DARK BROWN		
6				
10 SILTY LOAM	FRIABLE	GRAY BROWN		
15				
20			STANDING WATER	
25				
30				
35				
40			ASSUMED BEDROCK	
45				
50				
Soil <u>3</u>	Classification <u>AIII</u>	Slope <u>10</u> %	Limiting Factor <u>15</u>	<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Perched Layer <input type="checkbox"/> Bedrock

*William B. Goodwin* 0003/4814 6/27/90  
 S&E Evaluator SE# Date

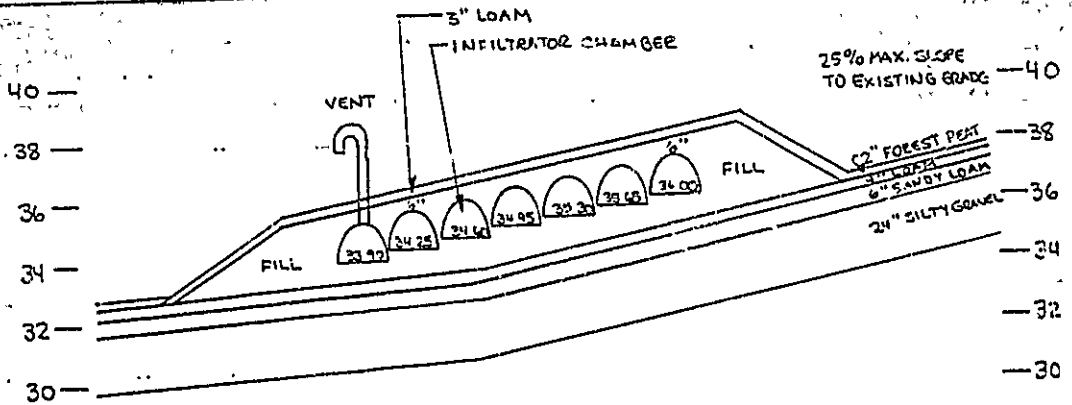
# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services  
Division of Health Engineering

Town, City, Plantation <b>PORTLAND PEAKS ISLAND</b>	Street, Road, Subdivision <b>WOODS ROAD 92-6-31</b>	Owners Name <b>STEVEN MAJISAAC</b>
SUBSURFACE WASTEWATER DISPOSAL PLAN		Scale 1" = <u>20</u> Ft.



<b>FILL REQUIREMENTS</b>	<b>CONSTRUCTION ELEVATIONS</b>	<b>ELEVATION REFERENCE POINT LOCATION &amp; DESCRIPTION</b>
Depth of Fill (Upslope) <u>30'</u>	Reference Elevation is <u>34.31</u>	SPIKE IN 8" SPRUCE NEAR HOUSE
Depth of Fill (Downslope) <u>28'</u>	Bottom of Disposal Area <u>SEE X SECTION</u>	
	Top of Distribution Lines or Chambers <u>SEE Y SECTION</u>	
<b>DISPOSAL AREA CROSS SECTION</b>		
Scale: Vertical: 1 Inch = 5 Ft. Horizontal: 1 Inch = 10 Ft.		



*William B. Goodwin*  
Site Evaluator or Professional Engineer's Signature

0003/4814  
SE #/PC #

6/27/90  
Date



RECEIVED

MAY 21 1990

PORTLAND PLANNING OFFICE

Daylor  
Consulting  
Group  
Inc.

May 17, 1990

Mr. P. Samuel Hoffses  
Chief, Inspection Services Division  
City of Portland  
329 Congress Street  
Portland, Maine 04101

Subject: Land of MacIsaac on Peaks Island  
92-G-31 Woods Road

Dear Mr. Hoffses,

I have reviewed the revised "Subsurface Wastewater Disposal System Application" as prepared by William B. Goodwin and submitted by Steven MacIsaac on April 20, 1990. I note that the soil evaluations are based upon the same two test pits as the previous submission of May 1989. Those evaluations having been conducted by William Goodwin on March 27, 1989. It is my understanding, as a result of inquiries made of your office by my attorneys, that a revised "Topographic Site Plan" could not be located and it was uncertain whether one had been submitted with this Application as required.

I trust you recall the November 6, 1989 site review attended by Jay Hardcastle, William Goodwin, yourself and other City staff. I am also certain that you will recall one of the blatant site plan discrepancies, and one of several which invalidated the sewage system Permit of last June, was the actual location of a rock outcrop within the westernmost row of proposed infiltration chambers.

I overlaid the sewage system plan dated 2 May 89 with the revised system plan dated 28 Nov 89 to note the design changes; both being on page 3 of 3 of the Application forms as prepared by William Goodwin. I discovered several curious things. The system plans are identical; the property lines, house location, laundry system, and lettering on both are perfectly. Two things are not identical. The first is the number of infiltration chambers for the wastewater system in each of the five rows of such chambers; the septic tank was relocated away from the house and into the westernmost row to overcome the inadequate setback from a man-made ditch of the May 1989 submission. However, the location of the five rows of chambers is identical between the two plans, and the westernmost row of chambers on the April 1990 submission is in exactly the same location as the westernmost row of the May 1989 submission. This means the westernmost row in the revised system plan, dated 28 Nov 89, still straddles the rock outcrop observed in the field earlier that month. The second curious thing is the test pit locations are not the same in both plans. The test pit TP1 has been illustrated within the westernmost row of chambers of the 28 Nov 89 plan. I believe this creates the impression that the sewage disposal field has been moved easterly off the rocks. The location of test pit TP2 matches perfectly between the 1989 and 1990 submissions. However, the space between TP1 and TP2 has apparently and inexplicably increased from 20 feet on the plan prepared by Goodwin dated 2 May 89 to 27 feet on the plan prepared by Goodwin dated 28 Nov 89. The Topographic Site Plan, signed and stamped by Registered Land Surveyor Gary E. Johnson, which accompanied the May 1989 Application indicates the two test pits have a spacing of 20 feet. I am greatly concerned this

Suite 216  
World Trade Center  
Boston/MA 02210

617 439 5525  
FAX 439 5470

RECEIVED

MAY 14 1990

PORTLAND PLANNING OFFICE

Daylor  
Consulting  
Group  
Inc.

May 9, 1990

Mr. Joseph E. Gray, Jr.  
Director, Department of Planning and Urban Development  
City of Portland  
389 Congress Street  
Portland, Maine 04101

Subject: MacIsaac Property, Woods Road, Peaks Island

Dear Mr. Gray,

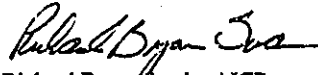
I recently received a pleasant response from City Manager Ganley to my letters of March 1st and April 5th. After having served seven mayors during my fourteen years as a city planner, I understand the constraints of his schedule and appreciated his taking the time to respond. It is also understandable that Mr. Ganley's response was general in nature and I trust the resolution of the details have been delegated to you.

It is my understanding that a revised "Subsurface Wastewater Disposal System Application" has been filed for the MacIsaac property at Woods Road and that it is being sent to Mr. Hardcastle at the state Department of Human Engineering for review. State involvement regarding the issuance of a permit for the sewage disposal system will alleviate my concern regarding local plumbing inspector approval procedures contained in the March letter.

The applicability of Section 14-145.5 of the Portland Zoning Ordinance for improvements to Woods Road to provide suitable access for new development remains a concern, however. Woods Road certainly predates 1935 and there are eight lots between Pleasant Avenue, the nearest paved road, and the MacIsaac lot which rely on this easement for their only access. I would appreciate your review of the applicability of this ordinance, a description of the roadway drainage and pavement construction standards for such access ways, and surety requirements. Finally, if you concur that access improvements are required, please inform me if the design/approval/surety process is a prerequisite to the issuance of the Building Permit.

Thank you again for your attention to my concerns.

Sincerely  
Daylor Consulting Group, Inc.


  
Richard Bryan Swain, AICP

copy: Mr. Robert B. Ganley  
Attorney Richard A. Shinay; DWP&M

Suite 216  
World Trade Center  
Boston/MA 02210

617 439 5525  
FAX 439 5471





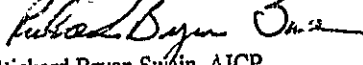
Mr. P. Samuel Hoffses  
Land of MacIsaac  
Woods Road on Peaks Island  
May 17, 1990  
Page 2

is another indication of the incomplete and inaccurate information being submitted as the MacIsaac "Subsurface Wastewater Disposal System Application" by William Goodwin; a licensed Site Evaluator in the State of Maine.

My patience is near an end! The records demonstrate that incomplete and inaccurate information was provided to the City in May of 1989 when application was made for the Subsurface Wastewater Disposal System Permit and Building Permit for Steven MacIsaac; and that the City failed to evaluate the actual site conditions or assure that the wastewater system complied with the Maine Subsurface Wastewater Disposal Rules prior to issuing permits in June of 1989. I am also greatly concerned about improperly executed permits by those with responsibility for assuring compliance with City/State regulations and review of site conditions before the permits were issued. I have expended several months and several times the cost of the land to MacIsaac in my efforts to have the City of Portland correct its mistakes and prevent the environmental degradation and potential health hazards from an improperly permitted sewage system. I believe no citizen should have to expend this much time and resources to get its government to do the obvious!

I trust you will agree that the City has given every reasonable opportunity to MacIsaac to revise and correct the Subsurface Wastewater Disposal System Application. Now it is time to revoke the Permits. If a new application is made for a subsurface wastewater disposal system at this site, I trust the complete site information required in Section 6 of the Subsurface Wastewater Disposal Rules will be provided, that the system limits will be marked in the field as required to assist review by City/State officials, and that a thorough site evaluation and design compliance review will be conducted before the permit is granted.

Sincerely,  
Daylor Consulting Group, Inc.



Richard Bryan Swain, AICP

copy: Mr. Robert B. Ganley  
Mr. Joseph E. Gray, Jr.  
Attorney Charles A. Lane  
Mr. Jay Hardcastle; DHS/DHE  
Attorney Richard A. Shinay; DWP&M

## FAX FORM

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<b>DATE:</b> July 25, 1990	<b>PROJECT:</b> MacIsaac @ Woods Road	<b>PAGES:</b> 5 [FAX FORM Included]
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<b>FROM:</b> Richard Bryan Swain, AICP Daylor Consulting Group, Inc. Suite 216 World Trade Center Boston, MA 02210	617-439-5525 Office 617-439-5470 FAX
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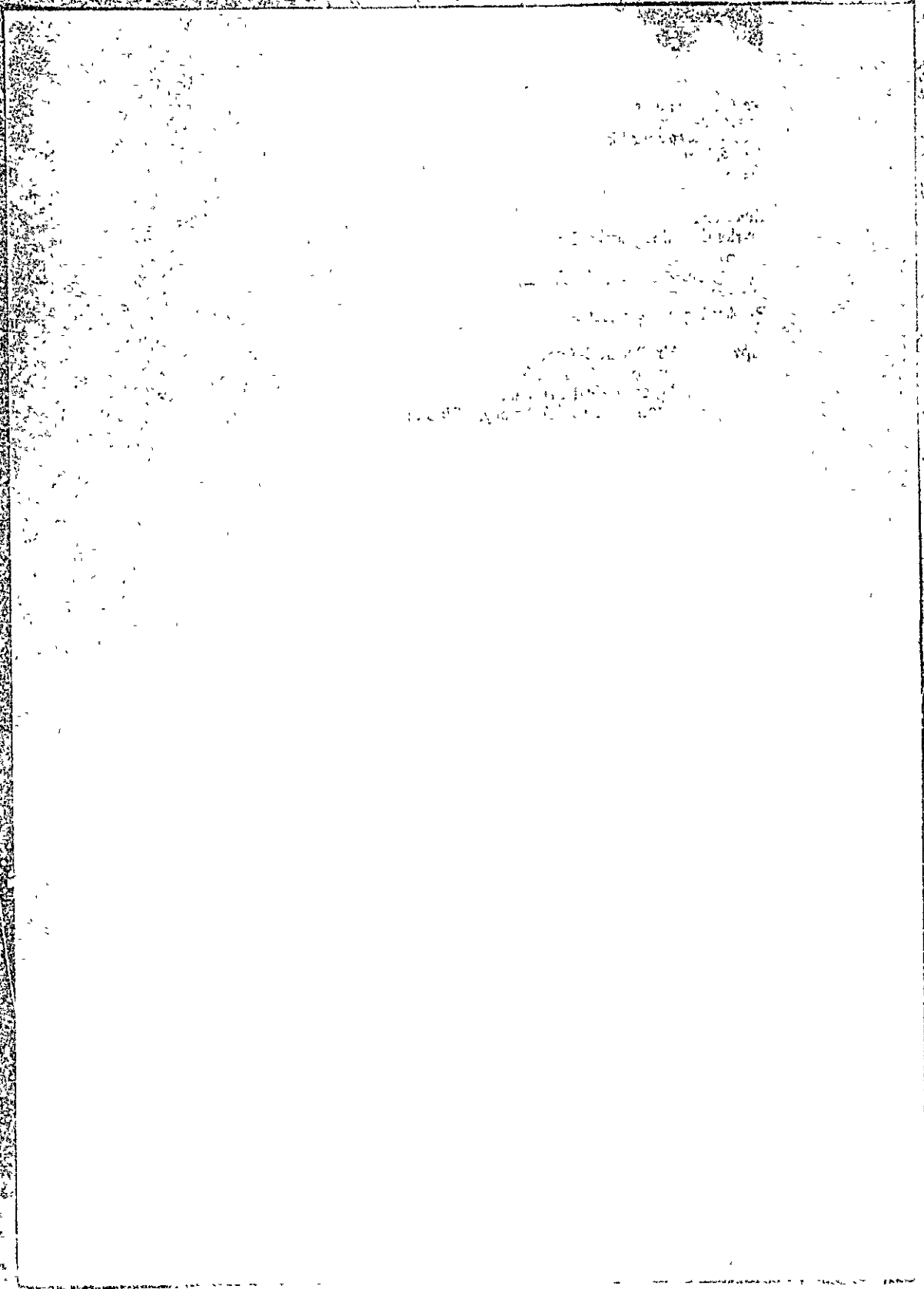
<b>TO:</b> Mr. P. Samuel Hoffses Chief, Inspection Services Division City of Portland 389 Congress Street Portland, ME 04101	207-874-8300 207-874-8649 FAX
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**REMARKS:**

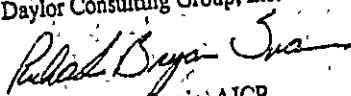
Well Sam, the third Subsurface Wastewater Disposal System Application is not sufficiently improved over the previous two. I am disappointed that I was not informed of the Application filing by the City, despite repeated requests by myself and our attorneys to be kept current regarding the permit process. I am also concerned that Jay Hardcastle was requested by the City to review the soil evaluations on-site. It seems that the submission process this time circumvented that understanding of last November, and Jay was placed in the same position you faced last year of reviewing what appears to be an acceptable Application. Despite my erroneous reference to the summer solstice, groundwater observed at the minimum permissible depth on June 27 should not be construed as the "seasonal high ground water" elevation. All is not logical here and bears some additional scrutiny.

Attached are two letters regarding different concerns with the most recent Application. "Original" versions have been mailed.



Mr. P. Samuel Hoffses  
Land of Macraac  
Woods Road on Peaks Island  
July 25, 1990  
Page 2

Sincerely,  
Daylor Consulting Group, Inc.



Richard Bryan Swain, AICP

copy: Mr. Robert B. Ganley  
Mr. Joseph E. Gray, Jr.  
Attorney Charles A. Lane  
Attorney Richard A. Shinay, DWP&M

JUL

JUL 25 '90 07:52 DAYLOR CONSULTING

P.2

Daylor  
Consulting  
Group  
inc.

July 24, 1990

Mr. P. Samuel Hoffses  
Chief, Inspection Services Division  
City of Portland  
389 Congress Street  
Portland, Maine 04101

Subject: Land of MacIsaac, Woods Road, Peaks Island

Dear Mr. Hoffses,

I understand that a third Subsurface Wastewater Disposal System Application for the property of Steve MacIsaac, dated June 27, 1990, has been submitted to the City of Portland by Mr. William Goodwin. I request that you withhold approval of that permit until a field review of the new test pit soil evaluations is conducted.


It is also my understanding that the permit application was reviewed with Mr. William Goodwin by Mr. Jay Hardcastle at the Department of Human Services, Division of Health Engineering in Augusta on or about July 17, 1990. Based solely upon the information contained in the Application, since Mr. Hardcastle had not reviewed the test pit soils on-site, a letter was sent at Mr. Goodwin's request to Arthur Addato, dated July 17, 1990, which indicated the information and design as presented in the Application was acceptable and that a City plumbing inspector could issue a system permit.

However, test pit information contained in the third Subsurface Wastewater Disposal System Application records four new soils evaluations; three within the proposed sewage disposal system [TP 4,5,&6] and one outside the system [TP 3]. The information within the Application indicates that TP 3 had standing water at 12 inches below the surface. TP 6 indicates standing water at the minimum permissible distance of 15 inches below the surface. TP 4 and TP 5 do not indicate water to the depths of excavation, approximately 24 and 22 inches respectively. Standing water in a test pit within the proposed system at the minimum permissible depth, observed shortly after the summer equinox in June, is not likely to reflect high groundwater conditions!

It should be remembered that Mr. Hardcastle in his letter of 22 May 90 regarding the inadequacy of the second Application stated "Due to the very marginal soil conditions existing on the property..." that additional information was necessary. Mr. Hardcastle did not review the new test pits on-site because he was not asked by the City to do so; despite indicating his willingness to conduct such an on-site review during discussion we had at the 6 Nov 89 site evaluation.

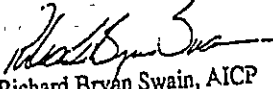
I believe we are in the same position as one year ago, when the original permits were issued without field verification of the Application information. I reiterate the belief that soils in the proposed sewage disposal area are not suitable for the installation of a sewage disposal system. I request that you conduct a field review of the new test pit soil evaluations.





Mr. P. Samuel Hoffses  
Land of MacIsaac  
Woods Road on Peaks Island  
July 24, 1990  
Page 2

Sincerely,  
Daylor Consulting Group, Inc.



Richard Bryan Swain, AICP

copy: Mr. Robert B. Garley  
Mr. Joseph E. Gray, Jr.  
Attorney Charles A. Lane  
Mr. Jay Hardcastle, DHS/DHE  
Attorney Richard A. Shinay, DWP&M

Daylor  
1990

Mr. P. Samuel Hoffses  
Chief, Inspection Services Division  
City of Portland  
389 Congress Street  
Portland, Maine 04101

Subject: Land of MacIsaac, Woods Road, Peaks Island

Dear Mr. Hoffses,

I have reviewed the third Subsurface Wastewater Disposal System Application for the property of Steve MacIsaac, dated June 27, 1990, which has been submitted to the City. I am concerned that no basic engineering information has been provided regarding the proposed stormwater drain under Woods Road.

The drainage pipe from the wetland area of the MacIsaac property under Woods Road was first indicated in the second Subsurface Wastewater Disposal System Application, dated 16 Apr 90. No revised "Topographic Site Plan" was submitted with that Application, as required which would provide basic information for its location, invert elevation, pipe size, and the proposed roadway grading over the culvert. Our concern that such basics were not being provided to the City by the applicant was expressed in a letter from Attorney Cohen to Associate Corporation Counsel Lane on 24 May 90; of which you received a copy.

I would like to paraphrase portions of the 15 Sep 89 letter from Attorney Shinsky to you which concern this drainage issue. A significant area, south of Woods Road, is a wetland which is subject to significant seasonal and storm water inundation. The topographic basin which contains the wetlands is almost equally distributed between the MacIsaac and our properties and therefore inextricably interconnected. The topographic depression which contains the wetlands is in effect a retention basin for minor storm events and acts as a detention basin for major storm events. The basin's water elevation raises during storm events and floods a significant portion of the MacIsaac lot and our property. Seasonal snow-melt and major storm events raise the water elevation sufficiently that water subsequently flows primarily overland across our property to the east, or north over Woods Road to a lesser extent. The proposed wetlands filling of portions of the basin will decrease its storm-water storage capacity. This activity, absent adequate drainage provision, will increase the inundation of the remaining wetlands on our property and increase the frequency and severity of stormwater flows over our property.

The City should have an interest to assure that actions it permits do not adversely effect adjacent downgradient properties, nor diminish the adequacy or safety of Woods Road as the only access to our property. It is my understanding that no revised "Topographic Site Plan" was submitted with the third Application either. The City cannot review what is done not have and permitting unspecified construction is not prudent.

Suite 216  
World Trade Center  
Boston/MA 02210  
617 439 5525  
FAX 439 5470

April 17, 1990

Mr Samuel Hoffses  
Director, Building Inspection Dept  
Portland City Hall  
389 Congress St  
Portland, MAINE, 04101

RE: PEAKS Island  
Woods RB Lot

Dear Mr Hoffses. :

As per your request attached is septic  
system redesign for above referenced lot.  
This submittal when combined with the plot plan  
redesign submittal made in January completes the  
work you requested for this lot. If you have  
any questions, or comments please call me at  
617-722-3228 ex 5003

Sincerely,  
Steve MacDoran

**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

PROPERTY ADDRESS		<p align="center"><b>Caution: Permit Required</b></p> <p>The Subsurface Wastewater Disposal System shall not be installed until a Permit is attached here by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.</p>
Town Or Plantation	FORTLAND PEAKS ISLAND	
Street	WOODS ROAD	
Subdivision Lot #	TAX MAP 92 BLOCK 6 LOT 31	
PROPERTY OWNERS NAME		
MACISAAC STEVEN Last: First:		
Applicant Name:	STEVEN MacIsaac	
Mailing Address of Owner/Applicant (if Different)	13 FRANKINE ROAD FRANINGHAM MASS 01701	
<b>Owner/Applicant Statement</b> I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit. <i>Steven MacIsaac</i> 4-16-90 Signature of Owner/Applicant Date		<b>Caution: Inspection Required</b> I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules. _____ Local Plumbing Inspector Signature Date Approved

PERMIT INFORMATION		
<b>THIS APPLICATION IS FOR:</b> 1. <input checked="" type="checkbox"/> NEW SYSTEM 2. <input type="checkbox"/> REPLACEMENT SYSTEM 3. <input type="checkbox"/> EXPANDED SYSTEM 4. <input type="checkbox"/> SEASONAL CONVERSION 5. <input type="checkbox"/> EXPERIMENTAL SYSTEM	<b>THIS APPLICATION REQUIRES:</b> 1. <input checked="" type="checkbox"/> NO RULE VARIANCE REQUIRED 2. <input type="checkbox"/> NEW SYSTEM VARIANCE Attach New System Variance Form <input type="checkbox"/> REPLACEMENT SYSTEM VARIANCE Attach Replacement System Variance Form 3. <input type="checkbox"/> Requires only Local Plumbing Inspector Approval 4. <input type="checkbox"/> Requires both State and Local Plumbing Inspector Approval	<b>INSTALLATION IS COMPLETE SYSTEM</b> 1. <input checked="" type="checkbox"/> NON-ENGINEERED SYSTEM 2. <input type="checkbox"/> PRIMITIVE SYSTEM (Includes Alternative Toilet) 3. <input type="checkbox"/> ENGINEERED (+2000 gpd) <b>INDIVIDUALLY INSTALLED COMPONENTS:</b> 4. <input type="checkbox"/> TREATMENT TANK (ONLY) 5. <input type="checkbox"/> HOLDING TANK 6. <input type="checkbox"/> ALTERNATIVE TOILET (ONLY) 7. <input type="checkbox"/> NON-ENGINEERED DISPOSAL AREA (ONLY) 8. <input type="checkbox"/> ENGINEERED DISPOSAL AREA (ONLY) 9. <input type="checkbox"/> SEPARATED LAUNDRY SYSTEM
<b>IF REPLACEMENT SYSTEM:</b> YEAR FAILING SYSTEM INSTALLED _____ THE FAILING SYSTEM IS: 1. <input type="checkbox"/> BED 3. <input type="checkbox"/> TRENCH 2. <input type="checkbox"/> CHAMBER 4. <input type="checkbox"/> OTHER _____	<b>DISPOSAL SYSTEM TO SERVE:</b> 1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER _____ SPECIFY _____	<b>TYPE OF WATER SUPPLY</b> PUBLIC WATER
SIZE OF PROPERTY 29,600 SF ZONING R1		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
<b>TREATMENT TANK</b> 1. <input checked="" type="checkbox"/> SEPTIC: <input type="checkbox"/> Regular <input checked="" type="checkbox"/> Low Profile 2. <input type="checkbox"/> AEROBIC SIZE: 1000 GALS.	<b>WATER CONSERVATION</b> 1. <input type="checkbox"/> NONE 2. <input checked="" type="checkbox"/> LOW VOLUME TOILET 3. <input checked="" type="checkbox"/> SEPARATED LAUNDRY SYSTEM 4. <input type="checkbox"/> ALTERNATIVE TOILET SPECIFY: _____	<b>PUMPING</b> 1. <input checked="" type="checkbox"/> NOT REQUIRED 2. <input type="checkbox"/> MAY BE REQUIRED (DEPENDENT ON TREATMENT TANK LOCATION AND ELEVATION) 3. <input type="checkbox"/> REQUIRED DOSE: _____ GALS	<b>CRITERIA USED FOR DESIGN FLOW (BEDROOMS, SEATING, EMPLOYEES, WATER RECORDS, ETC.)</b> 3 BEDROOM CONSERVATIVE 450 LOW VOLUME TOILET -45 SEPARATED LAUNDRY -90 DESIGN FLOW: 315 (GALLONS/DAY)
<b>SOIL CONDITIONS USED FOR DESIGN PURPOSES</b> PROFILE 3   CONDITION AIII DEPTH TO LIMITING FACTOR 16"	<b>SIZERATINGS USED FOR DESIGN PURPOSES</b> 1. <input type="checkbox"/> SMALL 2. <input type="checkbox"/> MEDIUM 3. <input checked="" type="checkbox"/> MEDIUM-LARGE 4. <input type="checkbox"/> LARGE 5. <input type="checkbox"/> EXTRA LARGE	<b>DISPOSAL AREA TYPE/SIZE</b> 1. <input type="checkbox"/> BED _____ Sq. Ft. 2. <input checked="" type="checkbox"/> CHAMBER 775* Sq. Ft. <input checked="" type="checkbox"/> REGULAR <input type="checkbox"/> 1120 3. <input type="checkbox"/> TRENCH _____ Linear Ft. 4. <input type="checkbox"/> OTHER: _____	

**SITE EVALUATOR STATEMENT** \* USED 22 IN INFILTRATOR CHAMBER'S IN TRENCH CONFIGURATION

On MARCH 27 1989 (date) I conducted a site evaluation for this project and certify that the data reported is accurate. The system I propose is in accordance with the Subsurface Wastewater Disposal Rules.

*William B. Proctor* 0003/4814 11/28/89  
 Site Evaluator or Professional Engineer's Signature SF# / PE# Date

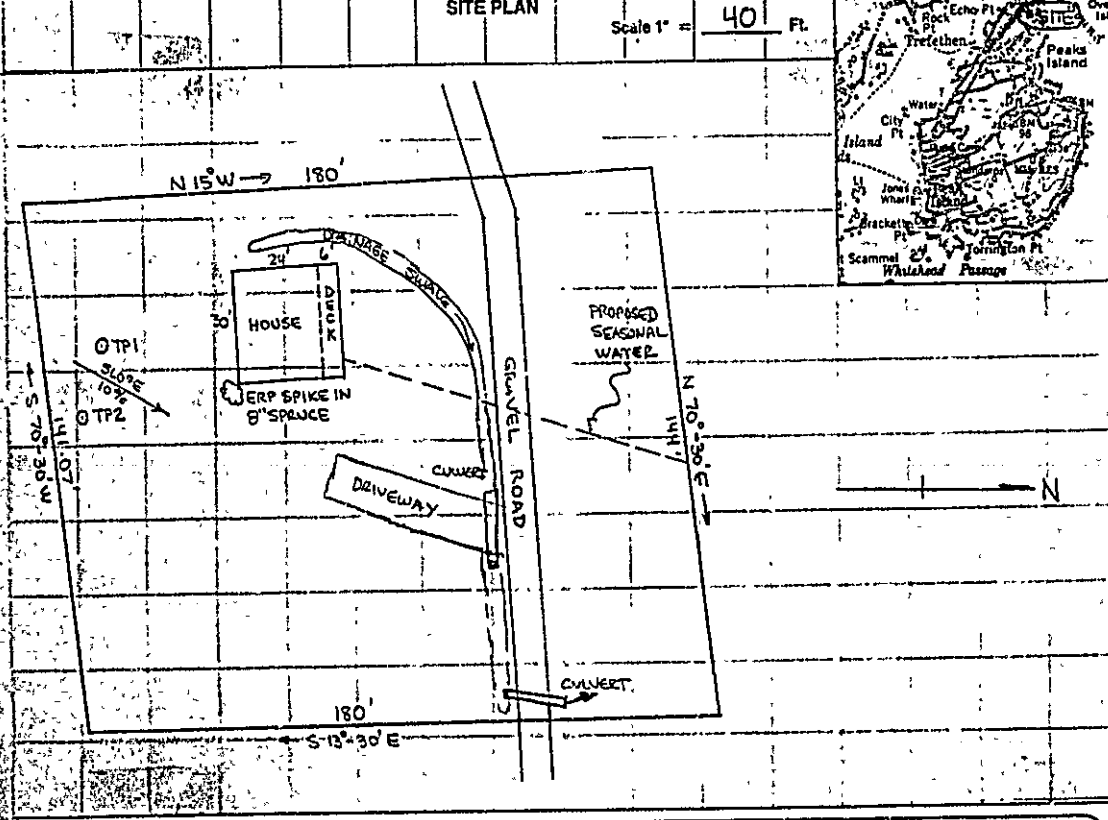
\* Local Plumbing Inspector Signature & Local Site Evaluation Waiver under a Local Option

Page 1 of 3  
HHE - 200 Rev. 4/83

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Health Engineering  
Division of Health Engineering

Town, City, Parish: **PORTLAND PEAKS ISLAND** Street, Road, Subdivision: **WOODS ROAD 92-6-31** Owners Name: **STEVEN MACISAAC**



## SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole 1  Test Pit  Boring

2" FOREST FEET Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
LOAM	SLIGHTLY FRIABLE	DARK BROWN	
SANDY LOAM	FRIABLE	MEDIUM BROWN	NONE
SILTY GRAVEL	SLIGHTLY FRIABLE	RED BROWN	COMMON
	FRIABLE	RED GRAY	FEW

Soil Profile: 3 Classification: AIII Slope: 10% Limiting Factor: 1B

Ground Water  Rooting Layer  Bedrock

Observation Hole 2  Test Pit  Boring

2" FOREST FEET Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
LOAM	SLIGHTLY FRIABLE	DARK BROWN	
SANDY LOAM	FRIABLE	GRAY BROWN	
SILTY GRAVEL	SLIGHTLY FRIABLE	RED BROWN	COMMON
	FRIABLE	RED GRAY	FEW

Soil Profile: 3 Classification: AIII Slope: 10% Limiting Factor: 16

Ground Water  Rooting Layer  Bedrock

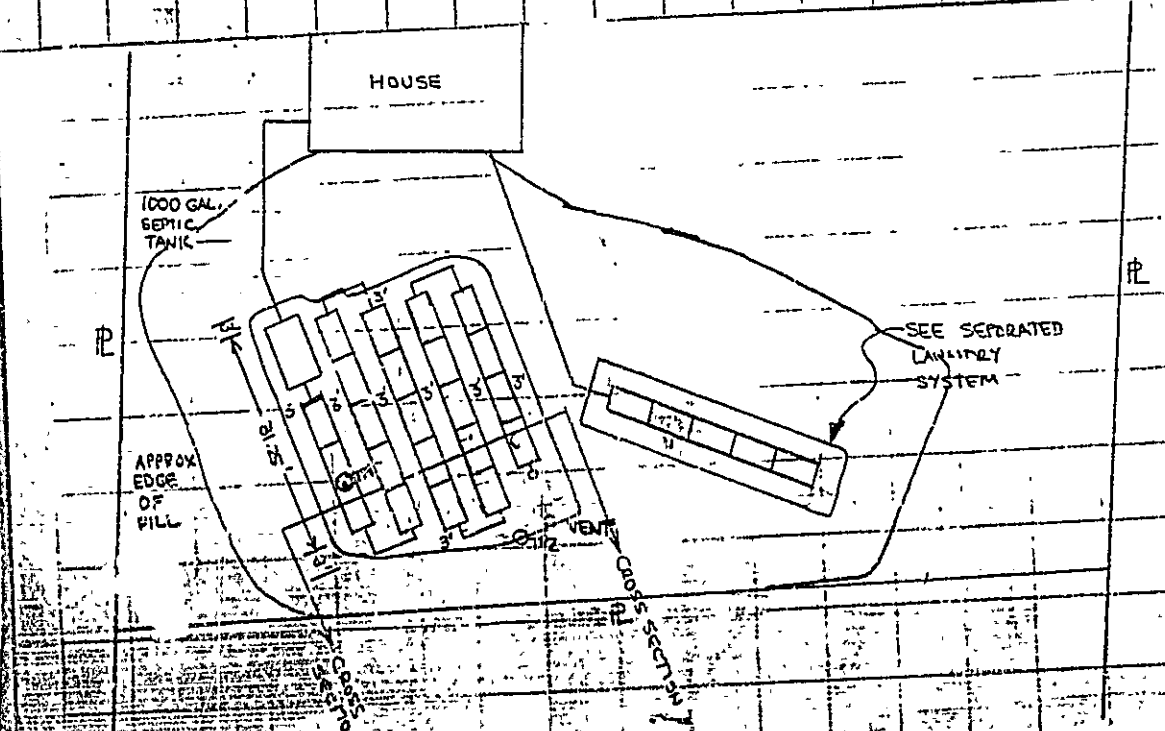
*William B. Goodwin* 0003/4814 11/28/89  
Site Evaluator or Professional Engineer's Signature SE/PE# Date



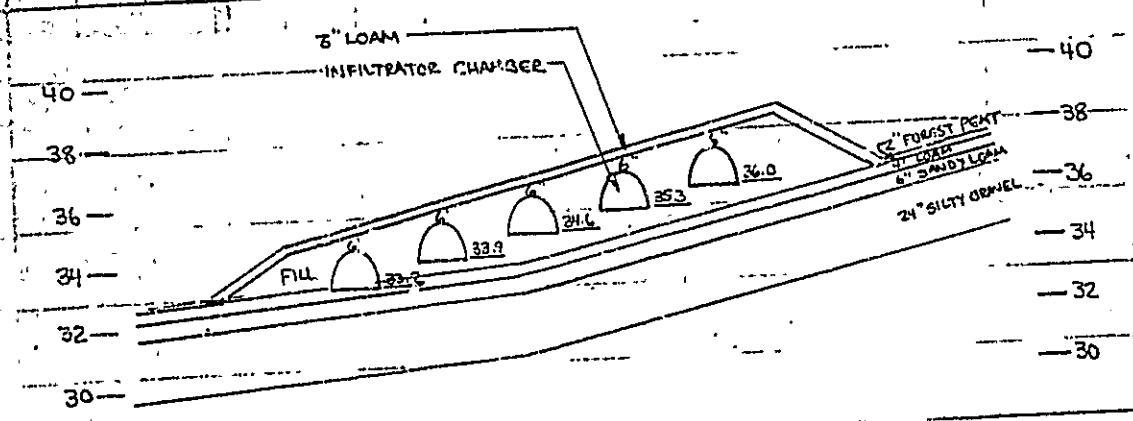
# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services  
Division of Health Engineering

Town, City, Plantation: **PORTLAND PEAKS ISLAND**  
 Street, Road, Subdivision: **WOODS ROAD 92-6-31**  
 Owner's Name: **STEVEN MACISAAC**  
 Scale: 1" = **20** FT.



<b>FILL REQUIREMENTS</b> Depth of Fill (Upslope) <b>30</b> Depth of Fill (Downslope) <b>19</b>	<b>CONSTRUCTION ELEVATIONS</b> <b>34.09</b> Reference Elevation is: SEE X SECTION Bottom of Disposal Area: SEE X SECTION Top of Distribution Line or Chambers: SEE X SECTION		<b>ELEVATION REFERENCE POINT LOCATION &amp; DESCRIPTION</b> SPIKE IN 8" SPRUCE NEAR HOUSE Scale: Vertical: 1 inch = 5' FL Horizontal: 1 inch = 10' FL
	<b>DISPOSAL AREA CROSS SECTION</b>		
	(This section is detailed in the diagram below)		



*William B. Gavelunas*  
 Site Evaluator or Professional Engineer's Signature

0003/4814  
 SE # PE #

11/28/89  
 Date

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services  
Division of Health Engineering  
(207) 289-3826

**PROPERTY ADDRESS**

Town Or Plantation: PORTLAND PEAKS ISLAND

Street: WOODS ROAD

Subdivision Lot #: TAX MAP 92 - BLOCK G LOT 31

**PROPERTY OWNERS NAME**

Last: MacISAAC First: STEVEN

Applicant Name: STEVEN MacISAAC

Mailing Address of Owner/Applicant (if Different): 13 FRANCINE ROAD FRAMINGHAM MASS 01701

**Caution: Permit Required**

The Subsurface Wastewater Disposal System shall not be installed until a Permit is attached here by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

**Owner/Applicant Statement**

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Steven Mac Isaac 4-16-98  
Signature of Owner/Applicant Date

**Caution: Inspection Required**

I have inspected this installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules.

Local Plumbing Inspector Signature: \_\_\_\_\_ Date Approved: \_\_\_\_\_

## PERMIT INFORMATION

<p><b>THIS APPLICATION IS FOR:</b></p> <p>1. <input checked="" type="checkbox"/> NEW SYSTEM</p> <p>2. <input type="checkbox"/> REPLACEMENT SYSTEM</p> <p>3. <input type="checkbox"/> EXPANDED SYSTEM</p> <p>4. <input type="checkbox"/> SEASONAL CONVERSION</p> <p>5. <input type="checkbox"/> EXPERIMENTAL SYSTEM</p>	<p><b>THIS APPLICATION REQUIRES:</b></p> <p>1. <input checked="" type="checkbox"/> NO RULE VARIANCE REQUIRED</p> <p>2. <input type="checkbox"/> NEW SYSTEM VARIANCE Attach New System Variance Form</p> <p><input type="checkbox"/> REPLACEMENT SYSTEM VARIANCE Attach Replacement System Variance Form</p> <p>3. <input type="checkbox"/> Requires only Local Plumbing Inspector Approval</p> <p>4. <input type="checkbox"/> Requires both State and Local Plumbing Inspector Approval</p>	<p><b>INSTALLATION IS COMPLETE SYSTEM</b></p> <p>1. <input type="checkbox"/> NON-ENGINEERED SYSTEM</p> <p>2. <input type="checkbox"/> PRIMITIVE SYSTEM (Includes Alternative Toilet)</p> <p>3. <input type="checkbox"/> ENGINEERED (+2000 gpd)</p> <p><b>INDIVIDUALLY INSTALLED COMPONENTS:</b></p> <p>4. <input type="checkbox"/> TREATMENT TANK (ONLY)</p> <p>5. <input type="checkbox"/> HOLDING TANK</p> <p>6. <input type="checkbox"/> ALTERNATIVE TOILET (ONLY)</p> <p>7. <input type="checkbox"/> NON-ENGINEERED DISPOSAL AREA (ONLY)</p> <p>8. <input type="checkbox"/> ENGINEERED DISPOSAL AREA (ONLY)</p> <p>9. <input checked="" type="checkbox"/> SEPARATED LAUNDRY SYSTEM</p>
<p><b>IF REPLACEMENT SYSTEM:</b></p> <p>YEAR FAILING SYSTEM INSTALLED: _____</p> <p><b>THE FAILING SYSTEM IS:</b></p> <p>1. <input type="checkbox"/> BED      3. <input type="checkbox"/> TRENCH</p> <p>2. <input type="checkbox"/> CHAMBER      4. <input type="checkbox"/> OTHER _____</p>	<p><b>DISPOSAL SYSTEM TO SERVE:</b></p> <p>1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING</p> <p>2. <input type="checkbox"/> MODULAR OR MOBILE HOME</p> <p>3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING</p> <p>4. <input type="checkbox"/> OTHER _____ SPECIFY _____</p>	<p><b>TYPE OF WATER SUPPLY</b></p>
<p>SIZE OF PROPERTY: <u>25,600 SF</u></p> <p>ZONING: <u>IR1</u></p>		

## DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

<p><b>TREATMENT TANK</b></p> <p>1. <input type="checkbox"/> SEPTIC: <input type="checkbox"/> Regular <input type="checkbox"/> Low Profile</p> <p>2. <input type="checkbox"/> AEROBIC</p> <p>SIZE: <u>N/A</u> GALS.</p>	<p><b>WATER CONSERVATION</b></p> <p>1. <input type="checkbox"/> NONE</p> <p>2. <input type="checkbox"/> LOW VOLUME TOILET</p> <p>3. <input checked="" type="checkbox"/> SEPARATED LAUNDRY SYSTEM</p> <p>4. <input type="checkbox"/> ALTERNATIVE TOILET</p> <p>SPECIFY: _____</p>	<p><b>PUMPING</b></p> <p>1. <input checked="" type="checkbox"/> NOT REQUIRED</p> <p>2. <input type="checkbox"/> MAY BE REQUIRED (DEPENDENT ON TREATMENT TANK LOCATION AND ELEVATION)</p> <p>3. <input type="checkbox"/> REQUIRED</p> <p>DOSE: _____ GALS</p>	<p>CRITERIA USED FOR DESIGN FLOW (BEDROOMS, EATING, EMPLOYEES, WATER RECORD, ETC.)</p> <p><b>SEPARATED LAUNDRY SYSTEM</b></p> <p>DESIGN FLOW: <u>90</u> (GALLONS/DAY)</p>
<p><b>SOIL CONDITIONS USED FOR DESIGN PURPOSES</b></p> <p>PROFILE: <u>3</u> CONDITION: <u>AIII</u></p> <p>DEPTH TO LIMITING FACTOR: <u>16</u></p>	<p><b>SIZE RATINGS USED FOR DESIGN PURPOSES</b></p> <p>1. <input type="checkbox"/> SMALL</p> <p>2. <input type="checkbox"/> MEDIUM</p> <p>3. <input type="checkbox"/> MEDIUM-LARGE</p> <p>4. <input type="checkbox"/> LARGE</p> <p>5. <input type="checkbox"/> EXTRA LARGE</p>	<p><b>DISPOSAL AREA TYPE/SIZE</b></p> <p>1. <input type="checkbox"/> BED _____ Sq. Ft.</p> <p>2. <input checked="" type="checkbox"/> CHAMBER <u>150*</u> Sq. Ft. <input checked="" type="checkbox"/> REGULAR <input type="checkbox"/> 14-20</p> <p>3. <input type="checkbox"/> TRENCH _____ Linear Ft.</p> <p>4. <input type="checkbox"/> OTHER: _____</p>	

**SITE EVALUATOR STATEMENT** \* USED 5 INFILTRATOR CHAMBERS IN TRENCH CONFIGURATION

On MARCH 27 1989 (date) I conducted a site evaluation for this project and certify that the data reported is accurate. The system I propose is in accordance with the Subsurface Wastewater Disposal Rules.

William B. Goodwin 0003/4814 11/28/89  
Site Evaluator or Professional Engineer's Signature SE # PE # Date

\* Local Plumbing Inspector's Signature if a Local Site Evaluation Waiver under a Local Order