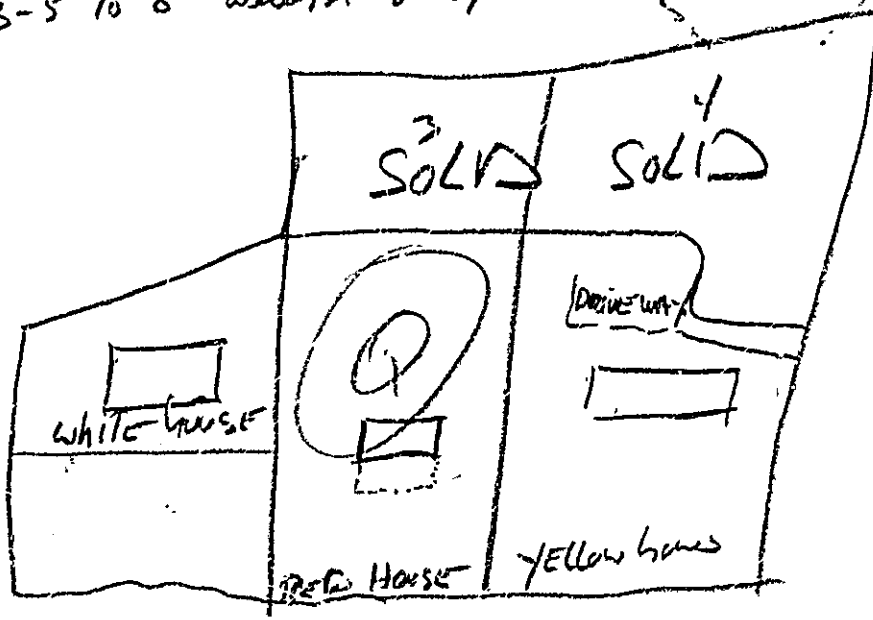


ISLAND AVENUE
92-B-2

PEAKS ISLAND

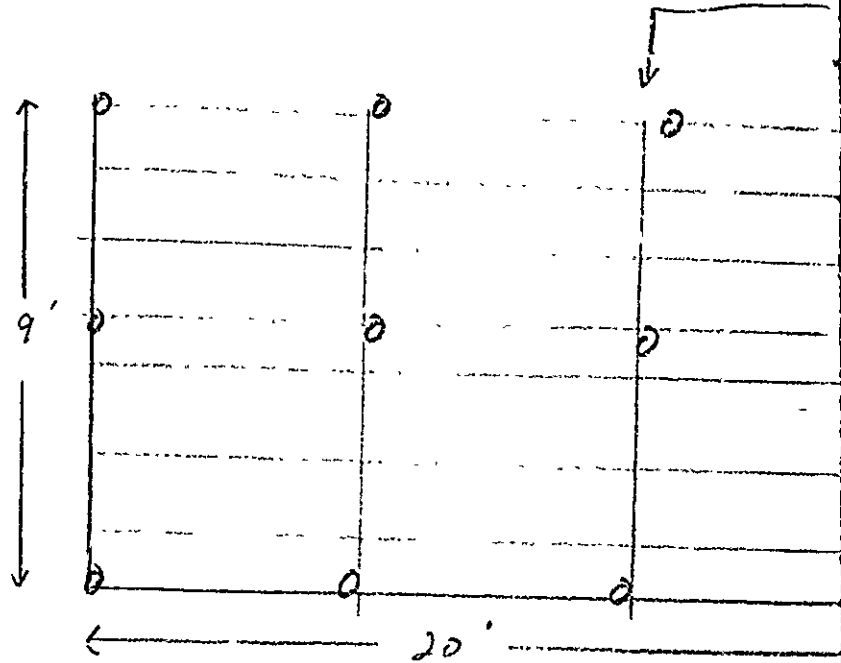
NO. 0026
PEAKS ISLAND

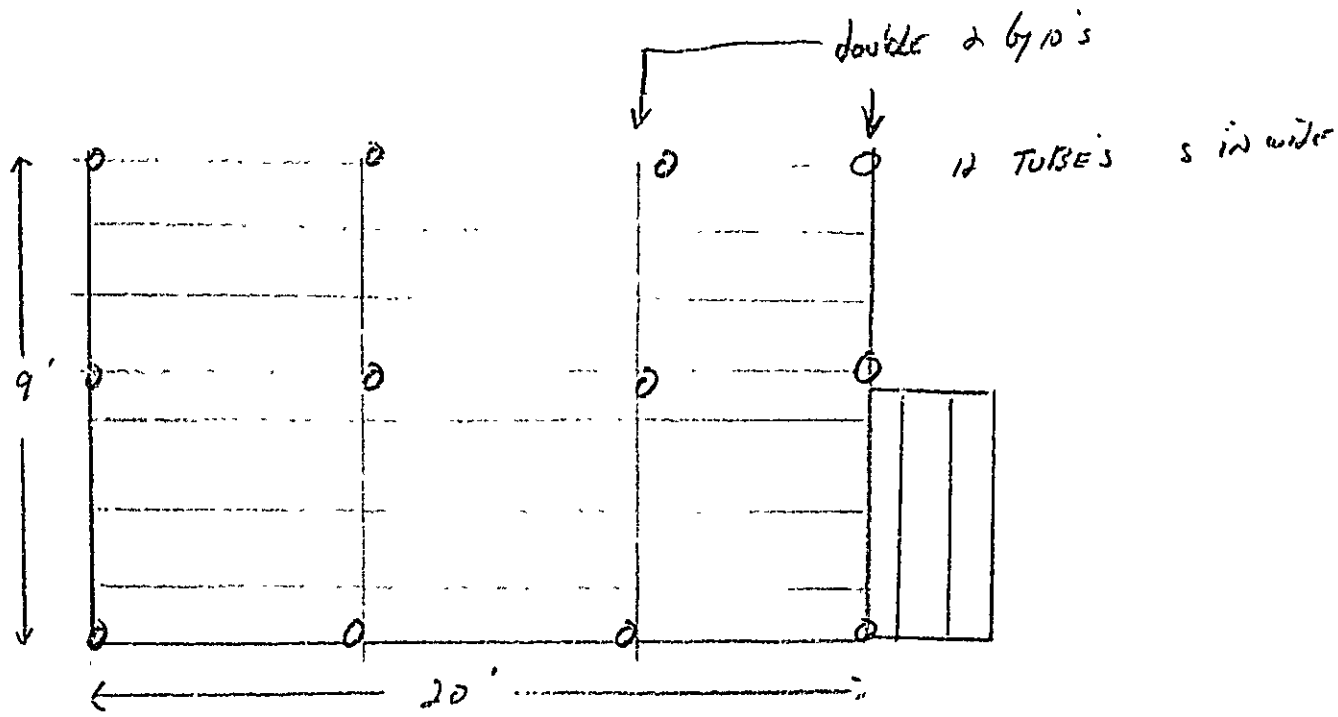
84 9-3-5 to 8 Water St & Wythe St PEAKS ISLAND



RECEIVED
JUN 6 1979
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

26x8 stringer
5/4 floor Deck.





RECEIVED
JUN 6 1979
DEPT. OF BLDG. INSP.
CITY OF PORTLAND



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, 6-1-79

PERMIT ISSUED

JUN 6 1979

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 79/108 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location P-92 B-2 & 92-B-6 Island Ave. Peaks Island Within Fire Limits? Dist. No. Telephone 766-4408
Owner's name and address John Wise - same Telephone 766-4408
Lessee's name and address Telephone
Contractor's name and address Jackson & Casey - Peaks Island, Me. 04106 Telephone 766-2817
Architect Plans filed No. of sheets 2
Proposed use of building No. families
Last use No. families
Increased cost of work \$400.00 Additional fee 5.50

Description of Proposed Work

Add windows and doors, sun deck, 6x12x30, close in front porch to create larger living room, change breezeway from 5x8 to 8x8, install metal asbestos chimney. Sliding glass door, 2x8x8 header. Flue on chimney 20'.

See plans on original permit.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved:

Signature of Owner

Approved:

Inspector of Buildings

INSPECTION COPY



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

000203

APR 5 1970

ZONING LOCATION R-3 PORTLAND, MAINE, .. April 4, 1970

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION P-92 B-2 & 92-B-6 Island Ave. Peaks Island Fire District #1 [] #2 []
1. Owner's name and address John Wise - same Telephone none
2. Lessee's name and address Telephone
3. Contractor's name and address Jackson & Casey - Peaks Island 04108 Telephone 766-2817
4. Architect Specifications Plans No. of sheets
Proposed use of building dwelling No. families 1
Last use same No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 14,000 Fee \$ 64.00

FIELD INSPECTOR—Mr.

GENERAL DESCRIPTION

This application is for: @ 775-5451 Ext. 234
Dwelling addition
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

To construct addition to right hand side of dwelling, 28 x 30 as per plans, 2 sheets of plans, 10 in. sona tubes for foundation, 4 ft. below grade Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanical.

PERMIT IS TO BE ISSUED TO 1 [] 2 [] 3 [X] 4 []

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? no Is any electrical work involved in this work? no
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate .6 ft. Height average grade to highest point of roof 20 ft.
Size, front .30 depth .28 No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation sona tubes Thickness, top bottom cellar
Kind of roof pitch Rise per foot .6/12. Roof covering asphalt shingles
No. of chimneys none Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Spruce, hemlock or full size? Corner posts 6 x 8 Sills 4 x 8
Size Girder 4 x 8 Columns under girders 4 x 8 Size 4 x 8 Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2 x 6 2nd 3rd roof 2 x 10
On centers: 1st floor 16 2nd 3rd roof 16
Maximum span: 1st floor 16 2nd 3rd roof 16
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER
ZONING: [Signature] 4/4/70
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others: [Signature]

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant [Signature] Phone # same

Type Name of above Edward Jackson Casey 1 [] 2 [] 3 [X] 4 []

Other and Address

FIELD INSPECTOR'S COPY

NOTES

May 10/79 Foundation Ch; Erecting
walls.

May 21/79 Framing completed
first corner is going to
complete the building himself.
Window openings in the
framing not showing on the
plans submitted also there
is to be a change in the size
of the line work.

June 13/79 ch's did not stop just frame
by make to stop because of the time
limit.

July 17/79 Mr. Alora stopped by to report
that he has installed the windows
& is working at the frequency.

Oct 19/79 A sliding glass door
installed & one window.
Completed 9/16/81

Permit No. 79/218

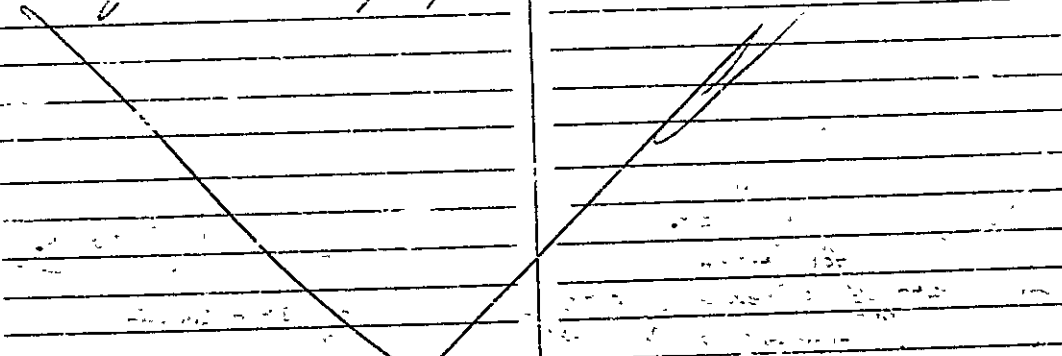
Location P-92-B-292-B-1

Owner John Grant

Date of permit 1-1-79

Approved 1-5-79

City of Chicago





CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION
COMPLAINT

Location:
92-B-2 or 92-B-6
Isl. Ave. Pks. Island

INSPECTION COPY

COMPLAINT NO. 79-43

Date Received May 3, 1979

Location 92-B-2 & B-6 Isl. Ave. Peaks Isl. Use of Building _____

Owner's name and address Martha Knight - last listed in Assessors Telephone _____

Tenant's name and address _____ Telephone _____

Complainant's name and address Bill Goodwin for people of Isl. Telephone _____

Description: Bill states that people on boat in morning are questioning the unspecified construction that is going on near Trefethren's Landing on Island.

NOTES: On Apr 5, 79 a permit was issued
to Jackson & Casey to build an addition
to the existing cottage formerly owned by
Martha Knight & now owned by Jane Wade
on lots 92-B-2 & 92-B-6. This addition is
to be for the owner's studio as he is an artist
Permit # 000206
Anyone can see plans on file at Bldg Dept Office if
they need more info-

Memorandum from Department of Building Inspection, Portland, Maine

November 21, 1960

Mr. Albert E. Ventros,
Pleasant Ave.,
Peaks Island, Maine

Dear Mr. Ventros:

Would you please let us know whether or not the dwelling house
you are taking down for Martha Knight is the same one she has extensively
repaired back in 1956? If not, has she purchased another piece of property?

Very truly yours,

Albert J. Sears
Director of Building Inspection
by Chief Clerk

CS-27

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Martha Knight
Beacon St.
Boston Mass.

November 18 1960

Dear Madam:

With relation to permit applied for to demolish a building or portion of building at Island Ave. Peaks Island it is unlawful to commence demolition work until a permit has been issued from this department.

Section 6 of the ordinance for rodent and vermin control provides: "It shall be unlawful to demolish any building or structure unless provision is made for rodent and vermin eradication. No permit for the demolition of a building or structure shall be issued by the Building Inspector until and unless provisions for rodent and vermin eradication have been carried out under supervision of a pest control operator registered with the Health Department.

The building permit for demolition cannot be issued until the provisions of this section have been satisfied. It is the obligation of owner or demolition contractor or both to take up with the Health Department the matter of complying with this section, being prepared to inform that department what registered pest control operator is to be employed.

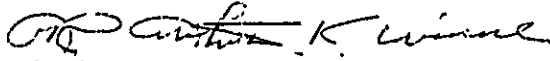
Very truly yours,



Albert J. Sears
Inspector of Buildings

AJS/jg

Eradication of this building has been completed.





R3 RESIDENCE ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
NO 22, 1960
CITY OF PORTLAND

Class of Building or Type of Structure: Third Class
Portland, Maine, November 2, 1960

the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location: Island Ave. Peaks Island (92-B-2) Within Fire Limits? _____ Dist. No. _____
Owner's name and address: Martha Knight, Pleasant St. Boston Mass. Telephone _____
Lessee's name and address: _____ Telephone _____
Contractor's name and address: Albert Ventres, Pleasant Ave. Peaks Island Telephone: PO-6-4490
Architect: _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building: _____ No. families _____
Int use: Dwelling No. families 1
Material frame: _____ No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ 1.00

General Description of New Work

To demolish existing 1 1/2-story frame dwelling house.

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building or structure to be demolished, under the supervision and to the approval of the Dept. of Public Works of the City of Portland? Yes.

Land to remain vacant.

It is understood that the permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. - PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form no. _____ sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber - Lumber _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Column under girders _____ Size _____ Max. on centers _____
Kind and thickness of outside sheathing of exterior walls? _____
Studs (outside walls and serving partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will mobile repairing be done other than minor _____ cars habitually stored in the proposed building? _____

APPROVED:

O.R. 11/22/60 - agj

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Martha Knight
Albert Ventres

INSPECTION COPY

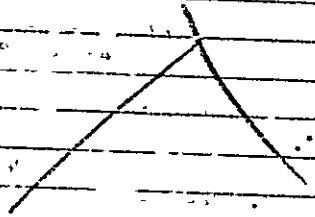
Signature of owner by: Albert E. Ventres

P. H.

NOTES

5/16/61 work done.

84



Permit No. 66/1986

Location Deland Co. Wash D.C.

Owner Martha Knapp

Date of permit 11/20/60

Notif. close again

Insprn. closing-in

Final Notif

Final Insprn.

Cert. of Occupancy issued

Siting Out Notice

Form Check Notice

121



(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

00988
JUL 11 1956

Class of Building or Type of Structure Third Class

Portland, Maine, July 10, 1956

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ~~erect~~ ~~erect~~ ~~erect~~ the following building ~~structure~~ ~~structure~~ ~~structure~~ ~~structure~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Ave., Peaks Island (92-13-2) Within Fire Limits? no Dist. No. _____

Owner's name and address Martha E. Knight, 161 Beacon St., Boston, Mass. Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address Fred Stephenson, Elizabeth St., Peaks Island Telephone 6-2835

Architect _____ Specifications _____ Plans no No. of sheets _____

Proposed use of building cottage No. families _____

Last use " No. families _____

Material wood No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost \$ 250 Fee \$ 2.00

General Description of New Work

To construct inside brick chimney with fireplace. Concrete and stone foundation, at least 4' below grade. Tile flue lining.

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Fred Stephenson

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 ft

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O.R. - 7/11/56 - ajs

Miscellaneous

Will work require disturbing of any tree on a public way? _____

Will there be in charge of the above work a person who is a duly licensed professional engineer, architect, or other person whose profession requires a special license or certification, and who will see that the State and City requirements are observed? yes

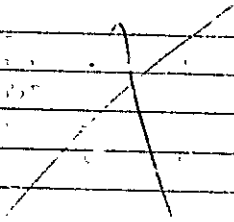
Martha E. Knight

Signature of owner by: Fred Stephenson

INSPECTION COPY

NOTES

11/3/6 - all done



Permit No. 54988

Location *Sealand Ave. Crabs Island*

Owner *Matthew C. Prugh*

Date of permit *7/11/68*

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. *11/30/68*

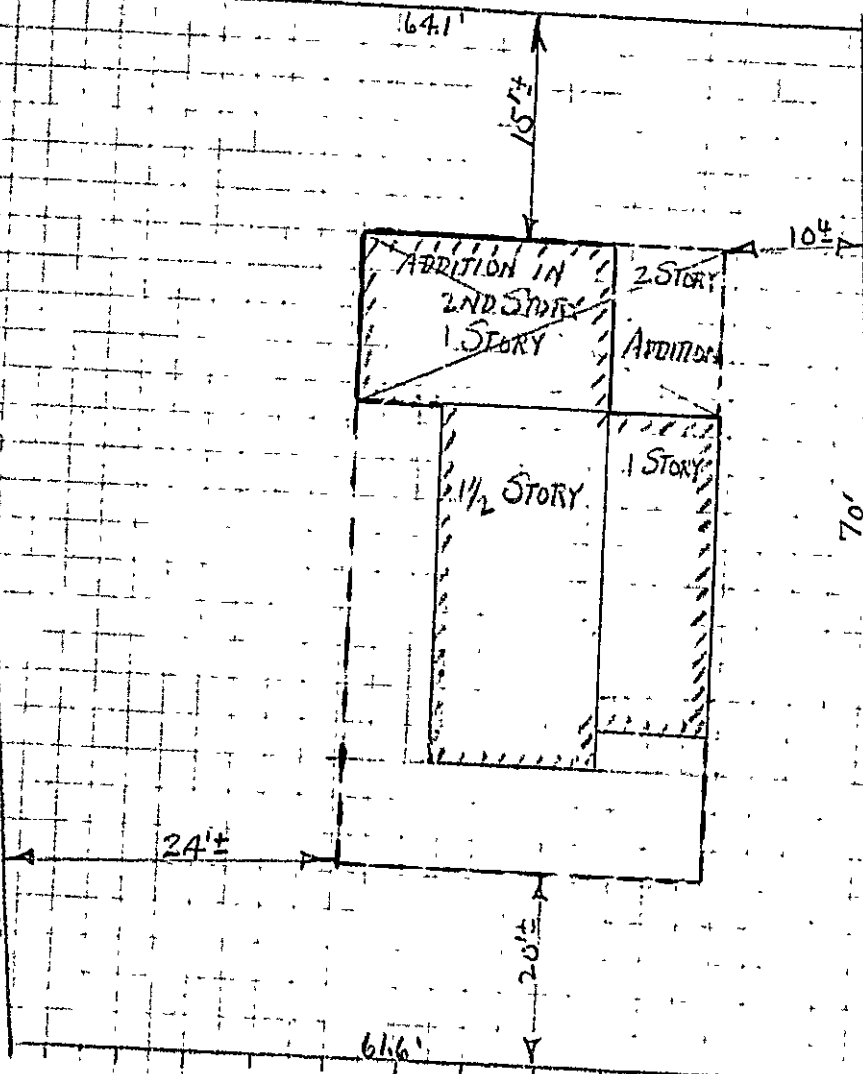
Cert. of Occupancy issued

Staking Out Notice

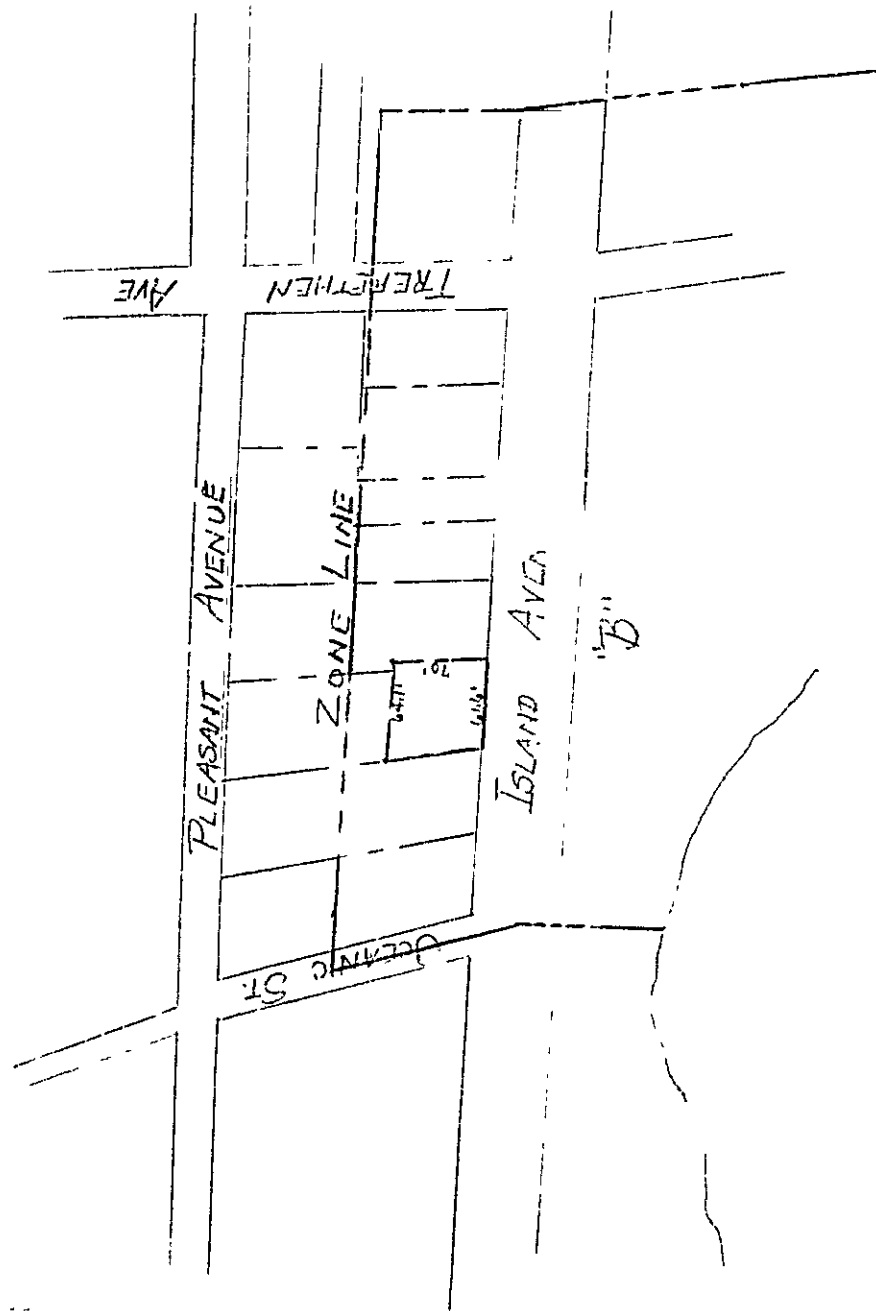
Form Check Notice

6/8/56

SINCE ADDITIONS ARE TO BE EXTENSIONS OF EXISTING WALLS BOTH UPWARDS AND SIDEWAYS, SECTION 16-L OF ZONING ORDINANCE APPLIES. BEFORE 1946 PROPERTY WAS LOCATED IN A LIMITED BUSINESS ZONE AS AT PRESENT, BUT UNDER ZONING ORDINANCE IN EFFECT AT THAT TIME YARD SPACES IN SUCH A ZONE WERE CONTROLLED BY THE BLDG. CODE, WHICH SPECIFIES A MINIMUM SIDE YARD AND 12' MINIMUM REAR YARD. THEREFORE YARDS EXISTING PRIOR TO 1946 (THE SAME AS AT PRESENT) COMPLIED WITH Z.O. THEN IN EFFECT.



ISLAND AVENUE - 87-R-2



Addition to Cottage Island Ave. Peaked Island
 (Assessed Lot No. 87-R-2)

6/11/56

1- First Floor Framing:-

- a - Center Girder = $5.5 \times 7 \times 50 = 1925 \#$ OK
- 4x6 - 7' = $200 \#$ OK
- b - Floor Joists = $2 \times 6 - 18" OC - 5 \frac{1}{2}' - O.K.$

350
 65
 $\frac{1750}{1750}$ 467 | 77900
 7335
 4550

2 Second Floor Framing:-

- 2x6 dr. D.F. - 11' span = 779# } Floor Joists
- 779 = 53# per sq ft. - O.K.
- 11x11/3

18
 26 | 483
 26
 223
 208.26 | 659
 52
 139

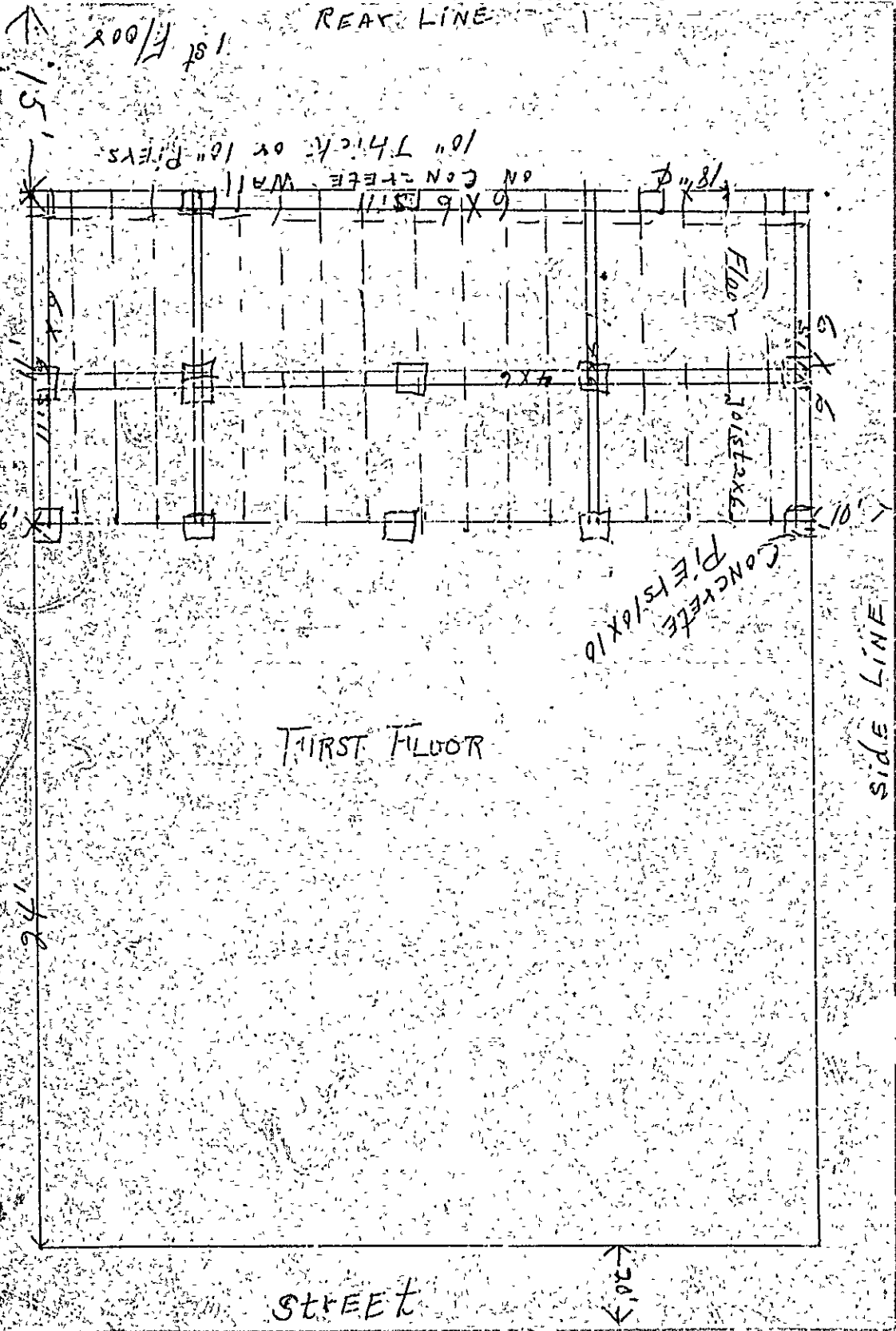
Double Joists under partitions.

- 7.5x11x10 = 86.5#
- 7.0x11x10 = 82.5# 16.50# } Ceiling
- 2 - 2x6 D.F. - 11' = 155.8# } O.K.
- Sheathing Partitions.

32
 1512 | 4830
 4.51
 2190 3
 21.47 | 65900
 6501

3- Roof:-

- 2x11 - 13' span = 483# (Newlock) 483 = 32# O.K.
- 483 = 18# per sq ft ? 1.3x11/6
- 1.3x2
- 2x6 - 18' span = 659# (D.F.) 659 = 30# O.K.
- 659 = 25# per sq ft ? 1.5x11/3
- 1.3x2



1st Floor

REAR LINE

ON CONCRETE WALL
10" THICK OR 16" PIERS

1/8" ϕ

6 X 6 SILL

FLOOR

JOIST 2X6

4 X 6

CONCRETE
PIERS 16 X 16

FIRST FLOOR

SIDE LINE

SIDE LINE

STREET

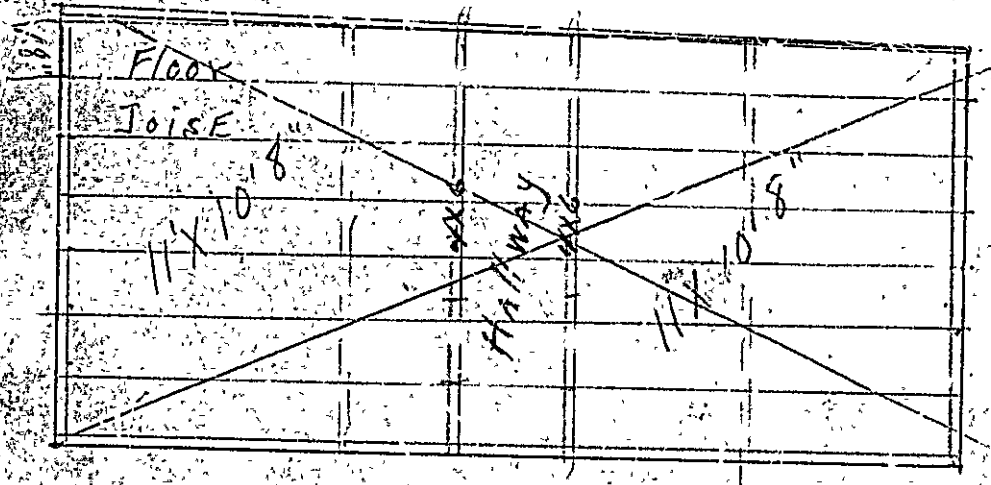
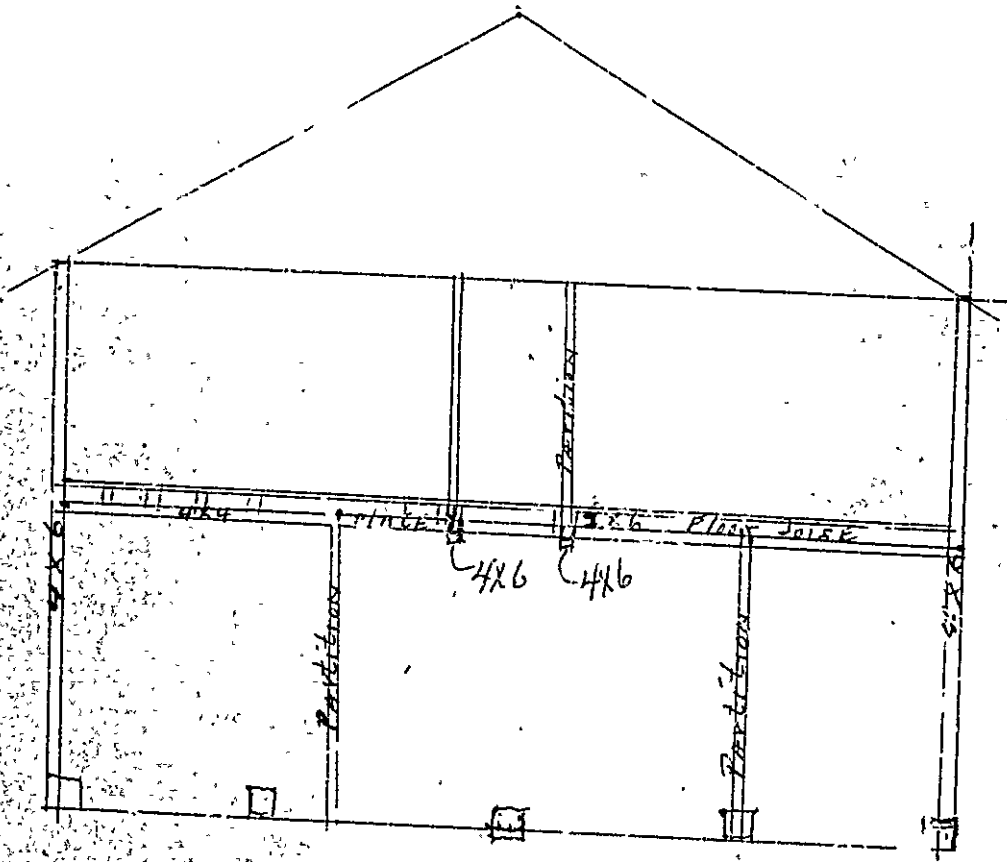
15'

9'

24'

20'

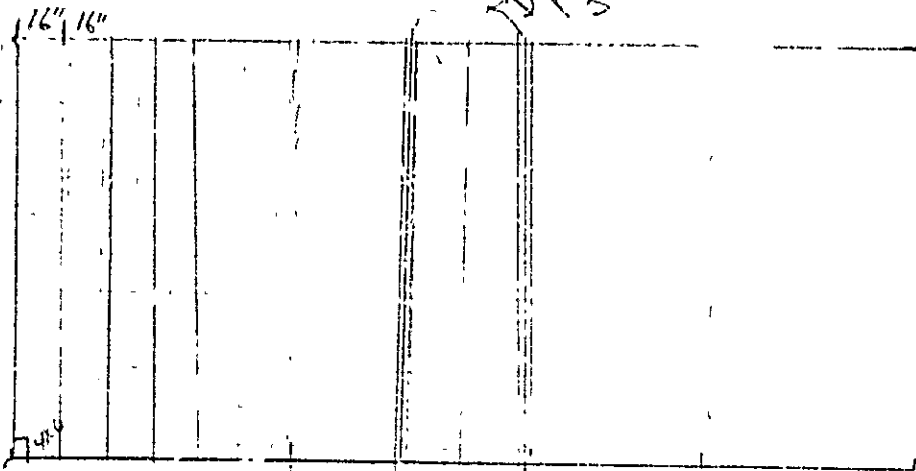
4x6 Corners posts
 2x8 Floor Joist 18"
 2x4 Studs 16"



2nd Floor

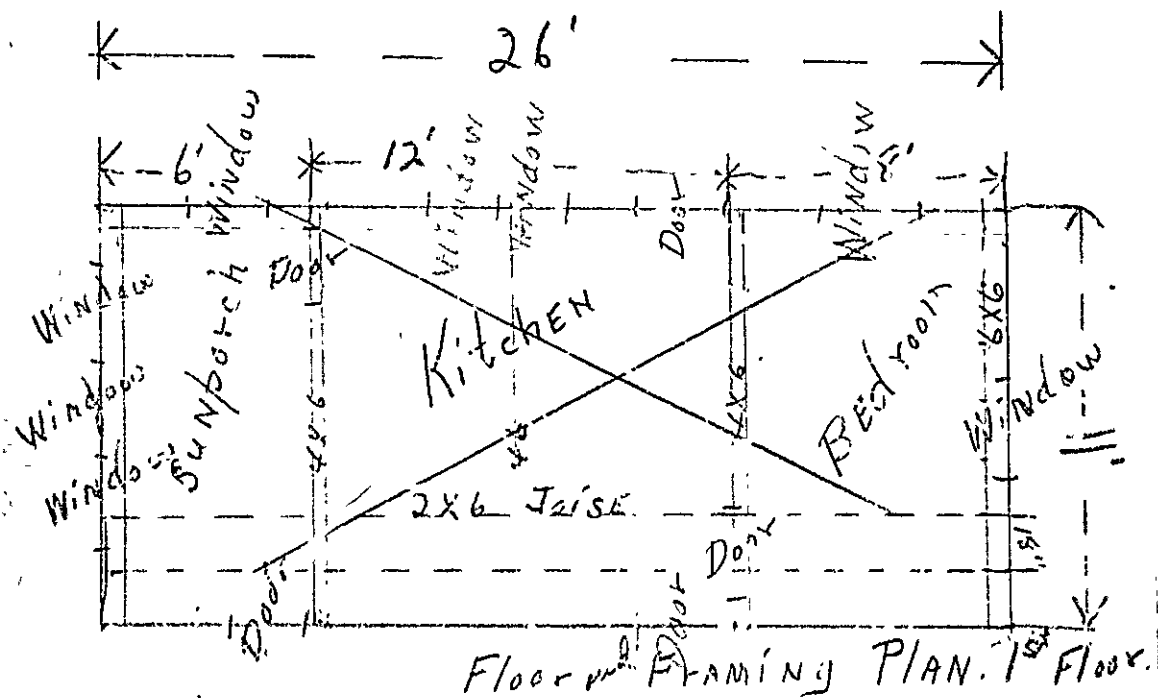
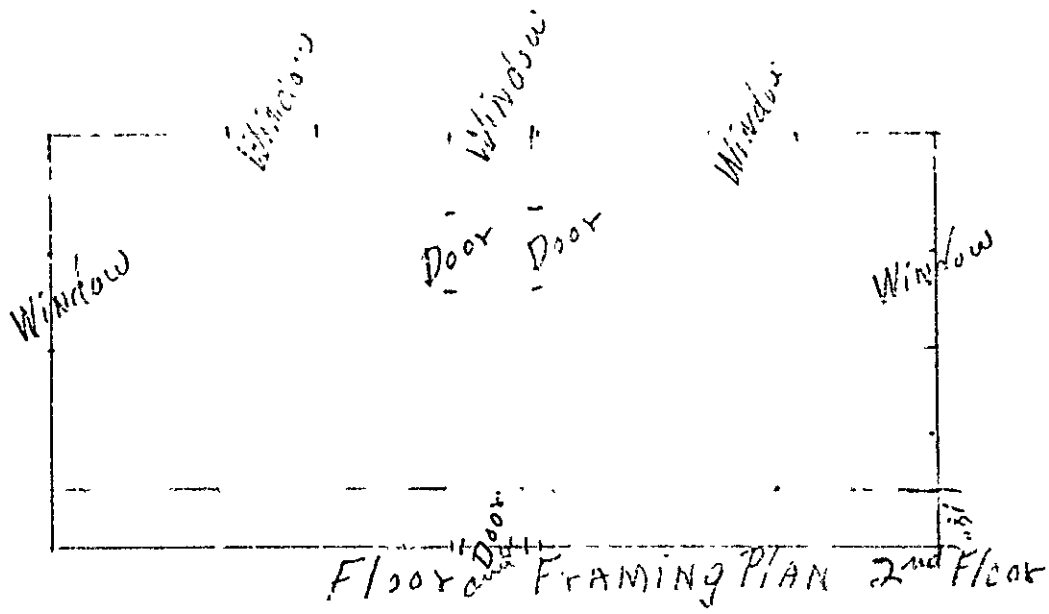
Floor Joist
16" ϕ
Double UNDER
Partition

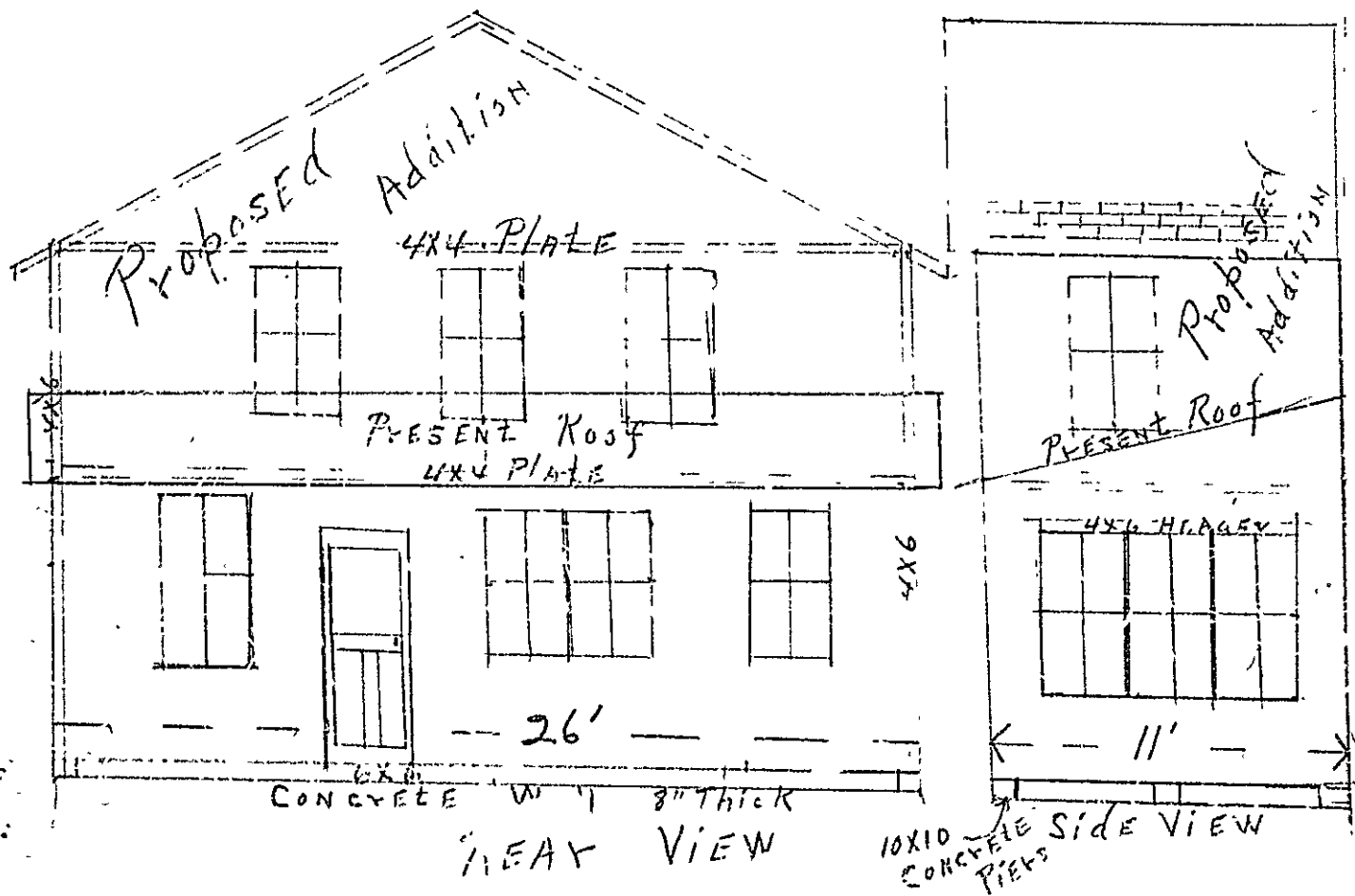
Double
Floor
Joist



2nd Floor Plan

Floor Joise 2X6 - 18" ϕ
 4X4 PLATES
 2X4 Studs 16" ϕ
 2X6 RAFTERS 24" ϕ





June 11, 1956

AP - Island Ave., Peaks Island (Assess. Lot No. 92-B-2)

Kr. Fred Stephenson
Elizabeth Street
Peaks Island, Me.

Copy to Martha E. Knight
161 Deacon Street
Boston, Mass.

Dear Mr. Stephenson:

Building permit to extend one story section on rear of cottage at the above location about 8 feet and to construct an addition at second story level about 11 feet by 26 feet over the entire one story portion of the building is issued herewith based on information furnished with application for permit, but subject to the following conditions:-

1. It is understood that all parts of the existing building which will be involved with the two story addition are now or will be supported on concrete piers or walls extending to ledge.
2. All parts of walls and floor framing of existing one story portion which are substandard in construction are to be re-built to present Code requirements.
3. New 4x6 corner posts extending in one length from sills to plates supporting rafters are to be provided at corners of addition, with lapped splices not less than 18 inches long allowed.
4. The 2x6 second floor timbers, which are to be on a maximum spar of about 11 feet are to be of Douglas Fir lumber.
5. If the 2x6 rafters are to be of dressed spruce or hemlock lumber, they will need to be spaced no more than 24 inches on centers in order to figure out, but if Douglas Fir lumber is used, spacing may be no more than 20 inches on centers.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS/G

June 5, 1956

AP - Island Avenue, Peaks Island (Assessors' Lot No. 92-B-2)

Mr. Fred W. Stephenson
Elizabeth Street
Peaks Island, Maine

Copy to Martha E. Knight
761 Beacon Street
Boston, Mass.

Dear Mr. Stephenson:-

Information furnished with application for permit for constructing a second story addition over rear one story section of building at the above location is inadequate to determine whether compliance is to be provided with Zoning Ordinance and Building Code requirements. We are unable to issue a permit for the proposed work until it is certain that requirements of both these ordinances are to be met. Among details in question are the following:-

1. Although application indicates that there is considerable distance from existing building to rear and side lot lines, Assessors' records indicate that the lot on which this building is located is only about 62 feet by 70 feet, which would not allow a where near the clearances indicated. Therefore, since an addition to the building is involved, it is necessary that a plot plan showing actual distances from rear and side lot lines be furnished.

2. The Building Code specifies that any building over 1 1/2 stories high shall have masonry foundations. Are the foundations of the existing building on which addition is to be constructed, including those beneath rear wall of main building, of such construction? In any case, type of foundations either new or existing needs to be shown and if they are piers, size and spacing, including size of sills, needs to be indicated.

3. Information furnished appears to indicate that proposed work will result in a two story addition about 11 feet by 26 feet attached to the rear of a 1 1/2 story building about 12 feet wide with 1 story sections having shed roofs on either side of it. Is this what is planned?

4. In what direction are second floor timbers to run? If lengthways of addition the same as first floor, walls at each side of kitchen must serve as carrying partitions and the joists or an 11-foot span indicated beneath them will not be adequate.

5. Are new corner posts extending in one length from sills to plates supporting rafters to be provided or are lapped splices at least 18 inches long to existing one story corner posts to be provided?

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS/G



(A) APARTMENT HOUSE ZONE

PERMITTED BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure ... Third Class

Portland, Maine, May 31, 1956

PERMIT ISSUED

00789 JUN 11 1956

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~reconstruct~~ ~~rebuild~~ the following building ~~structure~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland; plans and specifications, if any, submitted herewith and the following specifications:

Location: Island Ave., Peaks Island 92-D-2 Within Fire Limits? no Dist. No.
Owner's name and address: Martha Knight, 141 Beacon St., Boston, Mass. Telephone
Lessee's name and address
Contractor's name and address: Fred Stephenson, Elizabeth St., Peaks Island Telephone 6-2835
Architect: Specifications Plans yes No. of sheets 2
Proposed use of building: dwelling house No. families 1
Last use: " " No. families 1
Material: wood No. stories 1 1/2 Heat Style of roof Roofing
Other building on same lot
Estimated cost \$.950 Fee \$ 4.00

General Description of New Work

To construct 1-story addition at second floor level over existing rear addition, 11' x 26'. ~~100' to rear line, 21' to one side line, 40' to other side line.~~

Permit issued with Letter

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Fred Stephenson

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate 14' Height average grade to highest point of roof 20'
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation existing Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof pitch-gable Rise per foot 6" Roof covering Asphalt Class G Und. Lab
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber-Kind hemlock Dressed or full size? dressed
Corner posts 4x6 Sills existing Girt or ledger board? Size
Girders Size 4x6 Columns under girders concrete piers 10'-8" Max. on centers 5'6"
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. See Letter
Joists and rafters: 1st floor 2nd 2x6 3rd roof 2x6
On centers: 1st floor 2nd 18" 16" 3rd roof 24"
Maximum span: 1st floor 2nd 13'-6" 11' 3rd roof 13'

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

with letter by [Signature]

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes..

Martha Knight

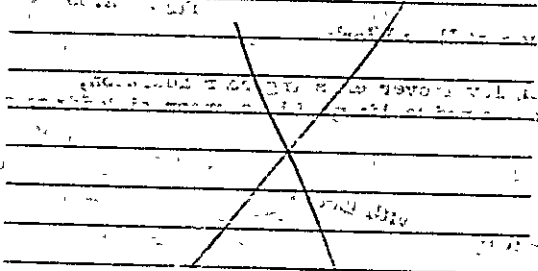
Signature of owner by: [Signature]

INSPECTION COPY

C16-234-1M-Marks

NOTES

6/15/56 - This addition will
 go on internal close along
 heels will. The last
 stay, shed roof addition
 now existing, will be
 made to comply if not
 feasible, will be torn
 off and addition will
 be rebuilt. E.S.S.
 11/30/56 - work done
 E.S.S.



Permit No.	561789
Location	Delaware Ave. Capitol Ground
Owner	Mr. Walter S. Campbell
Date of permit	6/11/56
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	11/30/56
Cert. of Occupancy issued	
Staking Out Notice	
Form Check Notice	

THE FOLLOWING IS A SUMMARY OF THE WORK DONE UNDER THIS PERMIT:

1. Construction of a new addition to the existing building, consisting of a new roof and interior walls.

2. Removal of the old roof and interior walls of the existing building.

3. Installation of new roof trusses and rafters.

4. Installation of new interior walls and ceiling.

5. Installation of new floor joists and subflooring.

6. Installation of new electrical wiring and plumbing fixtures.

7. Installation of new paint and wallpaper.

8. Installation of new doors and windows.

9. Installation of new lighting fixtures.

10. Installation of new heating and cooling equipment.

11. Installation of new fire alarm system.

12. Installation of new security system.

13. Installation of new fire extinguishers.

14. Installation of new fire escape.

15. Installation of new fire hydrant.

16. Installation of new fire alarm pull station.

17. Installation of new fire alarm control panel.

18. Installation of new fire alarm bell.

19. Installation of new fire alarm horn.

20. Installation of new fire alarm siren.

21. Installation of new fire alarm strobe light.

22. Installation of new fire alarm speaker.

23. Installation of new fire alarm microphone.

24. Installation of new fire alarm bell ringer.

25. Installation of new fire alarm bell ringer horn.

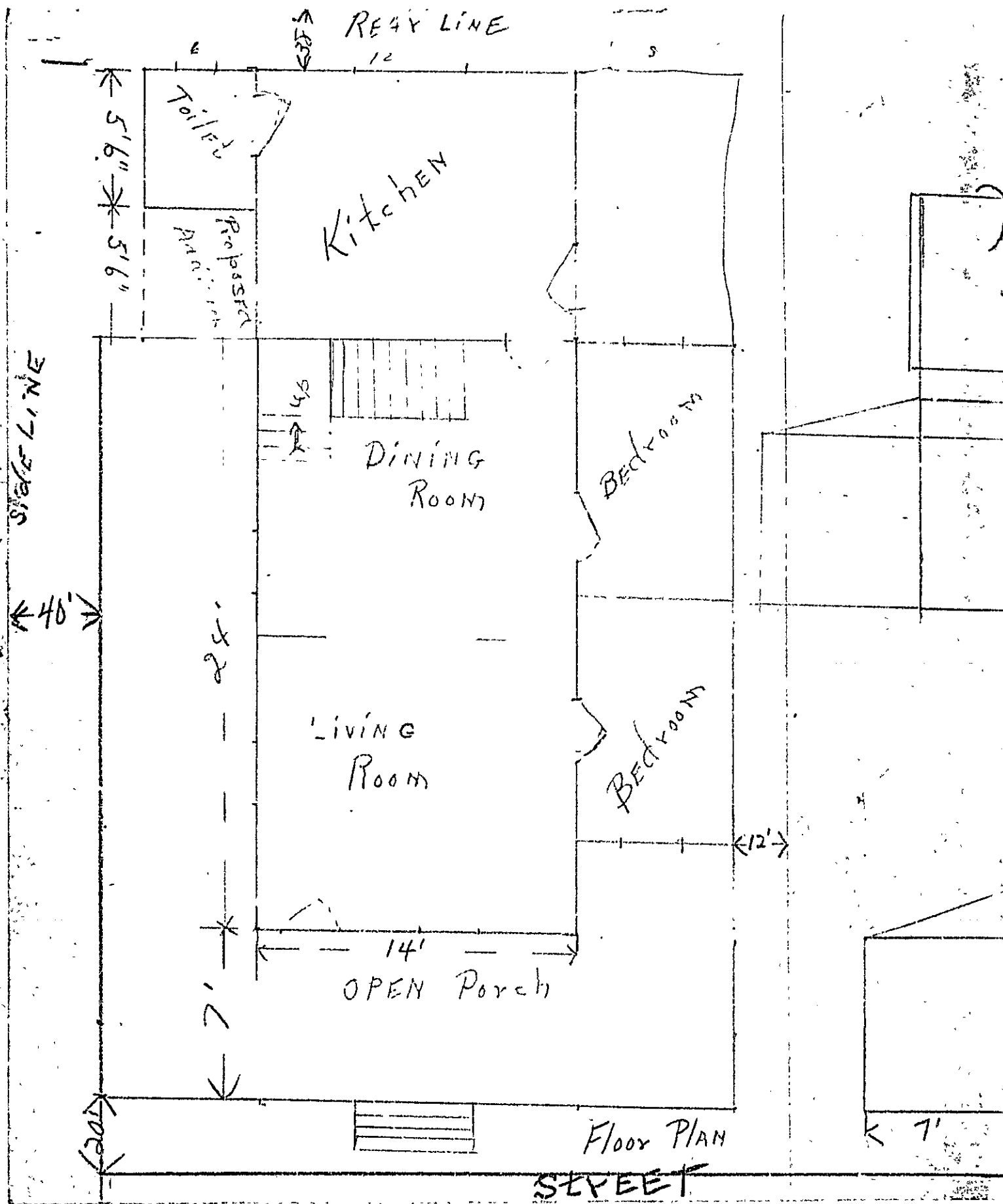
26. Installation of new fire alarm bell ringer horn.

27. Installation of new fire alarm bell ringer horn.

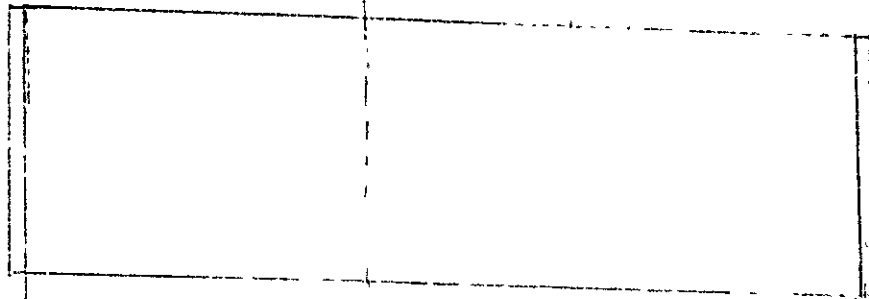
28. Installation of new fire alarm bell ringer horn.

29. Installation of new fire alarm bell ringer horn.

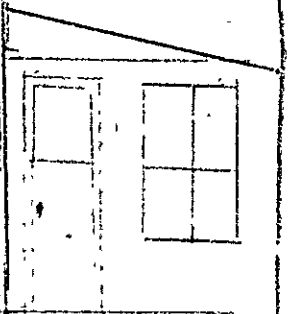
30. Installation of new fire alarm bell ringer horn.



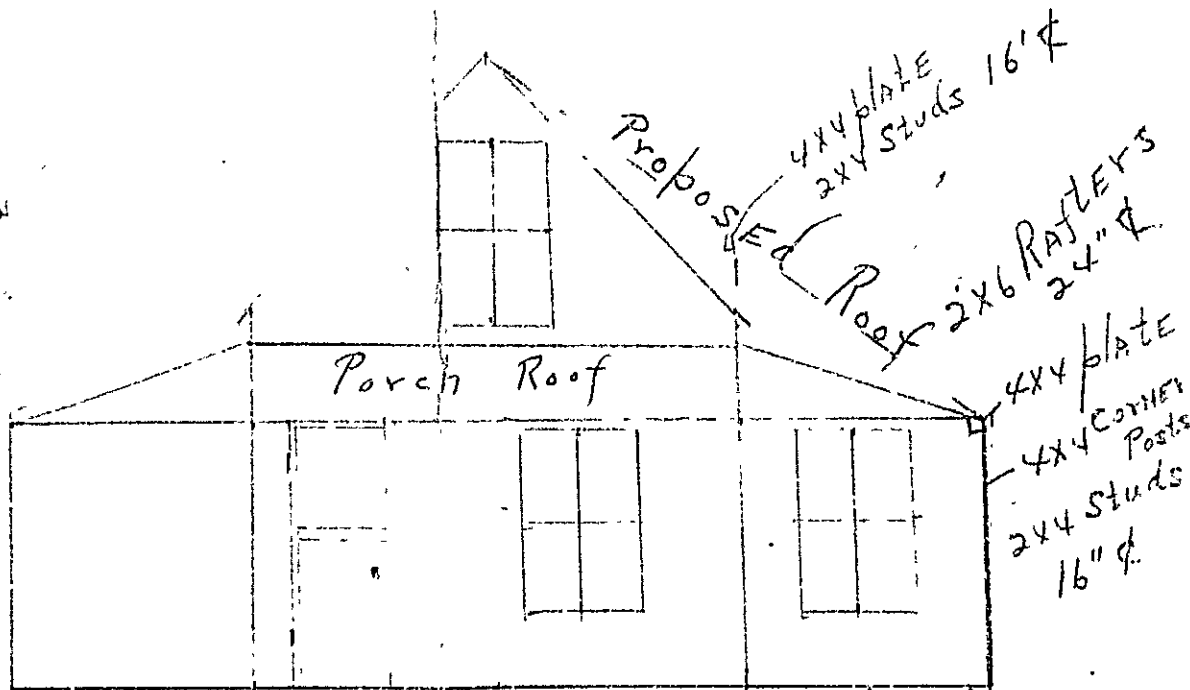
6x6 hills on cedar posts on
concrete piers



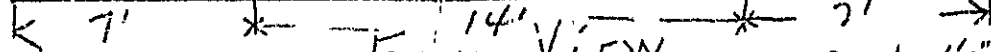
Porch Roof



SIDE VIEW



Porch Roof



14'
FRONT VIEW

SCALE 1/4" to 1'

PLAN

FOOT

12'



(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, August 5, 1955

PERMIT ISSUED

01286
AUG 8 1955

CITY OF PORTLAND

INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Ave., Peaks Island Within Fire Limits? no Dist. No.
Owner's name and address Martha Knight, 161 Beacon St., Boston, Mass. Telephone
Lessee's name and address Telephone
Contractor's name and address Fred Stephenson, Peaks Island Telephone
Architect Specifications Plans yes No. of sheets 1
Proposed use of building Cottage No. families : ..
Last use: " " No. families
Material frame No. stories 1 1/2 Heat Style of roof pitch Roofing
Other building on same lot ..
Estimated cost \$ 500. Fee \$ 2.00

General Description of Now Work

To raise existing roof of building on right hand side as per plan.
To construct 5'6"x5'6" addition to enlarge existing toilet room.

92-B-2

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Fred Stephenson

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? ..
Is connection to be made to public sewer? .. If not, what is proposed for sewerage? ..
Has septic tank notice been sent? .. Form notice sent? ..
Height average grade to top of plate 7' Height average grade to highest point of roof 8'6"
Size, front depth No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation concrete piers at least 4' below grade or to ledge Thickness, top 10" bottom 10" cellar no
Material of underpinning Height Thickness
Kind of roof flat Rise per foot Roof covering asphalt roofing Class C Und. Lab.
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 4x4 Sills 4x6 Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x6 2nd 3rd roof 2x6
On centers: 1st floor 16" 2nd 3rd roof 18"
Maximum span: 1st floor 5'6" 2nd 3rd roof 5'6"
If one story building with masonry walls, thickness of walls? .. height? ..

If a Garage

No. cars now accommodated on same lot . . . to be accommodated. . . number commercial cars to be accommodated .
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ..

APPROVED:

OK 8/8/55 - rgs

Miscellaneous

Will work require disturbing of any tree on a public street. no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Martha Knight

Signature of owner By: *Fred Stephenson*

INSPECTION COPY

C16-254-14-Bark

NOTES

6/5/56 - Work under
the permit not done
2:88

11/30/56 - work done
882

TIME

TIME	

X

Permit No	551 12886
Location	Ward Lake Park
Owner	Myrtle Beach
Date of permit	5/15/56
Notify closing-in	
Insprn closing-in	
Final Notif.	
Final Insprn.	11/30/56
Cent. of Occupancy issued	
Slaking Out Notice	
Form Check Notice	

1. A copy of the permit must be kept at the job site.

2. The permit holder must be present at the job site at all times.

3. The permit holder must be notified immediately if the permit is to be suspended or terminated.

4. The permit holder must be notified immediately if the permit is to be renewed.

5. The permit holder must be notified immediately if the permit is to be transferred to another party.

6. The permit holder must be notified immediately if the permit is to be assigned to another party.

7. The permit holder must be notified immediately if the permit is to be assigned to another party.

8. The permit holder must be notified immediately if the permit is to be assigned to another party.

9. The permit holder must be notified immediately if the permit is to be assigned to another party.

10. The permit holder must be notified immediately if the permit is to be assigned to another party.



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

Date: July 22, 1988

Marion Friedman and
Elizabeth Stout
Chadborne Hill Road
No. Bridgeton, ME 04057

Subject: Alterations - no permit - 92-B-2,3,6 Peaks Island.

Dear Ms. Friedman and Ms. Stout:

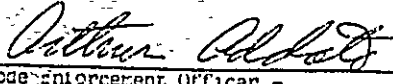
A recent inspection at the above named address of which you are listed the present owner, showed that alterations have been completed, or are in the process of being completed, that require building permits from the City of Portland as defined in the 1987 BOCA Building Code and/or Portland Municipal Code.

It is therefore necessary for you to come to City Hall, 389 Congress Street, Room 317, to file an application for these required permits. This must be done within five (5) days of receipt of this letter. Failure to abide by this request could result in court action and a fine of up to \$50 to \$1,000 per day for each day this violation exists.

I look forward to your cooperation.

Yours truly,

P. Samuel Hoffses
Chief of Inspection Services


Code Enforcement Officer -



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

January 15, 1986

Mr. William T. Lowry
12 Montclair Avenue
North Quincy, MA 02171

Re: 92-B-2 Peaks Island

Dear Mr. Lowry:

The land and building at Island Avenue which is owned by Mr. John Wise could not be converted to a two family structure as the State Plumbing Code requires 40,000 square feet of land area for two dwelling units. Mr. Wise's lot contains only 4,275 square feet of land area in the subject location (chart 92, block B, lot 2).

The lot owned by Mr. Wise is located in the IR-2 Island Residential Zone where a lot of 10,000 square feet is required for a conditional use subject to Board of Appeals approval for a second or accessory dwelling unit in that zone. The Wise property could not therefore be offered as two separate dwellings.

A lot of record requires a minimum of 6,500 square feet for a single dwelling, but this lot size is of course grandfathered the same as yours.

This office would receive notice of any attempt to convert the building to more than one single family dwelling if a change of use were applied for through Building Inspection. We would not know if the property were to be sold until about six months following the conveyance of the deed to another owner.

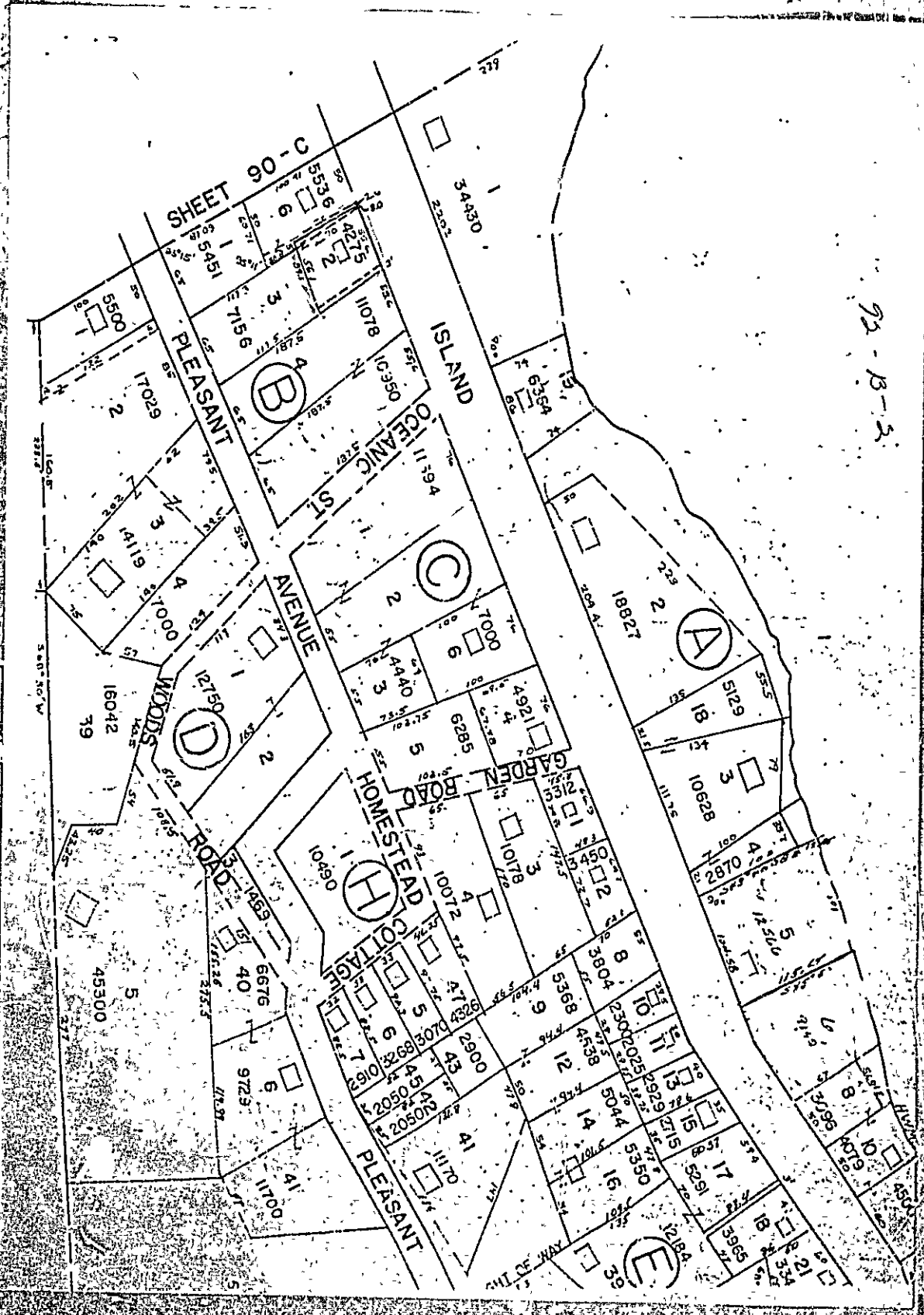
There would be no requirement for a public hearing on a building addition or accessory structure provided the zoning setback requirements were met at the time a building permit was applied for.

Sincerely,

Warren J. Turner
Zoning Enforcement Inspector

Enclosure: Map

cc: Mayor Ronald J. Dorler
Jane Durgin, City Clerk
P. Samuel Hoffses, Chief, Inspection Services
Joseph E. Gray, Jr., Director, Planning & Urban Development
Arthur Addato, Code Enforcement Officer



SHEET 90 - C

PLEASANT AVENUE

OCEANIC ST

ISLAND

HOMESTEAD COTTAGES

GARDEN ROAD

WOODS ROAD

PLEASANT

WATER

92 - B - 2

Map details and lot information:

- Lot 1:** 34430
- Lot 2:** 11078, 10392, 11134, 7000, 18827, 5129, 82801, 2870, 12200, 4119, 3966, 1076, 4500
- Lot 3:** 5536, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 4:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 5:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 6:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 7:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 8:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 9:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 10:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 11:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 12:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 13:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 14:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 15:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 16:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 17:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 18:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 19:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534
- Lot 20:** 5500, 17029, 14119, 12750, 16042, 79, 45300, 1099, 10072, 10178, 450, 3804, 3368, 3158, 5004, 5350, 1519, 3966, 534

12 Montclair Avenue
North Quincy, Ma 02171
January 1, 198.

99-3-2

Chairperson
Zoning Board
City of Portland
Portland, Maine

Dear Chairperson:

I, WILLIAM T. LOWRY, have been a property owner and taxpayer on Peaks Island since 1956. My address is Island Avenue.

Eight years ago, Mr. John Wise purchased the property adjacent to mine on Island Avenue. Mr. Wise was allowed to construct a large barn-like structure connected to the original house on the property which abuts mine. As an abutter, I was never notified of this.

At the time, upon inquiry at Portland City Hall, I was informed that this building was an extension of his home and it was to be used solely for the purpose of a Studio, constituting a single home, with no running water, etc., needed, nor to be allowed.

Recently, I became aware that the Wise property is being offered for sale. I have some very serious concerns that this property may be advertised as two separate homes.

Upon receipt of this letter, I wish all to be made aware of my objection to any attempt to offer the property as two separate homes. At the same time, I am requesting that I be notified, personally, of any changes in the disposition of this property. A principal reason for my objection is that, in my opinion, there is not sufficient room on the property for sufficient drainage, nor an adequate additional septic system.

Since I was never informed about this addition eight years ago, I would like to request that I be informed of any, and all, matters concerning the Wise property.

Thank you for your attention to this matter.

Respectfully yours,

WILLIAM T. LOWRY

William T. Lowry
Signed and Sealed

before me this Fifth day of January, 1987.

Joseph F. Walsh
Joseph F. Walsh
NOTARY PUBLIC

My commission expires: January 25, 1991.

cc: Building Commissioner, City Clerk, City Council, Mayor

PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering
(207) 289-3875

PROPERTY ADDRESS

Town Or Platation: ISLAND

Street Subdivision: BEACH ISLAND

PROPERTY OWNERS NAME

Last: FRIEDMAN First: MIKE

Applicant Name: Yank Chero

Mailing Address of Owner/Applicant (If Different): Elizabeth St. Island

72-B-2

PORTLAND PERMIT # 3,299 TOWN COPY

Date Permitted: 12-14-89 \$121 FEE Double Fee Charged

Local Plumbing Inspector Signature: _____ L.P.I. # _____

Owner/Applicant Statement 0410

I certify that the information submitted is correct to the best of my knowledge and I am not aware of any falsification or reason for the Local Plumbing Inspector to deny a permit.

Signature of Owner/Applicant: [Signature] Date: _____

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature: _____ Date Approved: 6/1/89

PERMIT INFORMATION

This Application Is for:

1. NEW PLUMBING

2. RELOCATED PLUMBING

Type Of Structure To Be Served:

1. SINGLE FAMILY DWELLING

2. MODULAR OR MOBILE HOME

3. MULTIPLE FAMILY DWELLING

4. OTHER - SPECIFY _____

Plumbing To Be Installed By:

1. MASTER PLUMBER

2. OIL BURNERMAN

3. MFG'D. HOUSING DEALER/MECHANIC

4. PUBLIC UTILITY EMPLOYEE

5. PROPERTY OWNER

LICENSE # 12059

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2 Type of Fixture		Column 1 Type of Fixture	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.		Hosebibb / Sillcock	1	Bath Tub (and Shower)
		Floor Drain		Shower (Separate)
OR		Urinal	1	Sink
		Drinking Fountain	3	Wash Basin
HOOK-UP: to an existing subsurface wastewater disposal system.		Indirect Waste	2	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.		Clothes Washer
PIPING RELOCATION of sanitary lines, drains, and piping without new fixtures.		Grease/Oil Separator		Dish Washer
		Dental Cuspidor		Garbage Disposal
Number of Hook-Ups & Relocations		Bidet		Laundry Tub
		Other:		Water Heater
Hook-Up & Relocation Fee	Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1	
	SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE		SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE	
		Total Fixtures		
		Fixture Fee		
		Hook-Up & Relocation Fee		
		Permit Fee (Total)		

TOWN COPY

000851

FILL IN AND SIGN WITH INK



APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, July 18, 1988

PERMIT ISSUED JUL 18 1988 City Of Portland

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Island Avenue, Lots 2, 3, & 6, Location City Map 92B; Peaks Island Use of Building Single family No. Stories 2 New Building Existing Name and address of owner of appliance Marion T. Friedman, & Elizabeth Stout, Chadbourne Hill Rd, N. Bridgeton, Me 04057 Installer's name and address Union Oil Company, 63 Ocean St., S. Portland, Me, 04106 Telephone 799-1521

General Description of Work

To install System 2000 Forced Hot Water Boiler and Heat Radiation and associate piping, and 330 gallon fuel storage tank.

IF HEATER, OR POWER BOILER

Location of appliance Utility Room Any burnable material in floor surface or beneath? no If so, how protected? Kind of fuel? #2 Fuel Oil Minimum distance to burnable material, from top of appliance or casing top of furnace 24" From top of smoke pipe 36" From front of appliance 4' From sides or back of appliance 4' Size of chimney flue 6" Other connections to same flue no If gas fired, how vented? Rated maximum demand per hour BTU Rating 85,000 Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? Yes

IF OIL BURNER

Name and type of burner Labelled by underwriters' laboratories? Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? Type of floor beneath burner Size of vent pipe Location of oil storage Number and capacity of tanks Low water shut off Make No. Will all tanks be more than five feet from any flame? How many tanks enclosed? Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath? If so, how protected? Height of Legs, if any Skirting at bottom of appliance? Distance to combustible material from top of appliance? From front of appliance From sides and back From top of smokepipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? Forced or gravity? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? \$75.00

Estimated cost \$10,845

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signatures of Charles O'Brien, Union Oil Co, and Elizabeth Stout, Applicant's

INSPECTION FILE APPLICANT'S ASSESSOR'S COPY

17th Add to

CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 775-5451



DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

February 1, 1988

92-B-2
Peaks Island

Howard U. Heller
Port Island Realty
P.O. Box 7341
Portland, Maine 04104

Dear Howard:

Records in the Assessor's Office show that there are two lots involved in the name of John V. and Ann C. Wise on Island Avenue, Peaks Island. These lots are as follows:

92-B-2	4,960 s.f.	\$30,701	\$35,660	\$1,108.31 Taxes
92-B-6	5,536 s.f.	6,420		199.53 Taxes

The City Assessor's Office indicated that an addition was made to this single family dwelling and that the addition was intended for use as an artist's studio. Therefore, this property is "grandfathered" as a year round dwelling, according to the City Plumbing Inspector, who states that it has been such a use for about twenty years, or more.

Sincerely,

Warren J. Turner
Zoning Enforcement Inspector

/el

cc: P. Samuel Hoffses, Chief of Inspection Services
Arthur Addato, Code Enforcement Officer

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, July 18, 1988

PERMIT ISSUED

JUL 18 1988

City of Portland

To BUILDINGS, PORTLAND, ME.

I hereby apply for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications: Island Avenue, Lots 2, 3, & 6,

Location City Map 92B, Peaks Island Use of Building Single family No. Stor - 2 New Building Existing Name and address of owner of appliance Marion T. Friedman, & Elizabeth Stout, 15 Bourne Hill Rd, H. Brighton, Me 04057 Installer's name and address Union Oil Company, 63 Ocean St., S. Portland Me, 04108 Telephone 799-1521

General Description of Work

To install System 2000 Forced Hot Water Boiler and Heat Radiation and associate piping, and 330 gallon fuel storage tank.

IF HEATER, OR POWER BOILER

Location of appliance Utility Room Any burnable material in floor surface or beneath? no If so, how protected? Kind of fuel? #2 Fuel Oil Minimum distance to burnable material, from top of appliance or casing top of furnace 24" From top of smoke pipe 36" From front of appliance 4" From sides or back of appliance 4" Size of chimney flue 6" Other connections to same flue no If gas fired, how vented? Rated maximum demand per hour BTU Rating 85,000 Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? Yes

IF OIL BURNER

Name and type of burner Labeled by underwriters' laboratories? Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? Type of floor beneath burner Size of vent pipe Location of oil storage Number and capacity of tanks Low water shut off Make No. Will all tanks be more than five feet from any flame? How many tanks enclosed? Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath? If so, how protected? Height of Legs, if any Skirting at bottom of appliance? Distance to combustible material from top of appliance? From front of appliance From sides and back From top of smokepipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? Forced or gravity? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? \$75.00

Estimated cost \$19,845

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Installer Union Oil Company as agent for owner Edward Cowden

INSPECTION FILE APPLICANT'S COPY LESSOR'S COPY