

PLEASANT AVENUE PEAKS ISLAND  
90-P-1



APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

000380

PERMIT ISSUED

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION N-3 PORTLAND, MAINE, 5-18-79

MAY 21 1979

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

CITY OF PORTLAND

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 90-P-1 & 90-P-12 Pleasant Ave. & Sargeant Rd. Fire District #1 [ ] #2 [ ]
1. Owner's name and address Deborah F. C. Wilbur - SHIRAZ Telephone 914-428-4986
2. Lessee's name and address 204 Poe St. Hartsdale, N.Y. 10530 Telephone
3. Contractor's name and address Richard P. Caron-Ledgewood Rd., Peaks Isl., Me. 04108 Telephone 766-5084
4. Architect Specifications Plans No. of sheets 1
Proposed use of building sun deck 10'x14' No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 750.00 Fee \$ 5.50

FIELD INSPECTOR—Mr.

GENERAL DESCRIPTION

This application is for: @ 775-5451 Ext. 234 To construct sun deck, 10'x14', as per plans.

- Dwelling
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [ ] 2 [ ] 3 [x] 4 [ ]

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has aptic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? ledge earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind SPRUCE Dressed or full size? dressed Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partititions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x8 2nd 3rd roof
On centers: 1st floor 24" 2nd 3rd roof
Maximum span: 1st floor 8' 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

Will work require disturbing of any tree on a public street?

ZONING: O.H. N.A.C. 5/13/79

BUILDING CODE:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

Fire Dept.:

Health Dept.:

Others:

Signature of Applicant

[Handwritten Signature]

Phone #

Type Name of above Richard P. Caron

1 [ ] 2 [ ] 3 [x] 4 [ ]

Other

and Address

FIELD INSPECTOR'S COPY

NOTES

May 3/79 Nothing started

July 30/79

Oct 19/79 Completed.

Permit No. 79/380

Location 911-1-1412

Owner J. J. ... McAllen

Date of permit 5-18-79

Approved 5-21-79

City of ...

[Empty lined area for notes]

[Empty lined area for notes]



# APPLICATION FOR PERMIT

**PERMIT ISSUED**

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION 0 0690

AUG 7 1978

ZONING LOCATION A-3 PORTLAND, MAINE, 8-7-78

**CITY of PORTLAND**

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE  
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION Lot 90-P-1 & 90-P-12 Pleasant Ave. & Sargent Rd. Peaks Isl.  
1. Owner's name and address Deborah F. C. Wilbur, 204 Poe St., Peaks Isl. Fire District #1  #2   
2. Lessee's name and address Hartsdale N.Y. Telephone 766-4476 Isl.  
3. Contractor's name and address Richard P. Caron, Peaks Isl., Me. Telephone 766-5064  
4. Architect P.O. Box #1 Telephone 766-5064  
Proposed use of building single fam. dwell. Specifications Plans No. of sheets 1  
Last use ..... No. families .....  
Material ..... No. stories ..... Heat ..... Style of roof ..... No. families .....  
Other buildings on same lot ..... Roofing .....  
Estimated contractual cost \$ 8,000.00 Fee \$ 32.00

FIELD INSPECTOR—Mr. ..... GENERAL DESCRIPTION

This application is for: @ 775-5451 To construct 16'x20' addition as per plans.  
Dwelling ..... Ext. 234  
Garage .....

Masonry Bldg. .....  
Metal Bldg. .....  
Alterations ..... Stamp of Special Conditions  
Demolitions .....  
Change of Use .....  
Other .....

NOTE TO APPLICANT: Separate permits are required by the undersigned for the work of subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1  2  3  4   
Other: .....

### DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes  
Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....  
Has septic tank notice been sent? ..... Form notice sent? .....  
Height average grade to top of plate 9' Height average grade to highest point of roof 12'  
Size, front 20' depth 16' No. stories 1 solid or filled land? solid earth or rock? earth  
Material of foundation concrete post & beam Thickness, top ..... Bottom .....  
Kind of roof pitch Rise per foot 2 1/2/12 Roof covering asphalt shingle  
No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....  
Framing Lumber—Kind spruce Dressed or full size? dressed Corner posts 4x6 Sills 4x8  
Size Girder 4x8 Columns under girders 4x6 Size ..... Max. on centers 6'  
Studs (outside walls and carrying partitions) 2x4-16" C. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor 2x8 2nd ..... 3rd ..... roof 2x8  
On centers: 1st floor 16" 2nd ..... 3rd ..... roof 16"  
Maximum span: 1st floor 10' 2nd ..... 3rd ..... roof 10'  
If one story building with masonry walls thickness of walls? ..... height? .....

### IF A GARAGE

No. cars now accommodated on same lot ....., to be accommodated ..... number commercial cars to be accommodated .....  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: ..... DATE .....

BUILDING INSPECTION—PLAN EXAMINER .....

ZONING: A-3, E-8, 8/7/78

BUILDING CODE: A-3, E-8, 8/7/78

Fire Dept.: .....

Health Dept.: .....

Others: .....

### MISCELLANEOUS

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Applicant Richard P. Caron Phone # .....

Type Name of above Richard P. Caron 1  2  3  4

FIELD INSPECTOR'S COPY

Other .....  
and Address .....

NOTES

Dec 20/78 Completed

Permit No.

98-0690

Location

1760-55 Road NW  
C11191

Owner

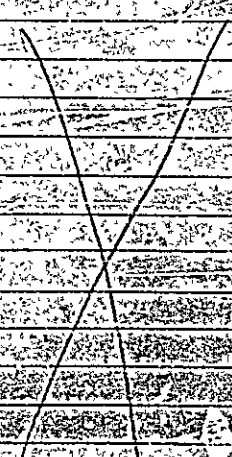
W. H. Williams

Date of permit

9-7-78

Approved

8-7-78



PERMIT TO INSTALL PLUMBING

9018/12 or 901P/11

15254

PERMIT NUMBER

Date Issued 6/2/65

PORTLAND PLUMBING INSPECTOR

Address Pleasant Ave, Peaks Island

Installation For John Carroll

Owner of Bldg. Same

Owner's Address: Same

Plumber Richard P. Maltz

Date: 6/2/65

APPROVED FIRST INSPECTION

Date 7/13/65

By ERNOLD R. GOODWIN

APPROVED FINAL INSPECTION

Date 7/13/65

By ERNOLD R. GOODWIN

TYPE OF BUILDING INSPECTOR

- COMMERCIAL
- RESIDENTIAL
- SINGLE
- MULTI FAMILY
- NEW CONSTRUCTION
- REMODELING

NEW	REP L	PROPOSED INSTALLATIONS	NUMBER	FEE
	1	SINKS		
	1	LAVATORIES	1	82.00
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS		
	1	HOT WATER TANKS		
		TANKLESS WATER HEATERS	1	2.00
		GALV. AGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (Conn. to house drain)		

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

TOTAL ▶ \$6.00

3



# APPLICATION FOR PERMIT

PERMIT ISSUED

AUG 2 1963 00919

Class of Building or Type of Structure Third Class

PORTLAND MAINE,

CITY of PORTLAND  
August 2, 1963

To the INSPECTOR OF BUILDINGS, Portland, Me.

The undersigned hereby applies for a permit to repair or renew roof covering of the following described building in accordance with the laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Cor. Pleasant Ave. & Sargent Rd. Peaks Island (90-P-1)

Owner's name and address Whitney R Nojto, Torrington Pt. Peake Island Telephone \_\_\_\_\_

Contractor's name and address Roland Hoar, Island Ave. Peaks Island. Telephone \_\_\_\_\_

Use of building—Present Dwelling Proposed Dwelling

No. of Stories 1 Style of roof. hip Type of present roof covering Asphalt

Type and Grade of roofing to be used Asphalt Class C Und Label. No. plies \_\_\_\_\_

## GENERAL DESCRIPTION OF NEW WORK

To cover entire roof.

Fee \$ .50

INSPECTION COPY

Signature of Owner

by:

*Roland Hoar*

Frank Skilling  
Pleasant Ave. & Baycut Rd  
Peaks Island ME

2x4 Roof Rafters  
2x6 Ceiling Rafters

Truss Joist

Truss to Rafters



24  
3/2



July 11, 1956

37 - Pleasant Ave., corner of Sargent Road, Peaks Island - Assessors'  
Lot No. 90-P-1

Mr. Charles Franco,  
Peaks Island, Maine

Copy to Mr. Frank A. Skillings  
298 Sumner Street  
Somerville, Mass.

Dear Mr. Franco:-

This permit for installation of a Van Facker prefabricated chimney to be used in connection with an oil burning heater in cottage at the above location is issued herewith subject to the following conditions:-

1. Installation will be made in accordance with instructions of the manufacturer.

2. Required clearances from combustible material will be maintained as specified in the approval conditions of Underwriters' Laboratories, Inc.

3. Chimney will be supported on frame of building in an adequate and approved manner and framing will be reinforced if necessary to carry the dead weight of chimney.

4. No part of chimney and its supports will be covered up until notification of readiness for inspection has been given this department and inspector has authorized "clearing-in" of the work.

This particular type of chimney is reported by the manufacturer to weigh 35 pounds per linear foot of height. Clearances from combustible material may be zero to ceiling and roof construction but not less than 3/8 inches elsewhere.

Very truly yours,

Albert J. Sears  
Deputy Inspector of Buildings

\* These minimum clearances to burnable material for Van Facker chimneys are: 0 to floor, ceiling, and roof construction, elsewhere not less than 2 inches. Any enclosing partitions of flue must be gypsum wall-board not more than 3/8 inches thick.

AJS/C

July 25, 1956

Copies to: Mr. Frank A. Skillings  
298 Summer Street  
Somerville, Mass.

Mr. Frank A. Skillings  
Peaks Island, Maine

Mr. Charles Franco  
Peaks Island, Me.

Dear Mr. Skillings:-

In regard to installation of a Van Facker chimney in your cottage on Peaks Island, we have insufficient information on which to issue a permit. It is necessary that someone file and sign at this office an application for a permit for this installation. With this application will need to be filed the following information:-

1. Location of building where installation is to be made. - 96-P-7
2. Type of fuel to be used. - oil -
3. Type of chimney to be installed:- whether it is to be suspended from rafters or ceiling beams or to extend down so as to be supported on the floor or on the ground.
4. If to be supported on floor, ceiling or roof timbers, indication of size, span and spacing of supporting timbers and where in the span of these timbers the support for chimney are to be located.

Very truly yours,

Albert J. Coombs  
Deputy Inspector of Buildings

AJS/O



APARTMENT ZONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Trailer  
Portland, Maine, July 30, 1956

PERMIT ISSUED  
City  
AUG 1 1956  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repairs or modifications of the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Pleasant Ave Sargent road 901 ME Within Fire Limits? no Dict. No. \_\_\_\_\_  
Owner's name and address Frank A. Skillings, 298 Summer St., Somerville, MASS. Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Charles Franco, Peaks Island Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
Proposed use of building cottage No. family \_\_\_\_\_  
Last use \_\_\_\_\_ " \_\_\_\_\_ No. families \_\_\_\_\_  
Material wood No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 100. Fee \$ 50

General Description of New Work

To install 7" diameter VanFacker chimney in cottage. Chimney to be supported on roof and ceiling construction. Oil to be used for fuel.

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY  
RETURN IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO HEATING CONTRACTOR

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewerage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_  
Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:  
with letter by JGS

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

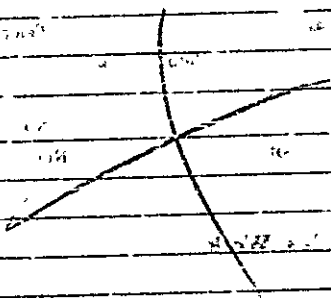
INSPECTION COPY

Signature of owner

F. A. Skillings

NOTES:

7759-~~Wolfsbane~~  
P.L.S.



Permit No. 561143  
Location Marshall Ave. East Blvd  
Owner Frank D. Mullinger  
Date of permit 8/17/56  
Notif. closing-in \_\_\_\_\_  
Inspn. closing-in \_\_\_\_\_  
Final Notif. \_\_\_\_\_  
Final Inspn. of \_\_\_\_\_  
Cert. of Occupancy issued \_\_\_\_\_  
Staking Out Notice \_\_\_\_\_  
Form Check Notice \_\_\_\_\_



QJN

(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED  
0111  
JUL 14 1953  
CITY OF PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, July 2, 1953

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~erect~~ ~~erect~~ ~~erect~~ ~~erect~~ the following building ~~structure~~ ~~equipment~~ ~~equipment~~ ~~equipment~~ ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Pleasant Ave., Peaks Island 90-21+12 Within Fire Limits? no Dist. No. \_\_\_\_\_  
Owner's name and address Frank Skillings, Pleasant Ave., Peaks Island Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address George Jordan, Pleasant Ave., Peaks Island Telephone 6-2634  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
Proposed use of building cottage No. families \_\_\_\_\_  
Last use \_\_\_\_\_ " \_\_\_\_\_ No. families \_\_\_\_\_  
Material wood No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 200 Fee \$ 2.00

General Description of New Work

To construct 1-story frame addition 10' x 12' on front of cottage.  
Door is existing in end wall now.

INSPECTION NOT COMPLETED

Permit Issued with Memo

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO George Jordan

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Height average grade to top of plate 12' Height average grade to highest point of roof 21'  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation concrete piers at least 4' below grade Thickness, top \_\_\_\_\_ bottom 8 12" cellar \_\_\_\_\_  
Material of underpinning hemlock posts Height 5' Thickness 4x6  
Kind of roof Hip Rise per foot \_\_\_\_\_ Roof covering Asphalt Class C Und Lab  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind hemlock Dressed or full size? dressed  
Corner posts 4x4 Sills 4x6 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor 2x6, 2nd see memo, 3rd \_\_\_\_\_, roof 2x4  
On centers: 1st floor 24", 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 24"  
Maximum span: 1st floor 6', 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

*with memo by QJN*

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Frank Skillings

Signature of owner by: *George Jordan*

INSPECTION COPY

NOTES

7-14-53. Went over location of foundation addition with Mr. Jordan and Mr. Skilman. Outside measurements given by them there are no dimensions. (Plat plan of 7-14-53. but which gives distances as gone over with them parties.

Foundation  $28.05 \times 9.8 \#6$   
 End sill non-carrying  $6' \times 8" = 235 \#4$   
 Footing carrying  $15' \times 15" = 2803 \#4$

Flms  $3 \times 24 \times 10.75$   
 Wall  $5 \times 10 \times 9.75$   
 Roof  $5 \times 10 \times 7.50$   
 1825 in comp. all

7 cm  $2 \times 6 \times 24$  center =  $10.47 \times 87 \#4$

8-18-53. Work appears completed, could not get in.

INSPECTION NOT COMPLETED

Permit No. 53/1117  
 Location Pleasant Hill, Oak Ridge  
 Owner Frank & Stella Long  
 Date of permit 7/14/53  
 Notif. closing-in  
 Inspn. closing-in  
 Final Notif.  
 Final Inspn. 11/9/53  
 Cert. of Occupancy Issued

<p>7-14-53. Went over location of foundation addition with Mr. Jordan and Mr. Skilman. Outside measurements given by them there are no dimensions. (Plat plan of 7-14-53. but which gives distances as gone over with them parties.</p> <p>Foundation <math>28.05 \times 9.8 \#6</math>              End sill non-carrying <math>6' \times 8" = 235 \#4</math>              Footing carrying <math>15' \times 15" = 2803 \#4</math></p> <p>Flms <math>3 \times 24 \times 10.75</math>              Wall <math>5 \times 10 \times 9.75</math>              Roof <math>5 \times 10 \times 7.50</math>              1825 in comp. all</p> <p>7 cm <math>2 \times 6 \times 24</math> center = <math>10.47 \times 87 \#4</math></p> <p>8-18-53. Work appears completed, could not get in.</p> <p>INSPECTION NOT COMPLETED</p>	<p>Permit No. 53/1117              Location Pleasant Hill, Oak Ridge              Owner Frank &amp; Stella Long              Date of permit 7/14/53              Notif. closing-in              Inspn. closing-in              Final Notif.              Final Inspn. 11/9/53              Cert. of Occupancy Issued</p>
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Memorandum from Department of Building Inspection, Portland, Maine

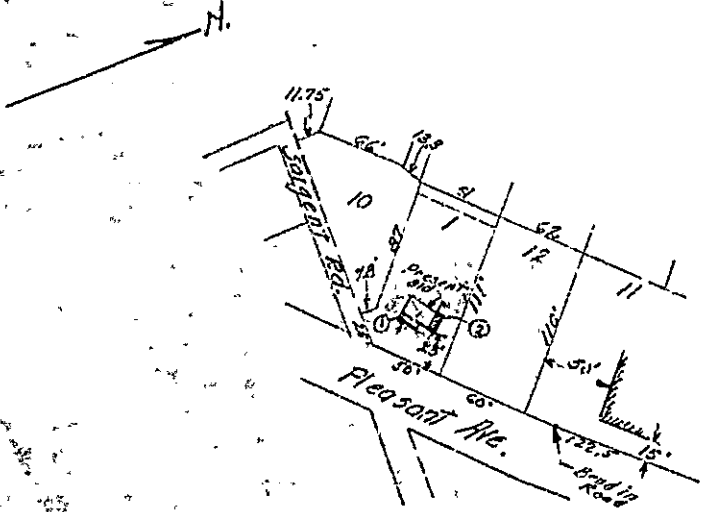
Pleasant Ave.--Peaks Island--Construction of one story addition 10'x12' for Frank Skillings by George Jordan, contractor

July 14, 1953

Building permit for construction of a one story addition 10' x 12' on the end of the cottage on Pleasant Ave., corner of Sargent Road, Peaks Island (Assessors' Lot No. 90-P-1) is issued herewith subject to the condition that the 2x6 floor timbers are to be spaced no more than 18 inches on centers instead of 24 inches on centers as given in the application for permit.

AJS/H

(Signed) Warren McDonald ✓  
Inspector of Buildings



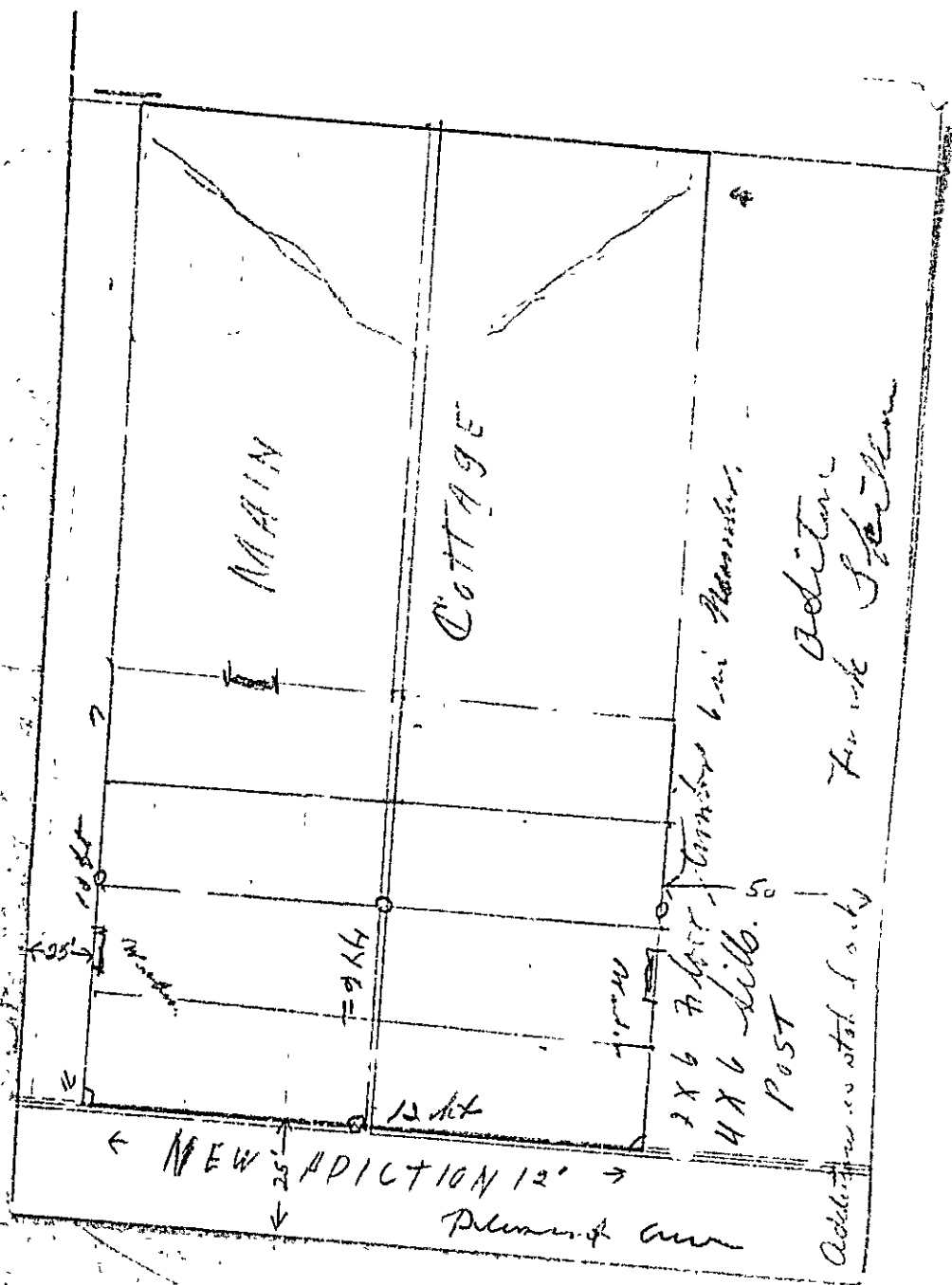
- ① This corner 26' from Sargent Rd.
- ② Proposed 10x12 addition, nearest corner 12.6' from side lot line and 23' from Pleasant Ave. St line.

Proposed 10x12 addition  
 for Frank Skillings  
 George Jordan, Contr.  
 Pleasant Ave. Peaks  
 Assessors P 90-P1+12

11-14-58

AT.







(A) APARTMENT HOUSE ZONE  
**APPLICATION FOR PERMIT**

Class of Building or Type of Structure Third Class  
 Location Portland, Maine Date August 5, 1952

PERMIT ISSUED  
 01240  
 AUG 7 1952  
 CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Pleasant Avenue, Peaks Island Ass. 25075 147 NO  
 Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address Frank Skillings, Pleasant Ave. Telephone \_\_\_\_\_  
 Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Contractor's name and address A. P. Foss, Pleasant Ave. Telephone 6-2635  
 Architect \_\_\_\_\_ Telephone \_\_\_\_\_  
 Proposed use of building Cottage Specifications \_\_\_\_\_ Plan? yes No. of sheets \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ No. families \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_ Roofing \_\_\_\_\_  
 Estimated cost \$ 100.00 Fee \$ .50

**General Description of New Work**

To construct open platform (no roof) 5'x8' on Pleasant Avenue side (front)  
 To build one story addition 4x8 in rear cutting in 5' opening in outside wall  
 using 4x6 header supported at each end supports to be carried down to firm bearing

CERTIFICATE OF OCCUPANCY  
 REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** A. P. Foss

**Details of New Work**

Is any plumbing involved in this work? no Is any electrical work involved in this work? no  
 Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
 Height average grade to top of plate 11' Height average grade to highest point of roof 12'-6"  
 Size, front 8' depth 5' No. stories 1 solid or filled land? solid earth or rock? ledge  
 Material of foundation cedar posts under side of ledge and blue clay  
 Material of underpinning \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Kind of roof asph flat Rice per foot 4" Roof covering asphalt Class C Thickness \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber—Kind spruce Dressed or full size? dressed  
 Corner posts 4x4 Sills 4x6 on edge \_\_\_\_\_ Girders \_\_\_\_\_ Size \_\_\_\_\_  
 Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor 2x6, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x4  
 On centers: 1st floor 16", 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 24"  
 Maximum span: 1st floor 5', 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 4'  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

**If a Garage**

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will auto mobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

**Miscellaneous**

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

*with letter by AGJ*

INSPECTION COPY

Signature of owner

*Frank Skillings*

Permit No. 571240

Location Rosemont ave, Peabody, Mass.

Owner Frank Shalinger

Date of permit 8/7/52

Notif. closing-in \_\_\_\_\_

Insp. closing-in \_\_\_\_\_

Final Notif. \_\_\_\_\_

Final Insp. 3-9-53, L. P.

Cert. of Occupancy issued None

NOTES

~~THIS IS A COPY OF THE ORIGINAL PERMIT~~

*[Faint, mostly illegible vertical text and markings in the right-hand column of the document.]*

AP Pleasant Avenue, Peaks Island  
(Assessors' Lot No. 90-P-1)

August 7, 1952

Mr. Frank Skillings  
Pleasant Avenue  
Peaks Island, Maine

Copy to Mr. A. . . . .  
Pleasant Avenue

Dear Mr. Skillings:

Building permit for alterations and construction of additions to cottage on Pleasant Avenue, Peaks Island (Assessors' Lot No. 90-P-1), is issued herewith subject to the following conditions:

1. Floor timbers of both the platform and the addition are either to rest on top of the sills or be notched over no less than 2x3 nailing strips spiked to the sides of the sills.
2. The 4x6 indicated for support of the roof for the existing building and the roof of the addition across the 8 ft. opening to be cut in the existing wall of the building will not figure out. It is necessary that a 2x8 be provided for this purpose.

Very truly yours,

Warren McDonald  
Inspector of Buildings

AJ3/B

Alternative Cottage Placement (1/2) P.D.

Front Walling: corner of front porch

E-2-23-3  
-1-2

Front Platform - 8' x 13' = 104'

Bill 4' x 8' x 8' spars = 1752' o.k.

8' x 2.5' x 13' = 260'

2' x 6' x 5' spars =  $\frac{1254}{130 \times 5}$  at 190' o.k.

6.43) 1254 (170.4  
668  
586

75  
270  
45  
720

Front Addition 4x6 wall edge 8' spars 1752' N.G.

4' x 2.5' x 45' = 450'

4' x 6' x 10' = 240'

4' x 6' x 45' = 720'

8' x 6' x 4' spars = o.k.

Center front  
or 4x6 for bill.

40) 1752 (36.3

363  
240

11, 2 - O.K.

Header 8' opening outside wall.

4' x 6' in 8' spars = 1752'

4' x 6' in 8' spars = 1752'

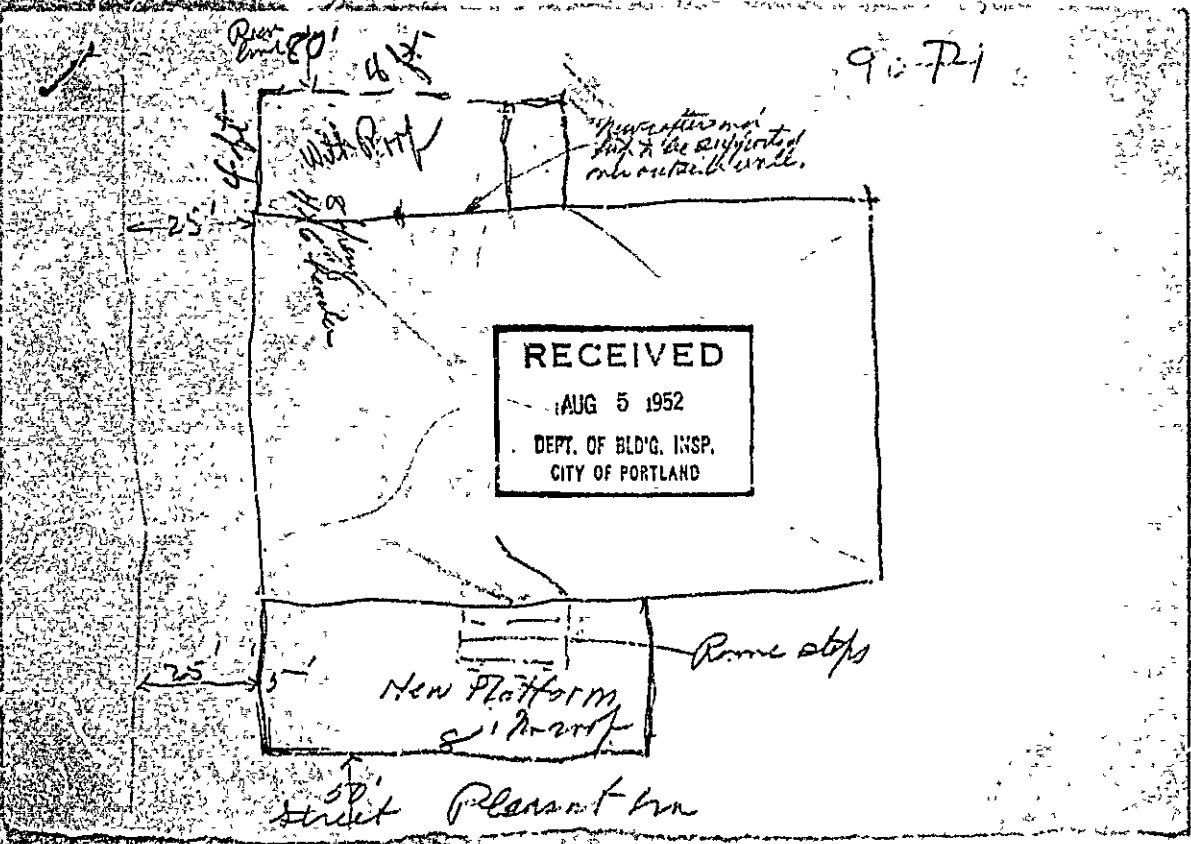
6x8 = 3615' N.G.

4x8 = 3118'

or 4x6 for 2736'

2' x 6' in 8' spars  
outside wall  
per wall  
6' x 8' = 3615'

8' x 8' = 641  
148  
568  
252  
2880



RECEIVED  
AUG 5 1952  
DEPT. OF BLD'G. INSP.  
CITY OF PORTLAND



(A) APARTMENT HOUSE ZONE  
APPLICATION FOR PERMIT

PERMIT ISSUED

AUG 14 1950

CITY of PORTLAND

Class of Building or Type of Structure Third Class  
Portland, Maine, August 4, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~and~~ ~~rebuild~~ ~~and~~ ~~construct~~ the following building ~~structure~~ ~~work~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications. 20-1

Location Pleasant Avenue, Peaks Island Within Fire Limits? no Dist. No. \_\_\_\_\_  
Owner's name and address Frank Skillings, Pleasant Avenue, Peaks Island Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address A. F. Foss, Pleasant Avenue, Peaks Island Telephone 6-2615  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans no No. of sheets \_\_\_\_\_  
Proposed use of building Cottage No. families \_\_\_\_\_  
Last use \_\_\_\_\_ No. families \_\_\_\_\_  
Material wood No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot INSPECTION NOT COMPLETED  
Estimated cost \$ 60. Fee \$ 50

General Description of New Work

To construct wooden platform 4' x 6' on rear of dwelling.  
To remove existing steps leading to existing door.

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED  
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO A. F. Foss

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ Depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation cedar posts at least 4' below grade Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof none Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind hardlock Dressed or full size? dressed  
Corner posts \_\_\_\_\_ Size 6x12 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 3 feet.  
Joists and rafters: 1st floor 2x6 2nd \_\_\_\_\_ 3rd \_\_\_\_\_, roof none  
On centers: 1st floor 16" 2nd \_\_\_\_\_ 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor 6' 2nd \_\_\_\_\_ 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Frank Skillings

Signature of owner by: [Signature]

INSPECTION COPY

Permit No. 1382

Location Elmwood Ave. Q. 9.

Owner Frank J. McLaughlin

Date of permit 8/14/50

Notif. closing-in

Inspr. closing-in

Final Notif.

Final Insp.

Cert. of Compliance issued

NOTICE OF PERMIT  
TENTON FOR PERMIT  
NOTIFICATION FOR PERMIT  
NOTIFICATION FOR PERMIT

NOTES

Case Description of Work

THIS PERMIT IS ISSUED FOR THE PURPOSE OF PERFORMING THE WORK DESCRIBED HEREIN IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF NEW YORK PERMIT LAW.

The contractor shall be responsible for obtaining all necessary permits and licenses from the appropriate agencies and for complying with all applicable laws, rules and regulations.

The contractor shall be responsible for maintaining access to all adjacent properties and for restoring the premises to their original condition or better.

The contractor shall be responsible for the safety of all workers and the public, and for providing adequate safety measures throughout the duration of the work.

The contractor shall be responsible for the proper disposal of all waste materials and for maintaining cleanliness throughout the work area.

The contractor shall be responsible for the protection of all existing utilities and for providing adequate warnings and signs to the public.

The contractor shall be responsible for the timely completion of the work and for providing regular progress reports to the Department.

The contractor shall be responsible for the payment of all taxes and fees associated with the work.

The contractor shall be responsible for the maintenance of all records and documents related to the work.

The contractor shall be responsible for the payment of all bills and invoices.

The contractor shall be responsible for the insurance of all workers and property.

The contractor shall be responsible for the compliance with all applicable laws, rules and regulations.

The contractor shall be responsible for the coordination of all work with other contractors and agencies.

The contractor shall be responsible for the communication with the Department and the public.

The contractor shall be responsible for the overall management of the work.

The contractor shall be responsible for the quality of the work.

The contractor shall be responsible for the safety of the work area.

The contractor shall be responsible for the protection of the environment.

The contractor shall be responsible for the preservation of historical and cultural resources.

The contractor shall be responsible for the minimization of noise and vibration.

The contractor shall be responsible for the minimization of air pollution.

The contractor shall be responsible for the minimization of water pollution.

The contractor shall be responsible for the minimization of traffic disruption.

The contractor shall be responsible for the minimization of parking disruption.

The contractor shall be responsible for the minimization of pedestrian disruption.

The contractor shall be responsible for the minimization of bicycle disruption.

The contractor shall be responsible for the minimization of public utility disruption.

The contractor shall be responsible for the minimization of public facility disruption.

The contractor shall be responsible for the minimization of public safety disruption.

The contractor shall be responsible for the minimization of public health disruption.

The contractor shall be responsible for the minimization of public welfare disruption.

The contractor shall be responsible for the minimization of public interest disruption.

The contractor shall be responsible for the minimization of public opinion disruption.

The contractor shall be responsible for the minimization of public sentiment disruption.

The contractor shall be responsible for the minimization of public confidence disruption.

The contractor shall be responsible for the minimization of public respect disruption.

The contractor shall be responsible for the minimization of public honor disruption.

The contractor shall be responsible for the minimization of public honor disruption.

The contractor shall be responsible for the minimization of public honor disruption.

The contractor shall be responsible for the minimization of public honor disruption.



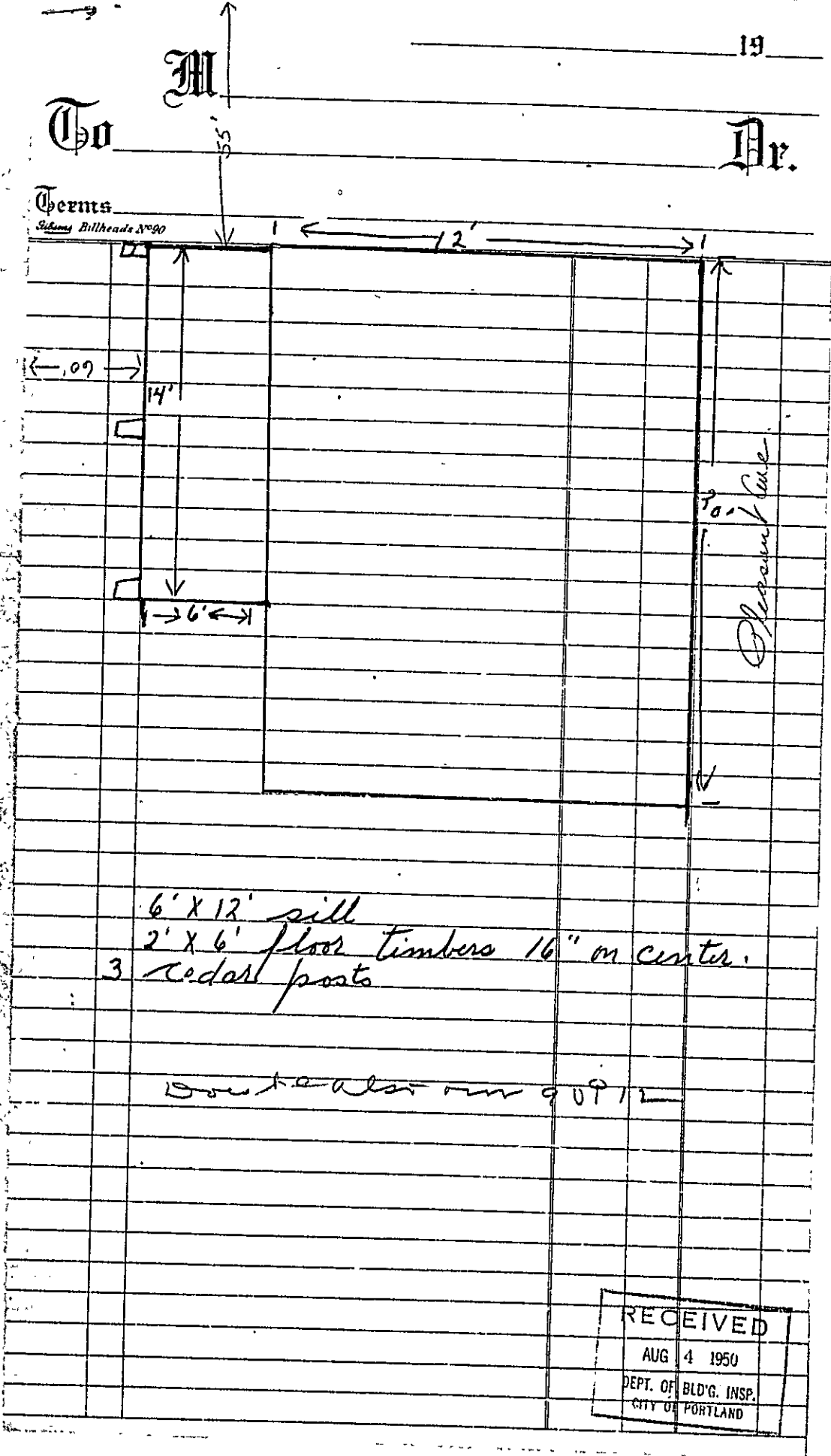
To

M

Dr.

Terms

Subs. Billheads No. 90



6' x 12' sill  
 2' x 6' floor timbers 16" on center.  
 3 cedar posts

Sout cedar run 9' 0" 12'

RECEIVED  
 AUG 4 1950  
 DEPT. OF BLD'G. INSP.  
 CITY OF PORTLAND



(A) APARTMENT HOUSE ZONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, July 16, 1917

PERMIT 1850  
01814  
JUL 23 1917

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~on~~ at ~~the~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Pleasant Avenue, Peaks Island Within Fire Limits? no Dist. No. \_\_\_\_\_  
 corner Sargent Road  
 Owner's name and address Frank A. Skilling, 385 Summer St., Somerville, Mass. Telephone \_\_\_\_\_  
 Lessee's name and address 70 Belmont Rd. Beach St. Telephone \_\_\_\_\_  
 Contractor's name and address A. P. Foss, Peaks Island Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
 Proposed use of building Cottage No families \_\_\_\_\_  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_  
 Estimated cost \$ 360. Fee \$ 1.00

General Description of New Work

To construct 12'x20' 1 story frame building.

OK. 7/16/17 Asphalt shingles or equivalent permanent weather resistant covering will be used on outside exterior walls.

OK. 7/16/17 For the present there will be no heat and no masonry chimney for it is the plan to cook with an oil stove of the type where the flame is controlled by raising and lowering a wick or by electricity.

A hip roof will be used instead of a pitch roof with the same rise per foot - 2x6 hip rafters.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Height average grade to top of plate 7' Height average grade to highest point of roof 11'  
 Size, front 12' depth 20' No. stories 1 solid or filled land? solid earth or rock? earth  
 at least 4' below grade or to ledge  
 Material of foundation cedar posts Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of roof pitch-gable Rise per foot 8" Roof covering asphalt roofing Class C Ind. Lab.  
 No. of chimneys none Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
 Framing lumber—Kind hemlock Dressed or full size? dressed  
 Corner posts 4x4 Sills 4x6 6" upright Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Girders yes Size 4x6 Columns under girders cedar posts Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor 2x6, 2nd none, 3rd \_\_\_\_\_, roof 2x4  
 On centers: 1st floor 18", 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 24"  
 Maximum span: 1st floor 6', 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 6'  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Miscellaneous

Will work require disturbing of any tree on a public street no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

*F. A. Skilling*

Permit No 47/1814  
Location Pleasant Ave, Peabody  
Owner Frank Shilling  
Date of permit 7/26/47  
Notif. closing-in \_\_\_\_\_  
Inspn closing-in \_\_\_\_\_  
Final Notif None  
Final Inspn 8/16/48  
Cert. of Occupancy issued 8/16/48

NOTES

~~7/27/47 Section of wall~~

~~7/30/47 work not started~~

~~8/2/47 no work done~~

~~First floor of building~~

~~will be vacated~~

~~11/4/47 - Bookcase work~~

~~is completed except~~

~~for covering of outside~~

~~walls. Unable to get~~

~~inside or see beneath~~

~~building.~~

~~7/14/48 same as last inspu~~

~~inspect walls correct. etc.~~

COPY

CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy



Date of Issue August 10, 1948

Issued to Frank A. Skillings

This is to certify that the building, premises, or part thereof, indicated below, and built ~~under~~ ~~at~~ ~~at~~ Pleasant Avenue, Peaks Island under Building Permit No. 47/1314, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire Building

Limiting Conditions:

This certificate supersedes  
certificate issued

APPROVED OCCUPANCY

Cottage

.....  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

7/24/47

Dear Warren:

Frank phoned me to night this  
message for you: —

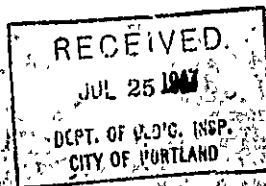
Plan is to use matched boards  
with tongues up and toes in, so  
as to be tight — the same as  
flooring.

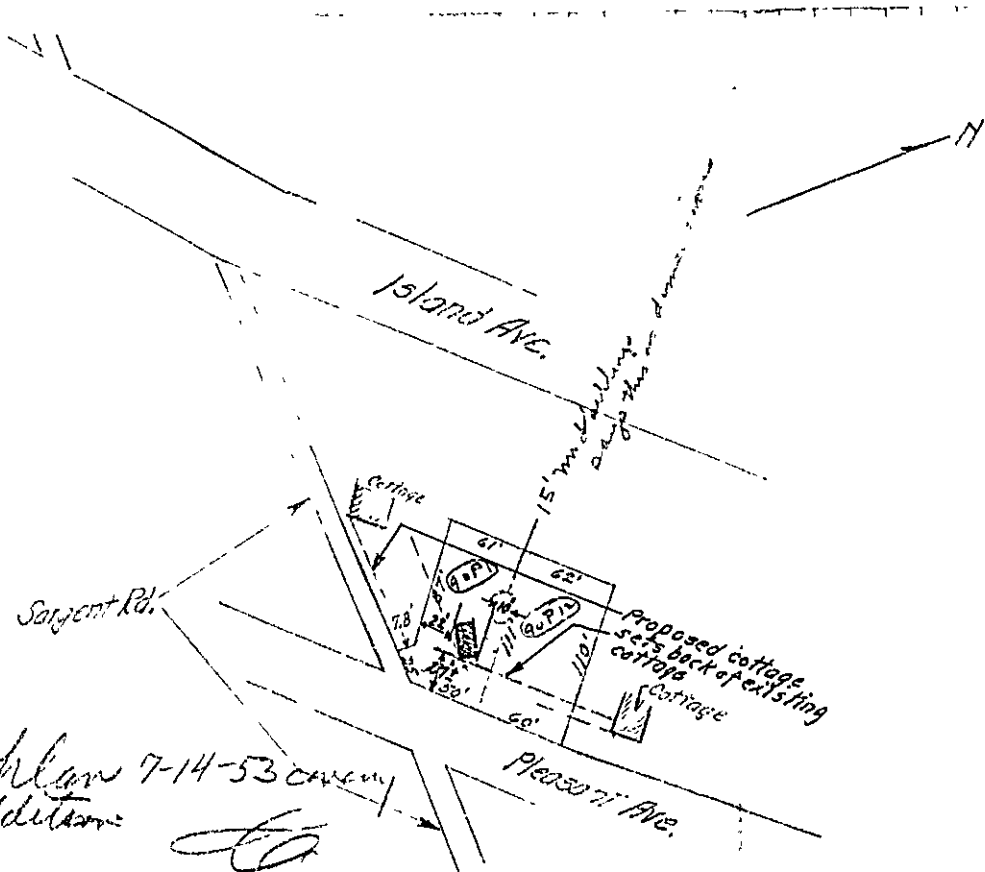
Plan is to cook with either  
an oil cook-stove of the Perfection  
or wick type, or with an  
electric plate — without chimney  
connection.

Hope to see you, say he,  
at your office before 10 A.M.

Sat 7/26

Bob Shelling





7-14-53 See plan 7-14-53 covering  
 proposed alterations

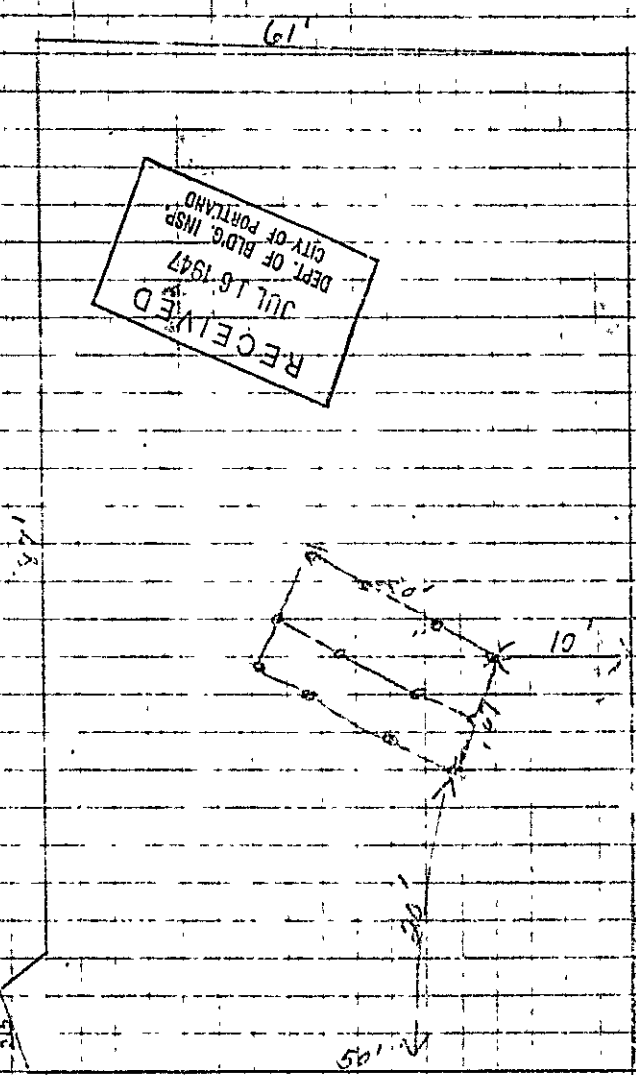
*ES*

Assessor's Map #90 Scale 1"=100'  
 All markers, wood stakes

PROPOSED COTTAGE  
 FRANK SKILLINGS, ARCH. L.A.

XX6. 2. 1947  
XX7. 2. 1947  
XX8. 2. 1947  
XX9. 2. 1947  
XX10. 2. 1947

Longwood Rd.



RECEIVED  
JUL 16 1947  
DEPT. OF BLDG. INSP.  
CITY OF PORTLAND

Pleasant Ave

...corner S.W. - 23 ft from Lot boundary.

of building N.W. - 10 ft from Lot boundary. This corner

CEDRAR POSTS:  
about 4 ft unless over ledge.

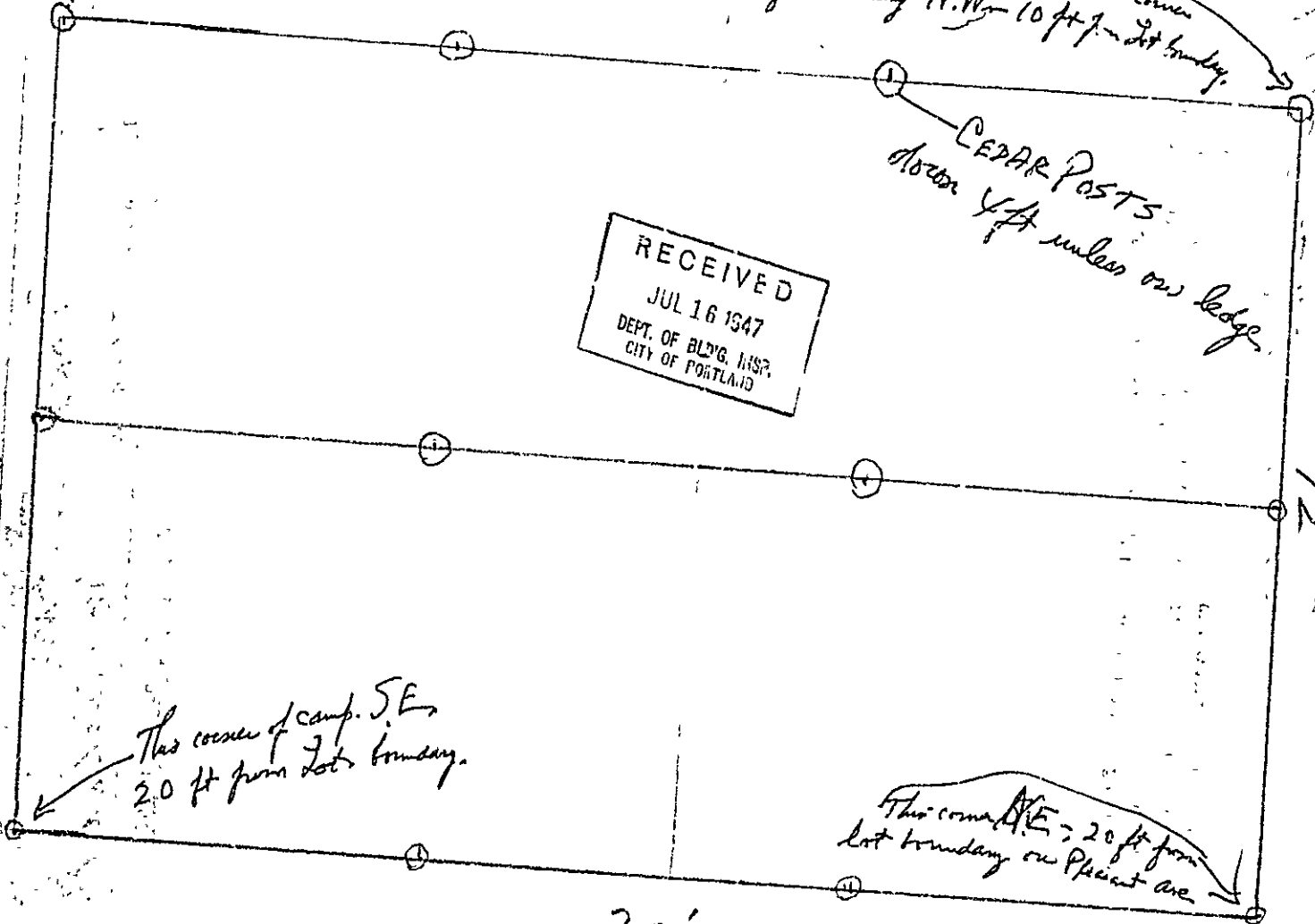
RECEIVED  
JUL 16 1947  
DEPT. OF BLD'G. INSP.  
CITY OF PORTLAND

This corner of camp. S.E.  
20 ft from Lot boundary.

This corner N.E. : 20 ft from  
lot boundary on Pleasant ave.

20'

12'





CAMP - PEAKS ISLAND

between Pleasant Ave. & Islands Ave.

Agreement between Contractor and Owner.  
1914 Edition - Five Pages - Page 4.

4x6 Sills

4x6 Girders

2x6 Floor Joists 18" on centers

4x4 Corner Posts

2x4 Studding 2 ft. on centers

Windows and Door to be double studded

2x4 Plate doubled,

2x4 Rafters 2 ft. on centers 8" to 10 ft. rise

Roll Roofing Class "C"

Article 6. The Contract Documents—The General Conditions of the Contract, the Specifications and the Drawings, together with this Agreement, form the Contract, and they are as fully a part of the Contract as if hereto attached or herein repeated. The following is an enumeration of the Specifications and Drawings:

F. A. SKILLINGS - OWNER.

J. P. FOSS - BUILDER

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for Cottage  
at Pleasant Avenue, Peaks Island Date 7/16/17

1. In whose name is the title of the property now recorded? Frank Skillings
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? Yes
3. Is the outline of the proposed work now staked out upon the ground? yes  
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? \_\_\_\_\_
4. What is to be maximum projection or overhang of eaves or drip? \_\_\_\_\_
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

F. A. Skillings

AP Pleasant Avenue, Peaks  
Island (Frank A. Skillings)

July 23, 1947

Mr. Frank A. Skillings  
385 Summer Street  
Somerville, Mass.

Subject: Application for building permit to cover  
construction of one-story frame cottage on  
Pleasant Avenue, corner of Sargent Road, Peaks  
Island

Dear Frank:

There are two specific matters that should be cleared up before the permit is issued for your cottage on Pleasant Avenue, Peaks Island,

One is the matter of weather-resistive covering outside of the wooden sheathing on the outside walls, which we talked about over the telephone. The Building Code provides that exterior walls shall be covered with wooden boards not less than 1-inch thick (nominal dimension); and that, unless such sheathing is undoubtedly weather-resistive, and of such a character as to be permanently durable for outside exposure, the sheathing shall be covered with material that is weather-resistive and permanently durable for outside exposure.

It is my recollection that you said that you merely intended to use on the outside of the studs ordinary matched sheathing without other covering. Such sheathing is not ordinarily considered weather-resistive or to be permanently durable for outside exposure, and I feel that it could not be accepted as such under this clause of the Building Code.

The other matter is the question of kind of heat, if any is to be provided, and the kind of cooking arrangements that are to be used. Your application says that there are to be no chimneys and the place for indicating kind of heat and fuel is left blank. It is quite possible that you intend no heat in the building on the basis that it is a summer cottage only, but undoubtedly you will have some sort of cooking equipment in the building. Only gas-fired or electric cooking equipment may be used under the Building Code without connection to a standard masonry chimney. There is one type of oil burning cooking stove which can be used without any vent whatever. That is the somewhat outmoded kind which uses a wick which is raised and lowered to determine the amount of heat, as contrasted with the modern oil burner which increases or decreases the amount of oil to regulate the amount of heat. The latter requires a masonry chimney.

Will you clear up these two details, either in writing or in some manner so that the information may be incorporated on your application for the permit?

There are some other matters about the construction of the building which I would like to talk over with you, perhaps to your advantage, if you can find time to come in the office. Bob says that you plan to come down to Portland on Saturday, July 26. On account of the pressure of work, I have to be out of the office quite a lot of the time, but I should be glad to try to meet with you at the office at ten o'clock or eleven o'clock, Saturday, whichever may be more convenient for you, if you can get down here by that time.

Sincerely,

Inspector of Buildings