



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

July 6, 1989

Sunset Road, Peaks Island

Mr. Maurice A. Selinger
Sunset Road
Peaks Island, Maine 04108

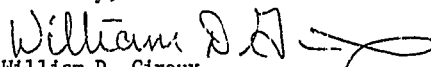
Dear Mr. Selinger:

This is in reference to your application for a building permit for a new deck at the rear of your residence on Peaks Island in the IR-2 Island Residence Zone.

It appears from the proposed plot plan which you submitted that the proposed deck does not meet the side yard setback of 20 feet as required by the IR-2 Zone, in Section 14-145.11 (3)c of the City Zoning Ordinance.

Based upon the above setback requirements, the size of your proposed deck should be reduced from 12 feet to 10 feet in depth in order to maintain the 20 foot side yard setback requirement of the Zoning Ordinance. Please revise your plot plan to conform with this zoning requirement for side yard setback.

Sincerely,


William D. Giroux
Zoning Enforcement Officer

cc: P. Samuel Hoffses, Chief, Inspections Services
Arthur Addato, Code Enforcement Officer
Warren J. Turner, Administrative Assistant

PERMIT # 002320

CITY OF Rid

BUILDING PERMIT APPLICATION

MAP #

LOT#

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Maurice A. Selinger

Address: Sunset Road Peaks Island

LOCATION OF CONSTRUCTION same

CONTRACTOR: owner SUBCONTRACTORS:

ADDRESS:

Est. Construction Cost: \$900 Type of Use: deck

Past Use:

Building Dimensions L W So. Ft. # Stories: Lot Size:

Is Proposed Use: Seasonal Condominium Apartment

Conversion - Explain

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only:

Of Dwelling Units 90-D-14 # Of New Dwelling Units

Foundation:

1. Type of Soil: 90-D-14
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other

Floor:

1. Sills Size: Sills must be anchored.
2. Girder Size:
3. Lally Column Spacing: Size:
4. Joists Size: Spacing 16" O.C.
5. Bridging Type Size:
6. Floor Sheathing Type Size:
7. Other Material:

Exterior Walls:

1. Studding Size Spacing
2. No. windows
3. No. Doors
4. Header Sizes Span(s)
5. Bracing: Yes No.
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type Size
9. Siding Type Weather Exposure
10. Masonry Materials
11. Metal Materials

Interior Walls:

1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Material:

For Official Use Only	
Date <u>July 6, 1989</u>	Subdivision: Yes / No
Inside Fire Limits	Name
Bldg Code	Lot
Time Limit	Block
Estimated Cost	Permit Expiration
Value/Structure <u>\$23,000</u>	Ownership: Public
Fee	Private

Ceiling:

1. Ceiling Joists Size:
2. Ceiling Strapping Size Spacing
3. Type Ceilings: PERMIT ISSUED
4. Insulation Type Size
5. Ceiling Height: JUL 18 1989

Roof:

1. Truss or Rafter Size Span
2. Sheathing Type Size
3. Roof Covering Type Of Portland
4. Other

Chimneys:

Type: Number of Fire Places

Heating:

Type of Heat:

Electrical:

Service Entrance Size: Smoke Detector Required Yes No

Plumbing:

1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:

1. Type:
2. Pool Size: x Square Footage
3. Must conform to National Electrical Code and State Law.

Zoning:

District: TR-2 Street Frontage Req.: Provided

Required Setbacks: Front Back Side Side

Review Required:

Zoning Board Approval: Yes No Date:

Planning Board Approval: Yes No Date:

Conditional Use: Variance Site Plan Subdivision

Shore and Floodplain Mgmt. Special Exception

Other: (Explain)

Date Approved: 7-12-89

Permit Received By: kat

Signature of Applicant: M. Selinger Date: 7/6/89

Signature of CEO: Date:

Inspection Dates:

PERMIT ISSUED
WITH LETTER

White-Tax Assessor

Yellow-GPCOG

White Tag - CEO

© Copyright GPCOG 1987

77 MA Add 11

PLOT PLAN

N



FEES (Breakdown From Front)

Base Fee \$ _____
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Type

Inspection Record

Date

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS 12-11-89 - OK 20

Signature of Applicant _____

Date _____

BUILDING PERMIT REPORT

ADDRESS: Sunset Road Peaks Island DATE: 12/July/87

REASON FOR PERMIT: deck

BUILDING OWNER: Maurice A Selinger

CONTRACTOR: " "

PERMIT APPLICANT: " "

APPROVED: X9 DENIED: " "

CONDITION OF APPROVAL OR DENIAL:

- 1.) Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained.
- 2.) Precaution must be taken to protect concrete from freezing.
- 3.) All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with self-closers.
- 4.) Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 5.) The boiler shall be protected by enclosing with one(1) hour fire rated construction including fire doors and ceiling, or by placing over the boiler, two(2) residential sprinkler heads supplied from the domestic water.
- 6.) Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping rooms must have minimum net clear openings of 5.7 square feet (0.53m²). The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm).
- 7.) In addition to any automatic fire alarm system required by Sections 1018.3.5, a minimum of one single station smoke detector shall be installed in each guest room, suite or sleeping area in buildings of Use Groups R-1 and I-1 and in dwelling units in the immediate vicinity of the bedrooms in buildings of Use Group R-2 or R-3. When actuated, the detector shall provide an alarm suitable to warn the occupants within the individual unit (see Section 1717.3.1).

In buildings of Use Groups R-1 and R-2 which have basements, an additional smoke detector shall be installed in the basement. In buildings of Use Group R-3, smoke detectors shall be required on every story of the dwelling unit, including basements.

In dwelling units with split levels, a smoke detector installed on the upper level shall suffice for the adjacent lower level provided the lower level is less than one full story below the upper level. If there is an intervening door between the adjacent levels, a smoke detector shall be installed on both levels.

All detectors shall be installed in an approved location. Where more than one detector is required to be installed within an individual dwelling unit, the detectors shall be wired in such a manner that the actuation of one alarm will actuate all the alarms in the individual unit.

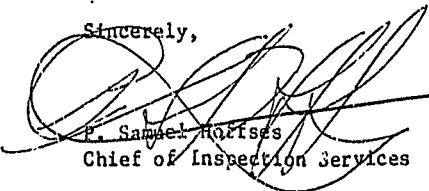
8.) Private garages located beneath rooms in buildings of Use Groups R-1, R-2, R-3 or I-1 shall have walls, partitions, floors and ceilings separating the garage space from the adjacent interior spaces constructed of not less than 1-hour fire-resistance rating. Attached private garages shall be completely separated from the adjacent interior spaces and the attic area by means of 1/2-inch gypsum board or equivalent applied to the garage side. The sills of all door openings between the garage and adjacent interior spaces shall be raised not less than 4 inches (102 mm) above the garage floor. The door opening protectives shall be 1 3/4-inch solid core wood doors or approved equivalent.

* 9.) A guardrail system located near the open side of deck or elevated walking surfaces shall be constructed. Guards in buildings of Use Group R-3 shall be not less than 36 inches in height. Open guards shall have intermediate rails, balusters or other construction such that a sphere with a diameter of 6 inches cannot pass through any opening.

10.) Section 25-135 of the Municipal Code for the City of Portland states: "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year.

11.) The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 M.R.S.A. refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

Sincerely,


P. Samuel Morris
Chief of Inspection Services

/el
11.16/88



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DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

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Sunset Road, Peaks Island

Mr. Maurice A. Selinger
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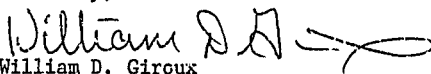
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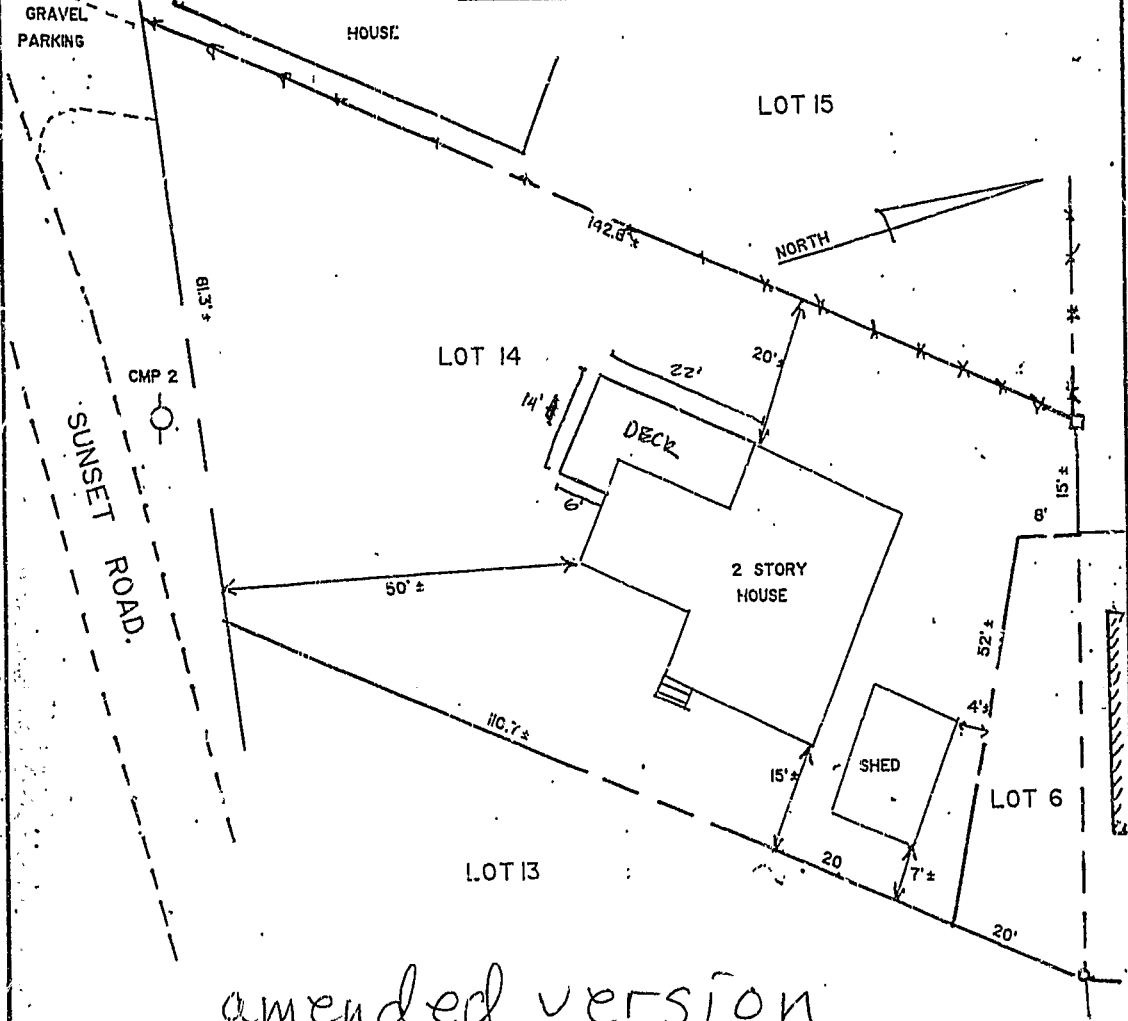
Sincerely,


William D. Giroux

Zoning Enforcement Officer

cc: P. Samuel Hoffses, Chief, Inspections Services
Arthur Addato, Code Enforcement Officer
Warren J. Turner, Administrative Assistant

Mortgage Inspection for MAURICE A. SELINGER,
PEAKS ISLAND PORTLAND MAINE



amended version

NOTES:

1. This plan is not for recording.
2. The Certifications hereon are for mortgage purposes only. They are based on a review of record data, the Zoning Ordinance, and confirmation by the municipal engineer.
3. This plan constitutes a locational determination of structures in relation to the apparent property lines observed at the time of the field inspection. This does not constitute a full instrument survey of the property boundaries.
4. This plan conforms with the State Board of Registration For Land Surveyors Standards of Practice Category III Condition IV.
5. Plan Reference:

CERTIFICATION

I hereby certify to CITU SELINGER
and its title insurer that this plan depicts the results of an examination of the premises described in Volume 6539, Page 216 of the CUMBERLAND County Registry and that all easements, encroachments and other interests are located on the ground as shown thereon.

In accordance with the local municipality and Flood Hazard Map No. _____

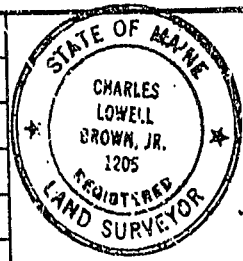
1. The building location as shown does ~~not~~ comply with the local zoning requirement.
2. This lot does not fall within a Flood Hazard area.

Charles L. Brown Jr.
Charles L. Brown Jr. R.L.S. No. 1205

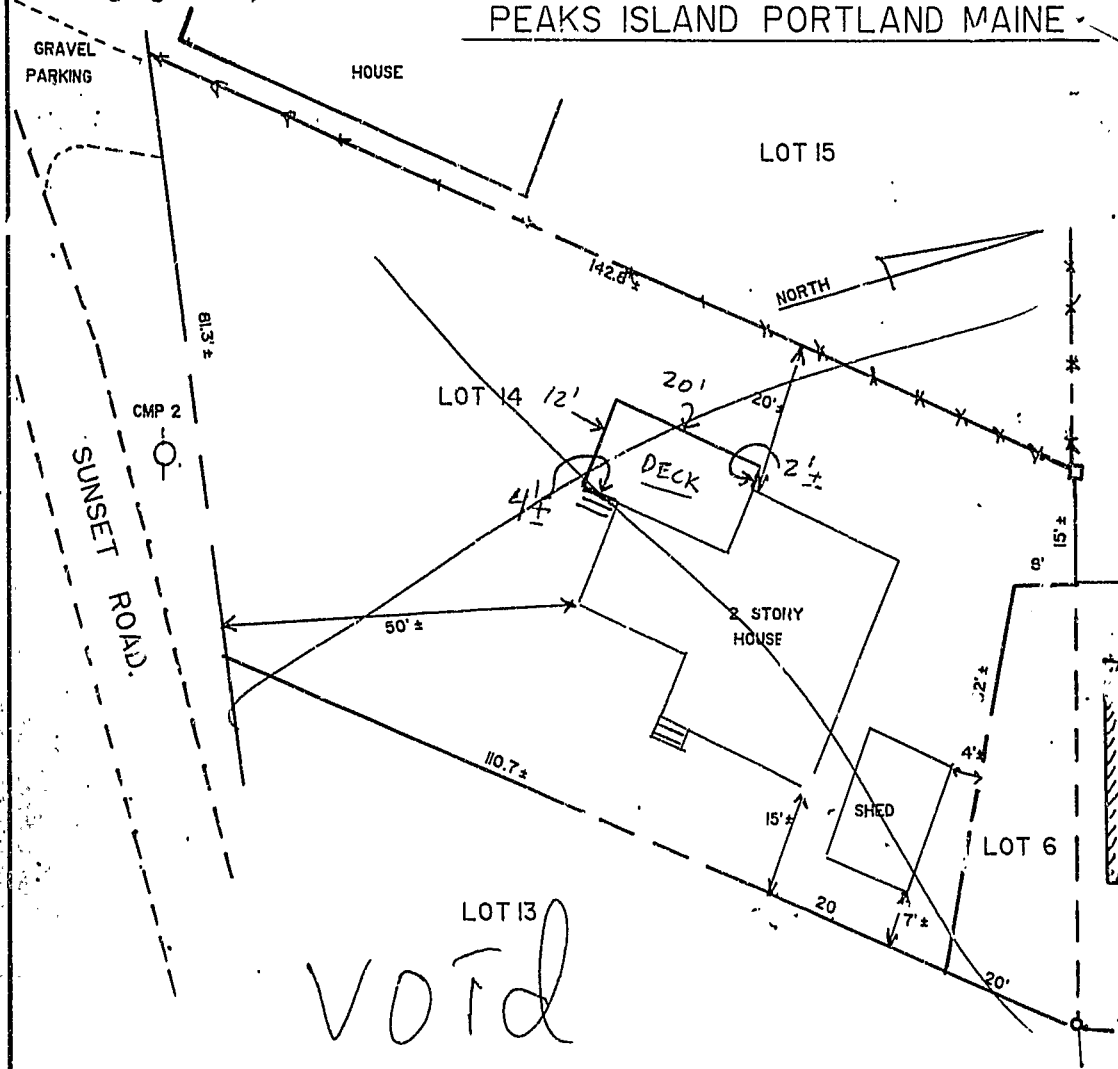
STI Sebago Technics, Inc.
CIVIL ENGINEERS AND SURVEYORS

12 Westbrook Common
Westbrook, Maine 04092
854-0471

DRAWN BY SEJ
CHECKED BY CLB
SCALE 1"=20'
FIELD BOOK 120
DATE 5/5/87
PROJECT NO. 87096s



Mortgage Inspection for MAURICE A. SELINGER,
PEAKS ISLAND PORTLAND MAINE



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3. This plan constitutes a locational determination of the structures in relation to the apparent property lines as observed at the time of the field inspection. This plan does not constitute a full instrument survey of the property boundaries.
4. This plan conforms with the State Board of Registration For Land Surveyors Standards of Practice Category III Condition IV.
5. Plan Reference:

CERTIFICATION

I Hereby certify to CITO SELINGER
and his title insurer that this plan depicts the results of an examination of the premises described in Volume 6539 Page 216 of the CUMBERLAND County Registry of Deeds and that all easements, encroachments and buildings are located on the ground as shown thereon.

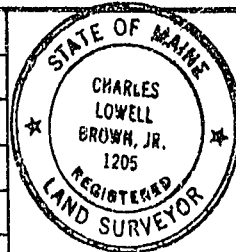
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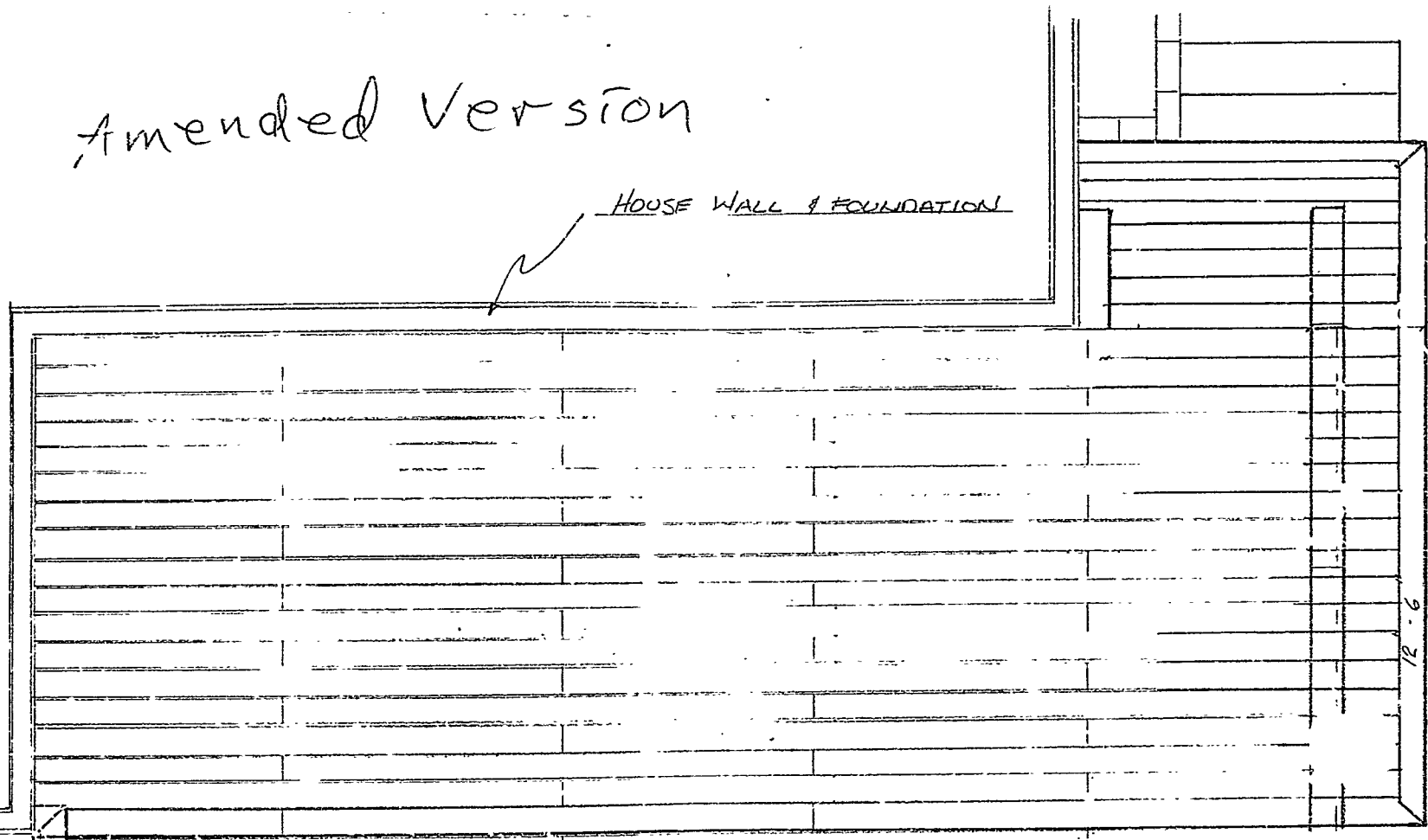
DRAWN BY SBJ
CHECKED BY CLB
SCALE 1"=20'
FIELD BOOK I20
DATE 5/5/87
PROJECT NO. 87096s



Sunset Rd.
PI

Amended Version

HOUSE WALL & FOUNDATION



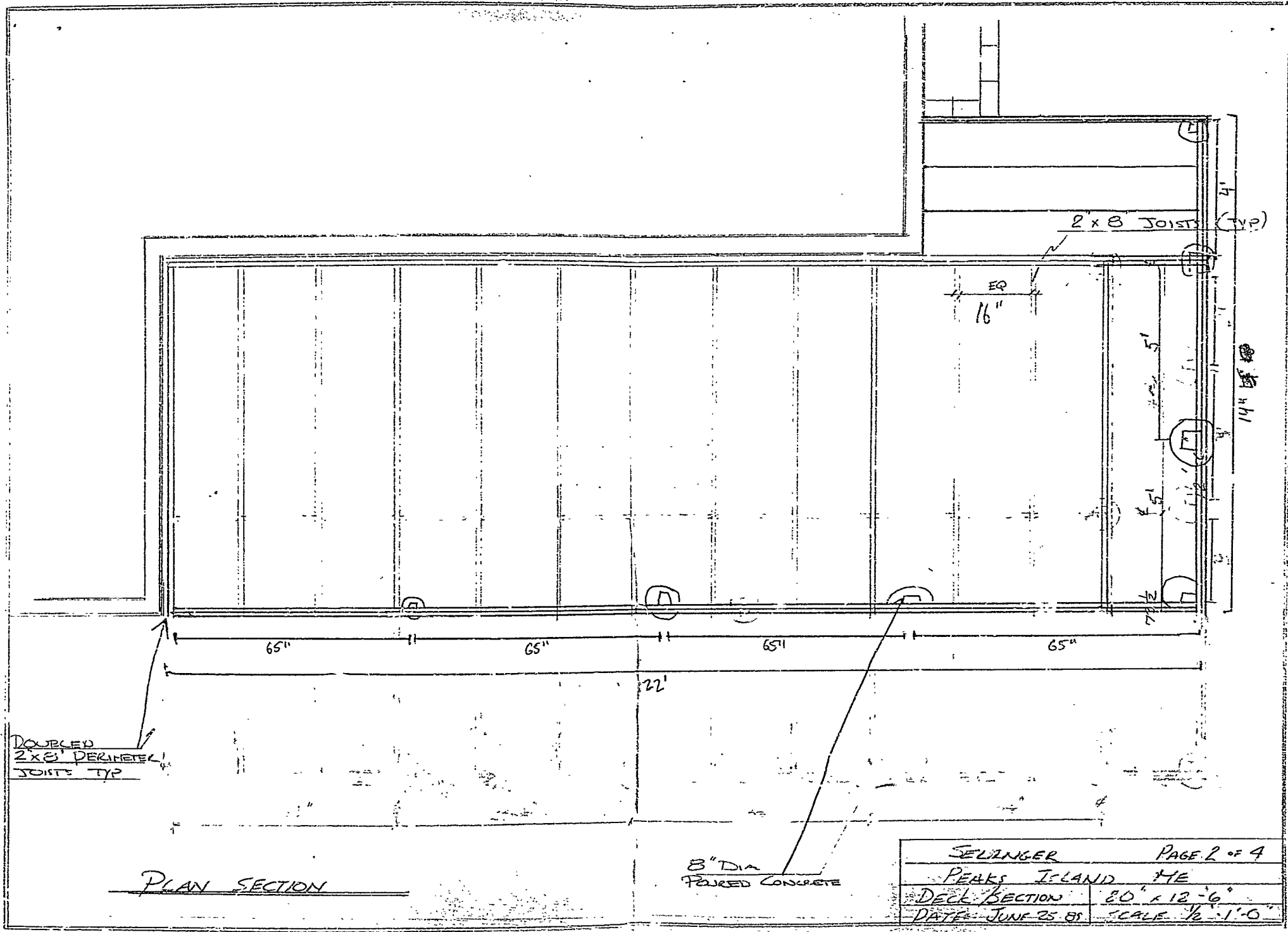
14'

12'-6"

20'

PLAN VIEW

SELINGER	PAGE 1 OF 4
PEAKS ISLAND, ME	
DECK	20' x 12'-6"
DATE: JUNE 25, 89	SCALE: 1/2" = 1'-0"



DOUBLED
2x8 PERIMETER
JOIST TYP

PLAN SECTION

8" DIA
PAIRED CONCRETE

SELINGER	PAGE 2 OF 4
PEAKS ISLAND ME	
DECK SECTION	20' x 12'-6"
DATE: JUNE 25, 85	SCALE: 1/2" = 1'-0"

20'-22"

36"

8"

DELETE →

FRONT ELEVATION

JELINGER		PAGE 3 OF 4	
PEAKS ISLAND ME			
DECK		20' x 12'-6"	
DATE: JUN 25, 89		SCALE: 1/2" = 1'-0"	

4" x 4"
CORNER POST
(TYP)

DOUBLED
2" x 8"
PERIMETER
JOISTS

(4" x 4")
PRESSURE TREATED
POST (TYP)

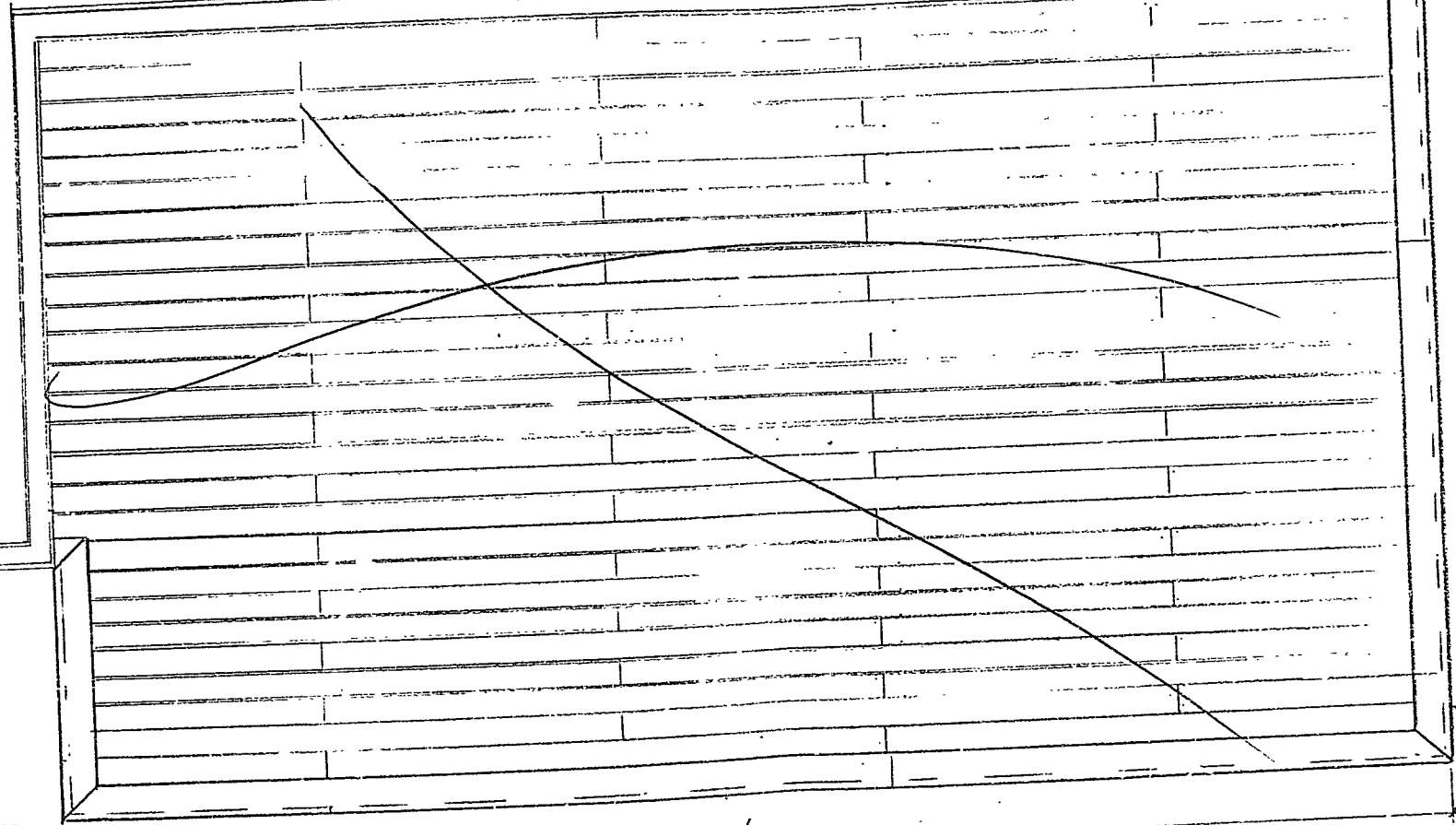
8" DIA
CONCRETE

SIDE ELEVATION

SELINGER	PAGE 4 OF 4
PEAKS ISLAND, ME	
DECK	20' x 12'-6"
DATE: JUN 25 89	SCALE: 1/2" = 1'-0"

void

HOUSE WALL & FOUNDATION



2'-0"
WALLS

12'-6"

20'

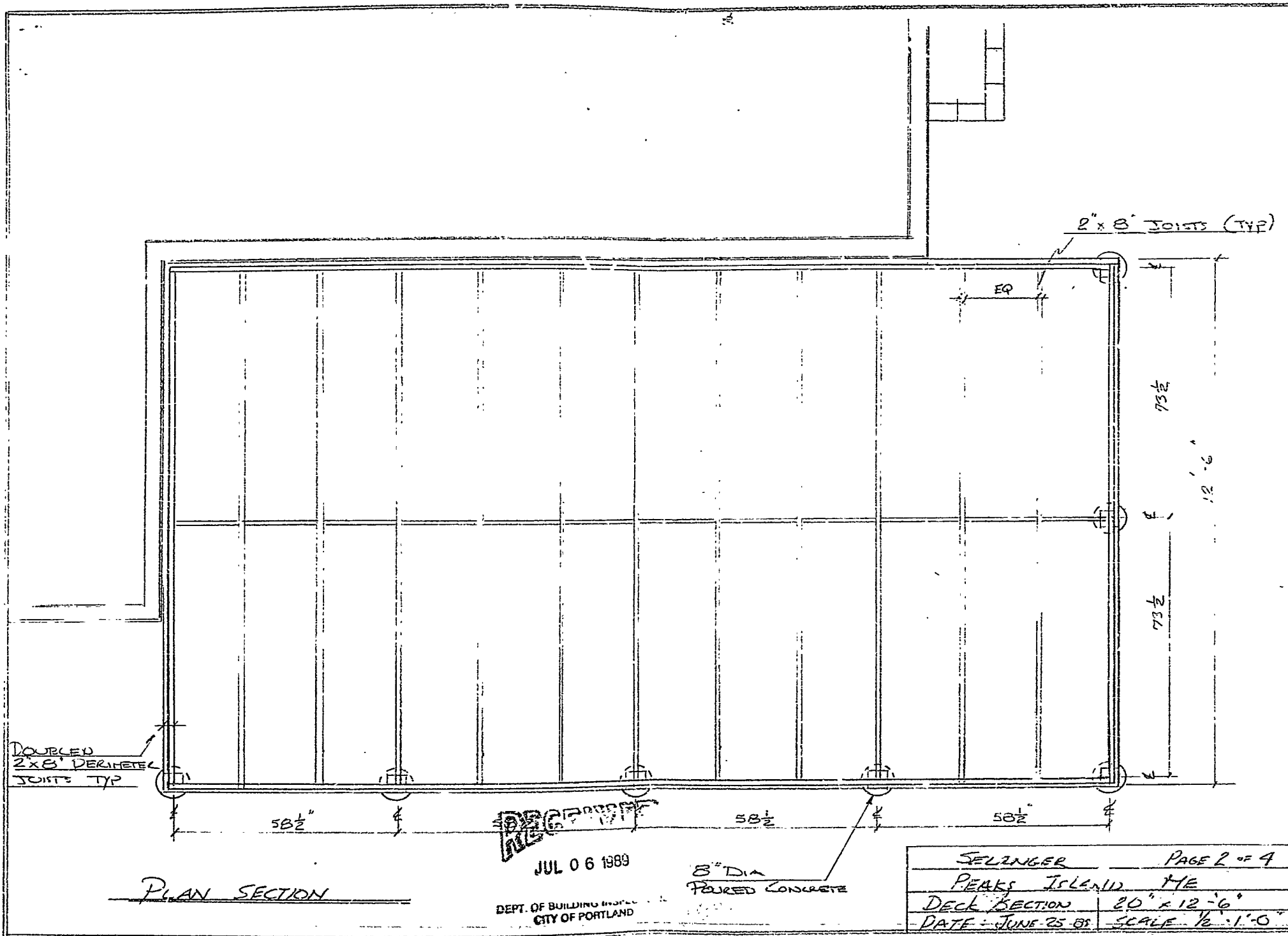
PLAN VIEW

SUNSET
PI

RECEIVED
JUL 06 1989

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

JELINGER	PAGE 1 OF 4
PEAKS ISLAND, ME	
DECK	20' x 12'-6"
DATE: JUNE 25, 89	SCALE: 1/2" = 1'-0"



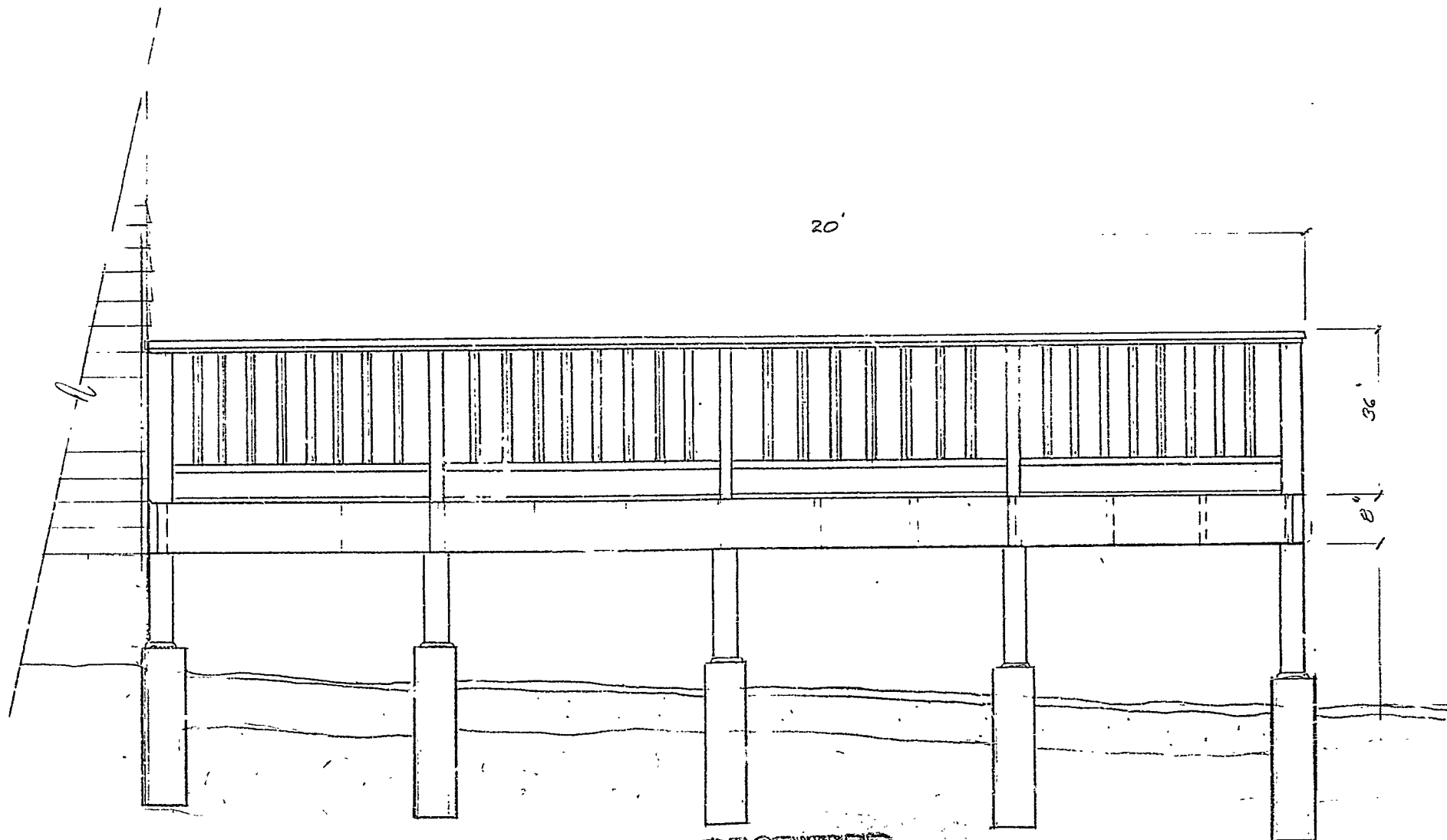
PLAN SECTION

RECEIVED
JUL 06 1989

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND

8" DIA
 POURED CONCRETE

SELINGER	PAGE 2 OF 4
PEAKS ISLAND ME	
DECK SECTION	20' x 12'-6"
DATE - JUNE 25 89	SCALE - 1/2" = 1'-0"



FRONT ELEVATION

RECEIVED

JUL 06 1989

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND

SELINGER		PAGE 3 OF 4
PEAKS ISLAND ME		
TRAIL	20' x 12'-6"	
DATE: JUN 25, 89	SCALE 1/2" = 1'-0"	

4" x 4"
CORNER POST
(TYP)

DOUBLED
2" x 8"
PERIMETER
SOLITE

(4" x 4")
PRESSURE TREATED
POST (TYP)

8" DIA
CONCRETE

12'-6"

RECEIVED

JUL 06 1989

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND

SELINGER

PAGE 4 OF 4

PEAKS ISLAND, ME

DECK 20' x 12'-6"

DATE: JUNE 25 89 SCALE: 1/2" = 1'-0"

SIDE ELEVATION