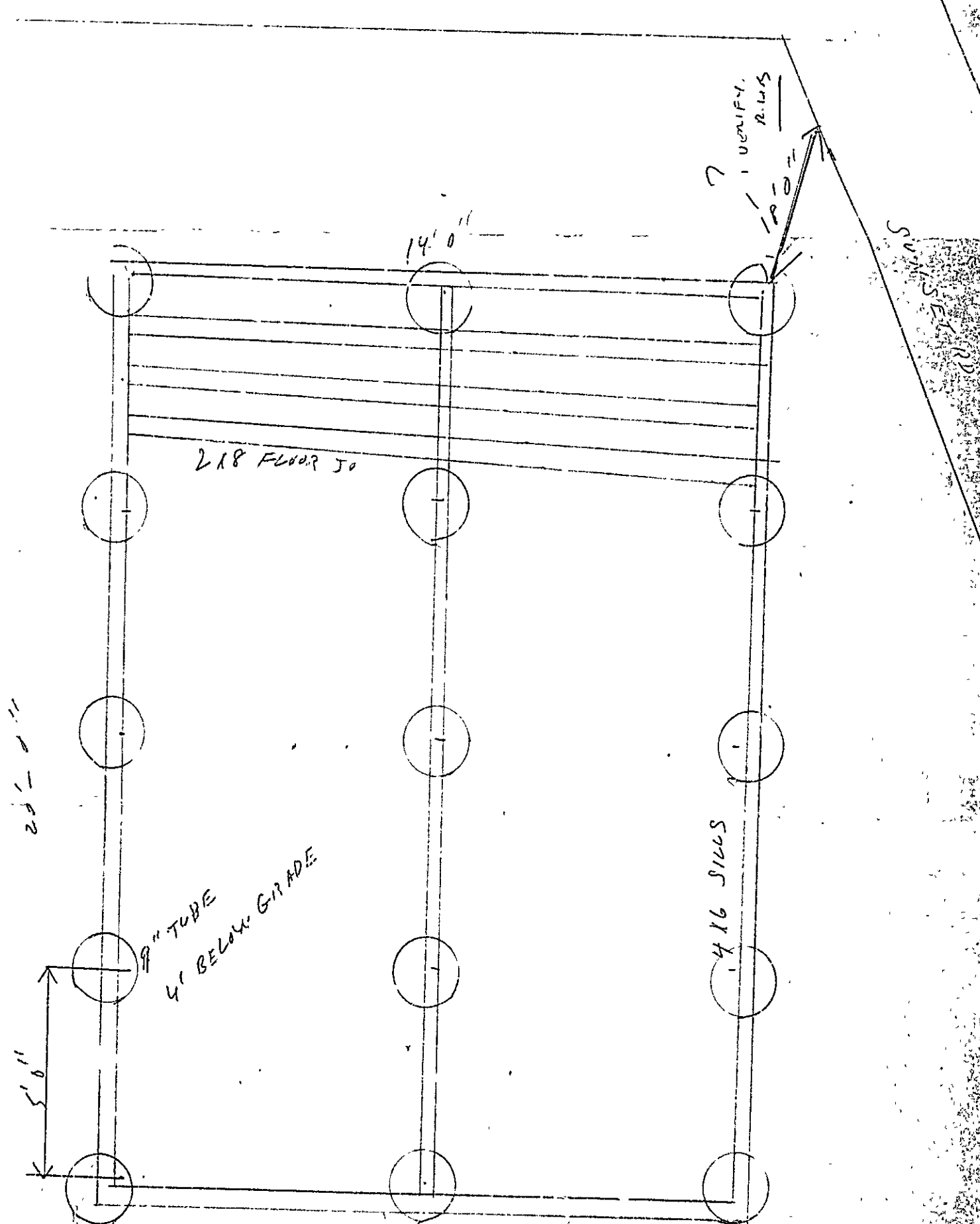


ISLAND AVENUE
90-11-12

PEAKS ISLAND

ISLAND 111



- 2x4 = STUDS 18" Center
- 2x8 = FLOOR PLANKS
- 2x4 = RAFTERS 16" Center
- 4x8 = DOOR HEADER



R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, July 9, 1970

PERMIT ISSUED

787
JUL 13 1970

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Ave., Peaks Island (90-0-12) Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Lewis Watson, Peaks Island Telephone 766-2246
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Charles Franco, Peaks Island Telephone 766-4403
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building 1 car garage No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot Dwelling
 Estimated cost \$ 1400. Fee \$ 6.00

General Description of New Work

To construct 1-car frame garage 14'x20'

9' opening - 4x3 header
¾ gable end

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Franco

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate 8' Height average grade to highest point of roof 14'
 Size, front 14' depth 20' No. stories 1 solid or filled land? solid earth or rock? earth
 Material of foundation concrete piers Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof pitch Rise per foot 6" Roof covering asphalt roofing Class C Und. Lab.
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber--Kind hemlock Dressed or full size? dressed
 Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-24" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2x6 t. & g. 2nd _____ 3rd _____, roof 2x4
 On centers: 1st floor 2x8 joists 2nd _____ 3rd _____, roof 16"
 Maximum span: 1st floor 16' 2nd _____ 3rd _____, roof 7'
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot 0, to be accommodated 1 number commercial cars to be accommodated 0
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Lewis Watson

APPROVED:

Ernie A. Ellet 7/13/70
B. Code OK ELL
7/14/70

INSPECTION COPY

Signature of owner

By:

Charles J. Franco

Permit No. 90/797

Location Island Ave, Peabody

Owner Lewis Watson

Date of permit 7/13/70

Notif. closing-in _____

Inspn. closing-in _____

Final Notif. _____

Final Inspn. _____

Cert. of Occupancy issued _____

NOTES

8-14-70 Western frontage of

bin OK - should be 20'

right of way West of bin

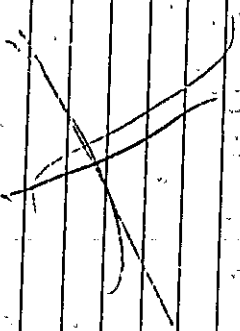
Plan of Watson's house

same 10

9-22-70 Sanatages in AD

6-6-71 Unexcavated AD

AD



AP - Island Ave., Peaks Island

August 11, 1967

Mr. Charles Franco
Winding Way
Peaks Island, Maine

cc: Lewis Watson
Island Ave.
Peaks Island, Maine

Dear Mr. Franco:

Permit to change use of building at the above named location from a 2-car garage to a one-family summer cottage is being issued subject to plans submitted with application and further Building Code compliance as follows:

The 2x4 common rafters spaced 18" on centers will need to be strengthened. A 2x6 will need to be added and secured to all existing common rafters.

Very truly yours,

Archie L. Seokins
Deputy Director

ALS/h

CITY OF PORTLAND, MAINE
DEPARTMENT of BUILDING INSPECTION
NOTICE RELATING TO SEWAGE DISPOSAL

x means copy sent to the parties (date) AUG 11 1967
Location Island Ave, Beach Island Description Lot 90-D-12
Owner and Address Lewis Watson
Contractor and Address Island Ave., Beach Island
Architect or Engineer and Address _____
Actual Area of Lot 731 Sq. Ft. Zone R-3
Area required by Zoning Ord. if sewer were available 6500

Where septic tank systems are required for sewage disposal, the Zoning Ordinance provides that the least allowable area of the lot shall be determined by the rate of percolation of the soil, this being the capacity of the soil to allow liquids to pass through as determined by tests. The Building Code directs that, where a septic tank is to be used, a building permit shall not be issued unless the proposed method of sewage disposal has been approved by the Director of Health.

Since application for the above permit indicates that connection to a sewer is not possible, it is necessary for the owner or his agent to file a site plan with the Health Department, to explain the method of sewage disposal proposed, and to make arrangements for a percolation test to be made under supervision of that department.

After the rate of percolation has been determined, the Director of Health will notify this department of the area of lot required on the basis of the results of the test. If the lot area required by the tests is equal to or less than the actual area of the lot and not less than the minimum lot area required in the zone in which the property is located for cases where connection to a sewer is available, the building permit can be issued; otherwise the permit cannot be issued unless authorization is secured from the Board of Appeals.

Gerald E. Mayberry
Director of Building Inspection

2 copies to Health Director

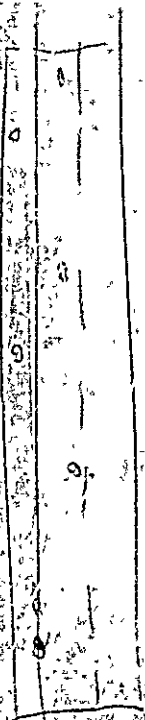
(This space for Health Department use)

Inspector of Buildings

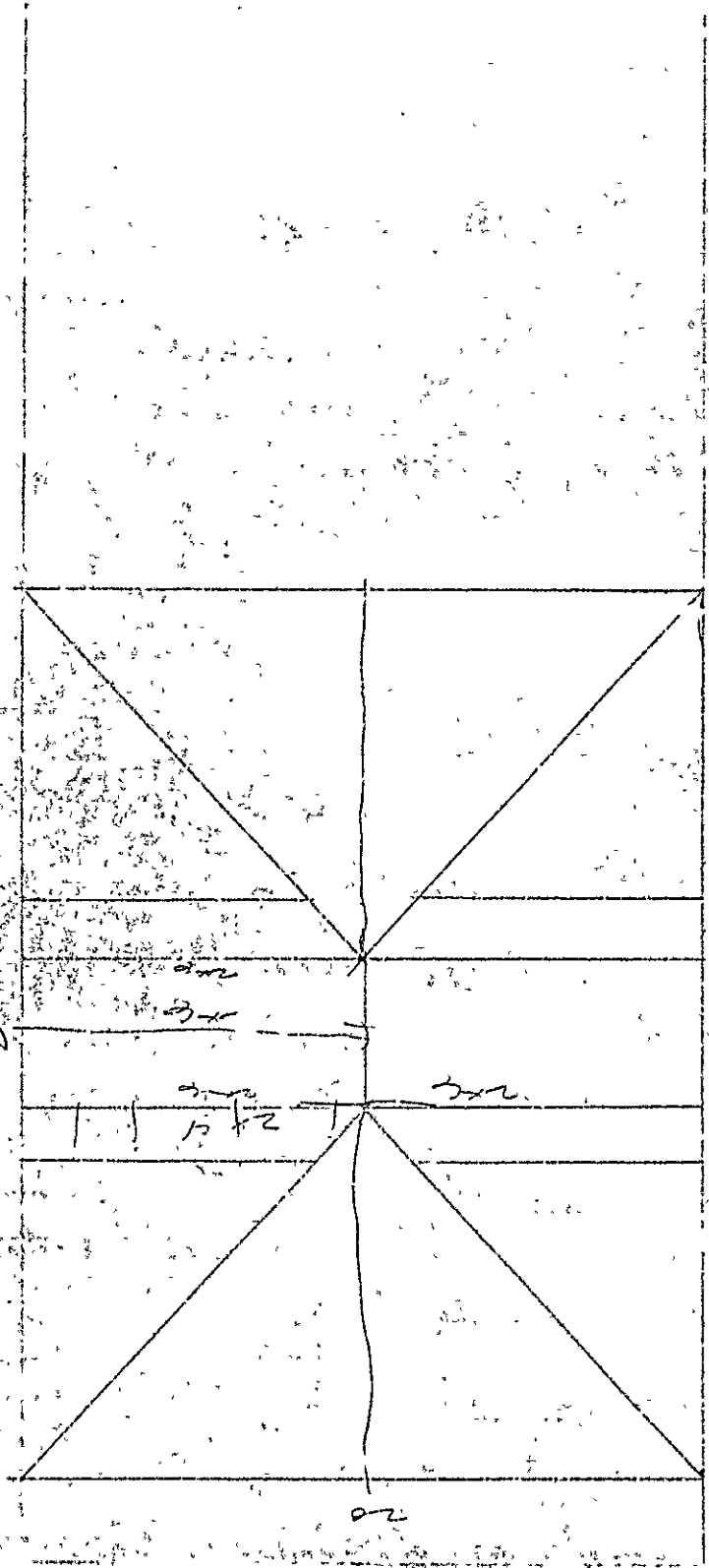
Rate of Percolation is 2 minutes. On this basis area required by Zoning Ordinance is 7800 sq. feet.

Comments in event zoning appeal is filed: _____

Ernest J. ...
ERNOLD R. BUDWIN
SHILE PLUMBING INSPECTOR



2.4



AP -- Island Ave., Peaks Island
90-12

July 31, 1967

Mr. Charles Franco
Winding Way
Peaks Island, Maine

cc: Lewis Watson
Island Avenue
Peaks Island

Dear Mr. Franco:

Permit to change use of building from a 2-car frame garage to a summer cottage at the above named location is not issuable at this time for the following reasons:

1. A percolation test will need to be made, by a qualified person, and the results given to this department.
2. We will need to know how the roof is framed as well as the size and spacing of the rafters.

With this information at hand we may further process this application.

Very truly yours,

Archib L. Seekins
Deputy Director

ALS/h



R3 RESIDENCE ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
00744
AUG 11 1967
CITY of PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, July 24, 1967

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Ave., Peaks Island (90-5-12) Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Lewis Watson, Island Ave., Peaks Island Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Charles Franco, Winding Way, Peaks Island Telephone 766-4403
 Architect _____ Specifications _____ Plans yes No. of sheets 2
 Proposed use of building 1 fam. cottage No. families 1
 Last use 2-car garage No. families _____
 Material frame No. stories 1 Heat _____ Style of roof pitch Roofing asphalt
 Other buildings on same lot _____
 Estimated cost \$ 5300. Fee \$ 12.00

General Description of New Work

To change use from 2-car frame garage to 1-fam. summer cottage, as per plan

It is understood that this permit does not include installation of heating apparatus which is to be taken up separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind _____; Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Lewis Watson
 Charles Franco

Signature of owner By: _____

Charles Franco

Mac

Permit No. 671 744

Location Island one, Beakwood

Owner Louisa Watson

Date of permit 8/11/67

Notif. closing-in _____

Inspn. closing-in _____

Final Notif. _____

Final Inspn. _____

Cert. of Occupancy issued _____

Staking Out Notice _____

Form Check Notice _____

NOTES

9-15-67 Started little
down. Posted up c.k.
water line going in
10-22-68 Completed. ~~RD~~

Date Issued 10/23/67

Portland Plumbing Inspector
By ERNOLD R GOODWIN

App. Just Insd.
Date 10/13/67
By ERNOLD R. GOODWIN

Date 10/13/67
By ERNOLD R. GOODWIN
CHIEF PLUMBING INSPECTOR
Type of Bldg.

- Commercial
- Residential
- Single
- Multi Family
- New Construction
- Remodeling

PERMIT TO INSTALL PLUMBING

90-D-12 11/21/67

Address Valued Avenue, Peake Island
 Installation For: Dwelling
 Owner of Bldg.: Leola Katon
 Owner's Address: Peake Island
 Plumber: Richard R. White
 PERMIT NUMBER 177710

NEW	REPT.		Date: 10/13/67	
			NO.	FEE
1		SINKS		
1		LAVATORIES	1	2.00
1		TOILETS	1	2.00
1		BATH TUBS	1	2.00
		SHOWERS	1	2.00
		DRAINS FLOOR SURFACE		
1		HOT WATER TANKS		
		TANKLESS WATER HEATERS	1	2.00
1		GARBAGE DISPOSALS		
		SEPTIC TANKS		
		HOUSE SEWERS	1	2.00
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
1		LABOR TAX	1	.60
			TOTAL	12.60

Building and Inspection Services Dept; Plumbing Inspection

CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

90-D-12

Permit No. 52367

Issued 11/20/67

Portland, Maine Nov 20, 1967

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out — Minimum Fee, \$1.00)

Owner's Name and Address Law Wilson Tel.

Contractor's Name and Address Raymond Bagell Tel.

Location Beak Island Use of Building Home

Number of Families . . . Apartments . . . Stores . . . Number of Stories

Description of Wiring: New Work Additions . . . Alterations . . .

Pipe . . . Cable . . . Metal Molding . . . BX Cable . . . Plug Molding (No. of feet)

No. Light Outlets . . . Plugs . . . Light Circuits . . . Plug Circuits

FIXTURES: No. . . . Light Switches . . . Fluor. or Strip Lighting (No. feet)

SERVICE: Pipe . . . Cable Underground . . . No. of Wires 3 Size 3/4"

METERS: Relocated . . . Added . . . Total No. Meters

MOTORS: Number . . . Phase . . . H. P. . . Amps . . . Volts . . . Starter . . .

HEATING UNITS: Domestic (Oil) . . . No. Motors . . . Phase . . . H.P.

Commercial (Oil) . . . No. Motors . . . Phase . . . H.P.

Electric Heat (No of Rooms) . . .

APPLIANCES: No. Ranges . . . Watts . . . Brand Feeds (Size and No.) . . .

Elec. Heaters . . . Watts . . .

Miscellaneous . . . Watts . . . Extra Cabinets or Panels . . .

Transformers . . . Air Conditioners (No. Units) . . . Signs (No. Units) . . .

Will commence . . . 19. . . Ready to cover in . . . 19. . . Inspection . . . 19. . .

Amount of Fee \$ 2.00

Signed Raymond Bagell

DO NOT WRITE BELOW THIS LINE

SERVICE METER GROUND

VISITS: 1 2 3 4 5 6

7 8 9 10 11 12

REMARKS:

INSPECTED BY J.W. Herbert
Davis (OVER)

Peaks Island
 Island Av.
 LOCATION
 INSPECTION DATE 11/27/67
 WORK COMPLETED 11/27/67
 TOTAL NO. INSPECTIONS 1
 REMARKS:

FEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING

1 to 30 Outlets
 31 to 60 Outlets
 Over 60 Outlets, each Outlet
 (Each twelve feet or fraction thereof of any type of plug molding will be classed as one outlet)

(including switches)
 (including switches)

\$ 2.00

3.00

.05

SERVICES

Single Phase
 Three Phase

MOTORS

Not exceeding 50 H.P.
 Over 50 H.P.

2.00
 4.00

HEATING UNITS

Domestic (Oil)
 Commercial (Oil)
 Electric Heat (Each Room)

3.00
 4.00

APPLIANCES

Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Dishwashers, etc. — Each Unit

2.00
 4.00
 .75

TEMPORARY WORK (Limited to 6 months from date of permit)

Service, Single Phase
 Service, Three Phase
 Wiring, 1-50 Outlets

1.50

Wiring, each additional outlet over 50
 Circuses, Carnivals, Fairs, etc

1.00
 2.00

MISCELLANEOUS

Distribution Cabinet or Panel, per unit
 Transformers per unit

1.00
 2.00
 1.00
 .492
 10.00

11-6-12
AP - Island Ave., Peaks Island

August 11, 1967

Mr. Charles Franco
Winding Way
Peaks Island, Maine

cc: Lewis Watson
Island Ave.
Peaks Island, Maine

Dear Mr. Franco:

Permit to change use of building at the above named location from a 2-car garage to a one-family summer cottage is being issued subject to plans submitted with application and further Building Code compliance as follows:

The 2x4 common rafters spaced 18" on centers will need to be strengthened. A 2x6 will need to be added and secured to all existing common rafters.

Very truly yours,

Archie L. Seekins
Deputy Director

ALS/h

40-D-12
AP - Island Ave., Peaks Island

July 31, 1967

Mr. Charles Franco
Winding Way
Peaks Island, Maine

cc: Lewis Watson
Island Avenue
Peaks Island

Dear Mr. Franco:

Permit to change use of building from a 2-car frame garage to a summer cottage at the above named location is not issuable at this time for the following reasons:

1. A percolation test will need to be made, by a qualified person, and the results given to this department.
2. We will need to know how the roof is framed as well as the size and spacing of the rafters.

With this information at hand we may further process this application.

Very truly yours,

Archie L. Seskins
Deputy Director

ALS/h

ES
ms
A.4c
LW

18. 9/17
Justified
8/11/47 4/1/48
90-D-12
City of Portland, Maine
Board of Appeals
—ZONING—

August 11, 1947

To the Board of Appeals:

Your appellant, David Stott, who is the owner of property at Island Avenue, Peaks Island, respectfully petitions the Board of Appeals of the City of Portland to permit an exception to the regulations of the Zoning Ordinance relating to this property, as provided by Section 17, Paragraph E of the Zoning Ordinance,

Building permit to cover construction of cottage and attached garage on Island Avenue, Peaks Island, next to Trefethen Landing is not issuable under the Zoning Ordinance in the Apartment House Zone where the property is located because the exterior wall of the cottage is proposed closer to the street line of Island Avenue than the front wall of the year-round dwelling existing on the next adjoining lot toward Trefethen Landing, contrary to Section 15J of the Zoning Ordinance, the street line being the line between private property and the public street right-of-way. The facts and conditions which make this exception legally permissible are as follows:—

An exception is necessary in this case to avoid practical difficulty and unnecessary hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

David B. Stott
Appellant

47/48

City of Portland, Maine
Board of Appeals

—ZONING—

Decision

Public hearing was held on the 15th day of August, 1947,
on petition of David Stott, owner of property at
Island Avenue, Peaks Island, seeking to be permitted an exception to the regulations of
the Zoning Ordinance relating to this property.

Building permit to cover construction of cottage and attached garage on
Island Avenue, Peaks Island next to Trefethen Landing is not issuable
under the Zoning Ordinance in the Apartment House Zone where the
property is located because the exterior wall of the cottage is proposed
closer to the street line of Island Avenue than the front wall of the
year-round dwelling existing on the next adjoining lot toward Trefethen
Landing, contrary to Section 15J of the Zoning Ordinance, the street line
being the line between private property and the public street right-of-way.

The Board finds that an exception is necessary in this case so as to
avoid unnecessary hardship and practical difficulty and can be granted
without substantially departing from the intent and purpose of the
Zoning Ordinance.

It is, therefore, determined that exception to the Zoning Ordinance may be permitted
in this specific case.

Edmund Colley
Robert Gilman
Helen C. Frost
J. B. Wilkins
W. J. Sturges

Board of Appeals

47/48

August 18, 1947

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF DAVID STOTT
AT Island Avenue, Peaks Island

Public hearing on above
appeal was held before
the BOARD OF APPEALS
today.

Present for City

Board of Zoning Appeals members:-

- Edw. T. Colley
- Helen C. Frost
- Robert L. Getchell
- B. William Holbrook
- N. F. Jensen

VOTE

	Yes	No
Mr. Colley	(x)	()
Mrs. Frost	(x)	()
Mr. Getchell	(x)	()
Mr. Holbrook	(x)	()
N.F. Jensen	(x)	()
	()	()
	()	()
	()	()

Municipal Officers:-

City officials:-

No opposition

PLEASANT AVE

MCINTYRE

HONAN

24
PROPOSED
HOUSE

STOTT

HAMILTON

GRASS GROUND

PAVEMENT

STOCK

STREET LINE

30.0"

42.0"

24.7"

15.6"

23.5"

24.7"

108.10"

22.0"

46.5"

7/12

47/48
CITY OF PORTLAND, MAINE
BOARD OF APPEALS

August 12, 1947

Mr. David Stott
Island Avenue
Peaks Island
Portland, Maine

Dear Mr. Stott:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, August 15, 1947 at ten-thirty o'clock in the forenoon concerning your appeal under the Zoning Ordinance relating to construction of cottage and attached garage on Island Avenue, Peaks Island.

Please be present or be represented at this hearing in support of your appeal.

BOARD OF APPEALS

Edward T. Colley

Chairman

4-7/48

CITY OF PORTLAND, MAINE

BOARD OF APPEALS

August 12, 1947

Vera L. Anderson
5 Willow Street
South Portland, Maine

Dear Madam:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, August 15, 1947 at ten-thirty o'clock in the forenoon relating to the appeal under the Zoning Ordinance of Mr. David Stott concerning construction of cottage and attached garage on Island Avenue Peaks Island next to Trefethen Landing.

This permit under the Zoning Ordinance is not issuable in the Apartment House Zone where the property is located because the exterior wall of the cottage is proposed closer to the street line of Island Avenue than the front wall of the year-round dwelling existing on the next adjoining lot toward Trefethen Landing, contrary to Section 15J of the Zoning Ordinance, the street line being the line between private property and the public street right-of-way.

If you wish to be heard in connection with this appeal, please be present or be represented at that time.

Very truly yours,

BOARD OF APPEALS

Edward T. Colley

Chairman

47/48

On reply refer
to File AP Island Ave., Peaks Island
City OF PORTLAND, MAINE
(David Stott, Trefethen Landing) Department of Building Inspection

FU

August 11, 1947

Mr. David Stott
Island Avenue
Peaks Island, Maine

Subject: Application for building permit to cover construction of cottage and attached garage for David Stott, on Island Ave., Peaks Island, next to Trefethen Landing; and zoning appeal relating thereto

Dear Sir:

Permit for the above work is not issuable under the Zoning Ordinance in the Apartment House Zone where the property is located because the exterior wall of the cottage is proposed closer to the street line of Island Avenue than the front wall of the year-round dwelling existing on the next adjoining lot toward Trefethen Landing, contrary to Section 15J of the Zoning Ordinance-- the street line being the line between private property and the public street right-of-way.

You have indicated your desire to seek an exception to this requirement claiming that its enforcement would involve practical difficulty or unnecessary hardship and that desirable relief may be granted without substantially departing from the intent and purpose of the ordinance. Accordingly there is enclosed an outline of the appeal procedure.

Very truly yours,

WARREN McDONALD

Inspector of Buildings

WMO/D/S

Enclosure: Outline of appeal procedure

CC: Mr. Roland Hoar
Pleasant Avenue
Peaks Island, Maine

Edward T. Gignoux
Assistant Corporation Counsel

C
O
P
Y