ISLAND AVENUE
87-Z-20
PEAKS ISLAND

INSTALL PLUMBING Peaks Island 2004

PERMIT TO INSTALL PLUMBING

Date Issued 12-21-79

Portland Plumbing Inspector

By ERNOLD R GOODWIN

App. First Insp.

Date

By

App. Final Insp.

Date

By

APR 13 1980

Type of Bldg.

- ☐ Commercial
- ☐ Residential
- ☐ Single
- ☐ Multi Family
- ☐ New Construction
- ☐ Remodeling

Address Lot No. 87-E-20 Island Ave. Peaks Is.

Installation For single fam.

Owner of Bldg John Young

Owner's Address Island Ave., Peaks Island, Me. 04108

Plumber: Jackson & Casey-Island Ave. Peaks Is., Me. 04108

PERMIT NUMBER 20018

DATE 12-21-79

NEW	REPL.			
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS FLOOR SURFACE		
	x	HOT WATER TANKS		
		TANKLESS WATER HEATERS	1	2.00
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
		Base Fee		3.00
			TOTAL	5.00

Building and Inspection Services Dept.: Plumbing Inspection

PERMIT TO INSTALL PLUMBING

Peaks Island

PERMIT NUMBER 2004

Address Lot 87-Z-20 Isl. Ave.

Installation For: one family

Owner of Bldg John Young

Owner's Address same

Plumber Jackson & Casey-Pks Isl.

Date 12-14-79

NEW	REPL		NO.	FEE
	xx	SINKS	4	8.00
		LAVATORIES	1	2.00
		TOILETS	1	2.00
		BATH TUBS	1	2.00
		SHOWERS		
		DRAINS FLOOR SURFACE		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS	3	6.00
		OTHER waste drains		3.00
		base fee		
			TOTAL	23.00

Date Issued 12-14-79

Portland Plumbing Inspector

By ERNOLD R. GOODWIN

App. First Insp.

Date

By

App. Final Insp.

Date

By

ERNOLD R. GOODWIN
CHIEF PLUMBING INSPECTOR
APR 13 1980

Type of Bldg.

- ☐ Commercial
- ☒ Residential
- ☐ Single
- ☐ Multi Family
- ☐ New Construction
- ☐ Remodeling

Building and Inspection Services Dept.: Plumbing Inspection

APPLICATION FOR PERMIT

DEPARTMENT OF BUILDING INSPECTIONS SERVICES

ELECTRICAL INSTALLATIONS

Date Nov. 14, 19 79
Receipt and Permit number A 34966

To the CHIEF ELECTRICAL INSPECTOR, *Portland, Maine:*

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 87-Z-20 Ave. [redacted], Peaks Island, Me.

OWNER'S NAME: Island Avenue [redacted] ADDRESS: lives there
Thomas Young

	FEES
OUTLETS:	
Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL 31-60	5.00
FIXTURES: (number of)	
Incandescent x Flourescent _____ (not strip) TOTAL 1-10	3.00
Strip Flourescent _____ ft.	
SERVICES:	
Overhead x Underground _____ Temporary _____ TOTAL amperes 200	3.00
METERS: (number of) 1	.50
MOTORS: (number of)	
Fractional _____	
1 HP or over _____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) _____	
Electric (number of rooms) 10	10.00
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) _____	
Oil or Gas (by separate units) _____	
Electric Under 20 kws _____ Over 20 kws _____	
APPLIANCES: (number of)	
Ranges _____ Water Heaters _____	
Cook Tops _____ Disposals _____	
Wall Ovens _____ Dishwashers _____	
Dryers _____ Compactors _____	
Fans xx Others (denote) _____	
TOTAL 2	3.00
MISCELLANEOUS (number of)	
Branch Panels 1	1.00
Transformers _____	
Air Conditioners Central Unit _____	
Separate Units (windows) _____	
Signs 20 sq. ft. and under _____	
Over 20 sq. ft. _____	
Swimming Pools Above Ground _____	
In Ground _____	
Fire/Burglar Alarms Residential _____	
Commercial _____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	
over 30 amps _____	
Circus, Fairs, etc. _____	
Alterations to wires _____	
Repairs after fire _____	
Emergency Lights, battery _____	
Emergency Generators _____	
INSTALLATION FEE DUE:	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... DOUBLE FEE DUE	
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	
TOTAL AMOUNT DUE:	25.50

INSPECTION:
Will be ready on ready, 19__; or Will Call _____

CONTRACTOR'S NAME: John Perry
ADDRESS: 93 Neal Street
TEL.: 773-5824
MASTER LICENSE NO.: 3695 SIGNATURE OF CONTRACTOR:
LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE
OFFICE COPY — CANARY
CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS

Permit Numb 34966 Issued Peter Island

Location 47-Z-20 Ave Peter Island

Owner T. Young

Date of Permit 11-14-79

Final Inspection 5-28-80

By Inspector [illegible]

Permit Application Register Page No. 42

INSPECTIONS: Service _____ by _____

Service called in Done

Closing-in _____ by _____

PROGRESS INSPECTIONS: 5-13-80, _____ / _____

5-28-80, _____ / _____

_____ / _____ / _____

_____ / _____ / _____

_____ / _____ / _____

_____ / _____ / _____

CODE COMPLIANCE COMPLETED

DATE 5-28-80

DATE:	REMARKS:

(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, May 10, 1952

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to change use *the following building* ~~structure~~ *in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:*

Location Island Avenue, Peaks Island 87-Z-20 Within Fire Limits? no Dist. No.

Owner's name and address Henry S. Hoar, Island Avenue, Peaks Island Telephone

Prospective buyer

Lessee's name and address (Grange) Dr. Harold F. Norris, Harman Ave., Peaks Is Telephone

Contractor's name and address Telephone

Architect Specifications Plans yes No. of sheets 6

Proposed use of building Club & Lodge building No. families

Last use Hotel No. families

Material wood No. stories 2 Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $

Fee $ .50

General Description of New Work

To change former hotel to club and lodge building. No alterations.

Phone in G. Ho. Mrs Norris says not to go ahead with this under no circ. we hear more from the Grange.
MWG
9/2/52

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** Dr. Harold F. Norris

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Henry S. Hoar

Signature of owner by: Albert L. Goff

Permit No. 57

Location [illegible]

Owner [illegible]

Date of permit [illegible] 52

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

LOCATION Pelee Island.

DATE 5/22/52

PERMIT Change of use —

INQUIRY

COMPLAINT

Violations to Bldg. Code pertaining to change of use of Summer home built to a club house.

1. Dining Room and Lounge Exit door from sewing room acting as means of egress from Dining Room, serving in and is only a 32" door.

2. Must be a means of egress at rear of Dining Room.

3. Exit sign above door going through sewing Room is condemned.

4. Get fire extinguisher — Kennel Island Club, has red hose for engine.

5. Flow tests not figured for 100 g.p.m.

City of Portland
Bldg. Department

Peaks Isl. Me.
May 9 1952

Dear Mr McDonald,

I have given the Peaks Island Lodge my consent to apply for permit, to change the use of Crowne House Hotel to club & Lodge Building.

Henry L. Hoar

File in g.b.

INQUIRY BLANK

ZONE _____

FIRE DIST. no

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Date 5/8/52

Verbal by letter.
~~By Telephone~~

LOCATION Island Ave. (Peaks Isl.) OWNER Sp. and Home

MADE BY Dr. Harris Finnie TEL. _____

ADDRESS Hermanson, Peaks Island

PRESENT USE OF BUILDING Hotel (Summer)

CLASS OF CONSTRUCTION 3-2-P NO. OF STORIES _____

REMARKS: Mrs. Norris Coleman of Bold Coast and wants to do a more on this index we heard more from the Grange — (WMX) 9/2/52

INQUIRY: Can business be established from summer hotel use of this building regular basis and what?

ANSWER: See letter to Dr. Harris.

DATE OF REPLY _____ REPLY BY _____

BI 76

Inquiry Avenue House
Long Island

May 8, 1952

Dr. Harold F. Norris,
Herman Avenue,
Peaks Island, Maine

Dear Dr. Norris:

When Mr. Cleland inquired about possible change of use of the Avenue House on Island Avenue, Peaks Island to Club and Lodge use (as defined by the Building Code) for the Grange at Peaks Island, I explained to him that quicker action would be received on the matter in this department if the building permit were actually filed in the name of the present owner and of course with his consent. The matter would then be checked over as a regular application for a building permit, and if there were anything wrong in a major way and the Grange do not buy the building, the modest fee would have to be refunded.

Your letter with accompanying sketches, filed today, does not represent an application for a building permit, but merely an inquiry.

Because of the small size of our force, trained to make such investigations, when an inquiry comes in like yours a long delay is likely to ensue before the matter can be examined thoroughly and an answer given. This is caused by the fact that our matter of first importance is to receive application for and issue building permits as fast as possible and thus cause as little delay as possible with the building industry generally. Since we are usually quite far behind, even in this matter of examining and issuing building permits, I know you will understand the reason for delay in handling inquiries which may or may not go ahead.

If I understand your proposition now there would be no physical alterations in the building, so that if you wish to file the application for the permit in Mr. Hoar's name and with his consent, that may be done and we will try to assign it a place in the order of assigning permits which would be fair to you and to the other persons we are trying to serve. If there are no alterations your application could read "To Change the Use of former Hotel to Club and Lodge Building."

Very truly yours,

Inspector of Buildings

WMcD/H

May 7, 1952

Mr McDonald

Dear Sir,

Forest City Grange

has a chance to buy the Avenue House on Peaks Island now being used as a Hotel. We understand that in order to use it as a Grange Hall we would need a building permit.

You suggested to Mr. Cleland that we send you plans of the rooms which we would use. Am enclosing plans with this request for a permit.

Time is very important to us and we would appreciate it very much if you would arrange a meeting with our building committee if you see fit to permit us to use the building as a Grange Hall

Respectfully

Bessie Norris (Mrs Harold) Norris
Chairman of B.C.
Herman Ave
Peaks Island

Tel. 62607

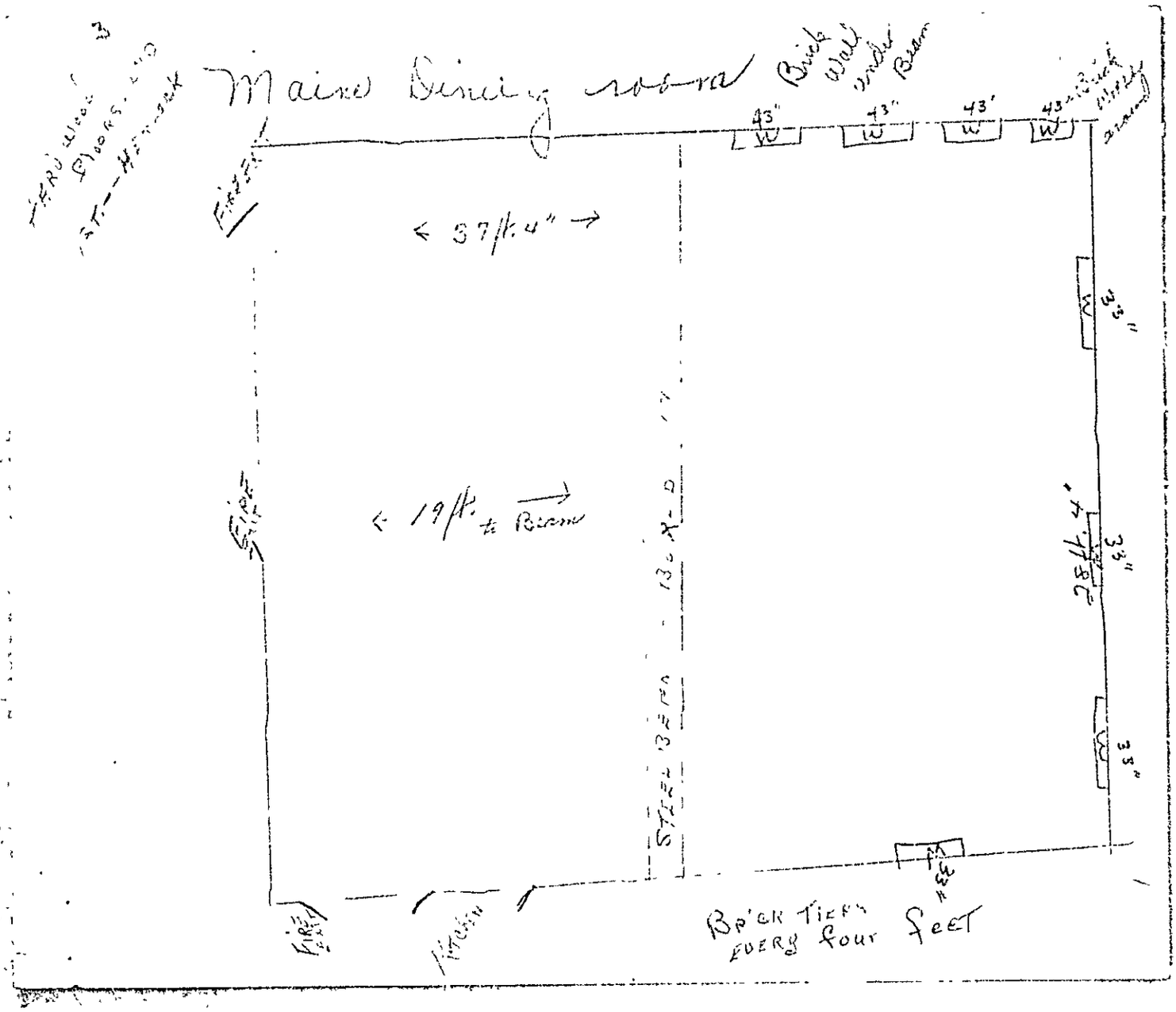
Charley Sanborn made
Blue Prints of main floor
for Mr. Henry Hoar and prints
should be in City Bldg.

Boiler room or heating plant by itself not under any room we will use cement wall between boiler room & basement room.

Every room is wired for fire alarm system and lines in Bldg. plus hung auto. bell at fire Barn.

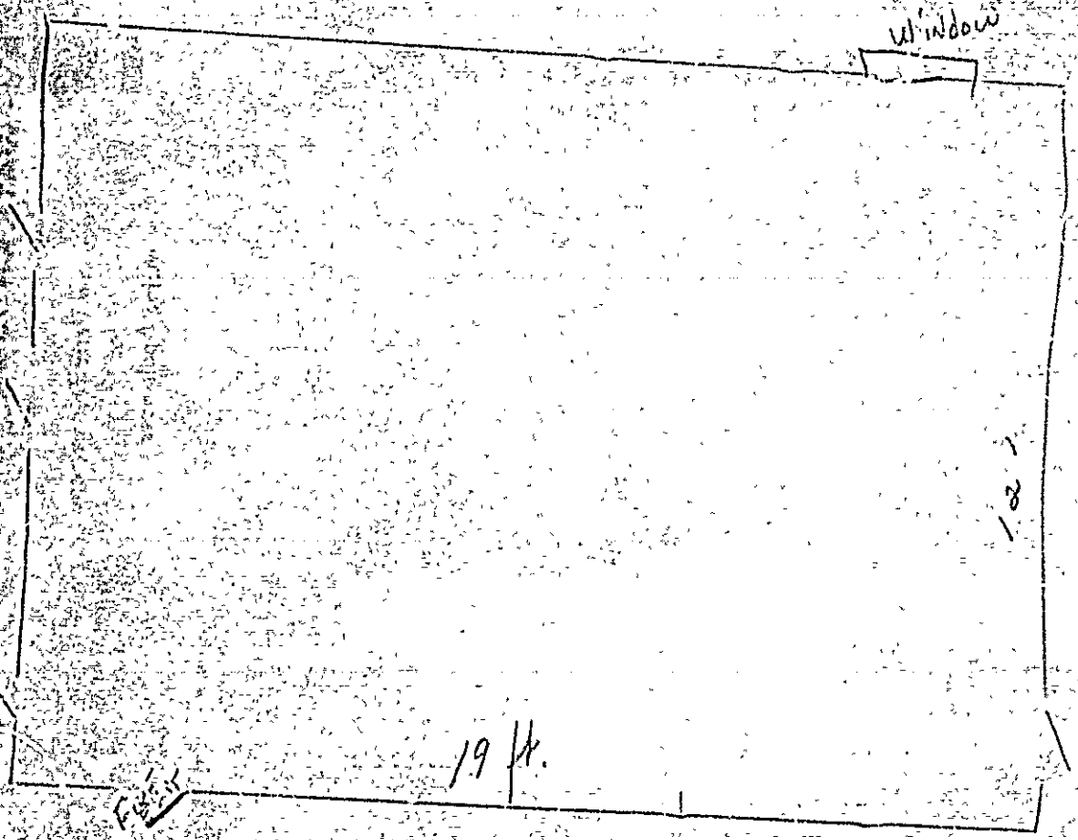
We will not use sprinklers of twenty heads but will close same off. Only rooms that are used are those that are presented in these drawings which you can study from green original blue prints.

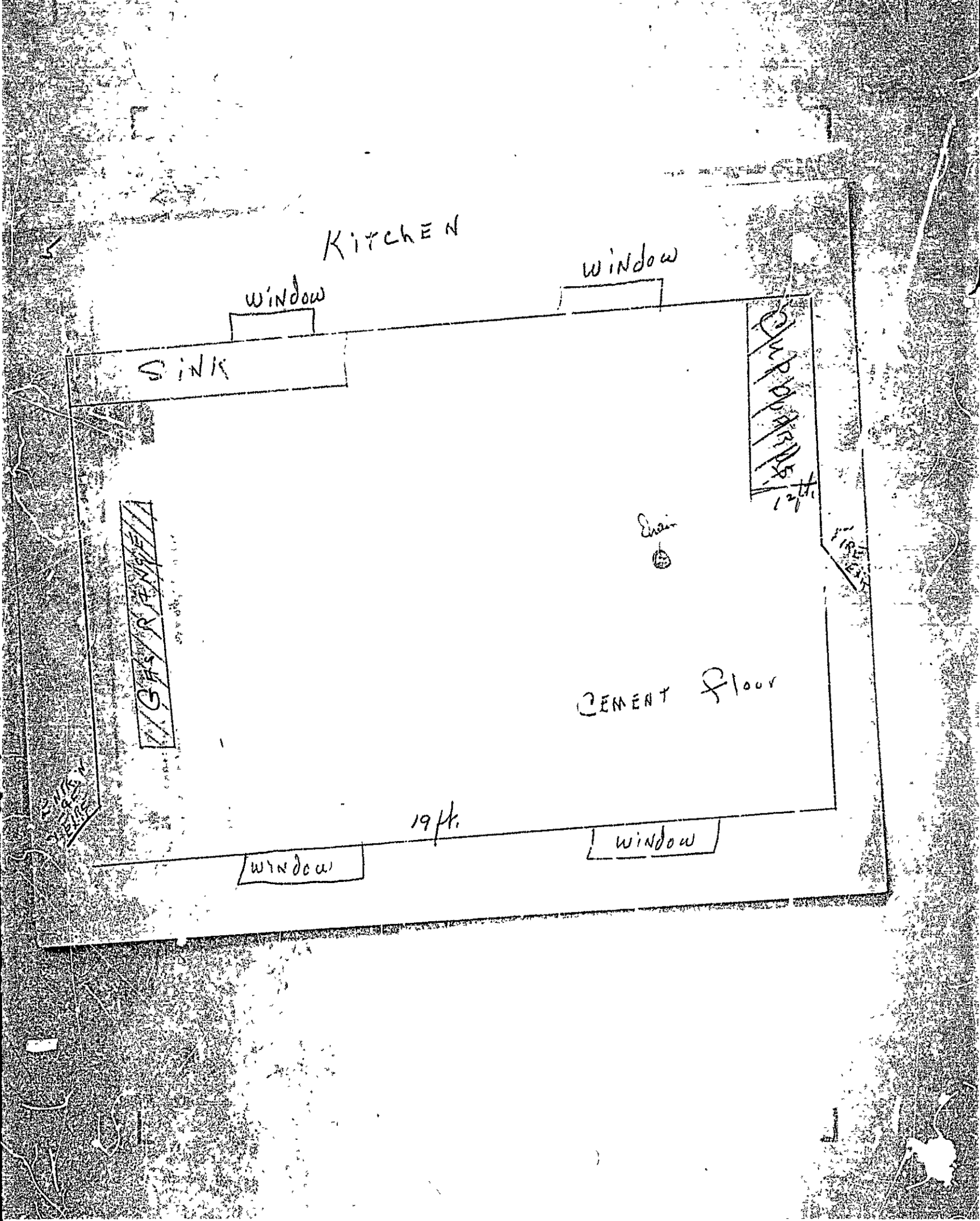
Rooms also above basement will not be used.


Maine Dining room
Brick Wall under Beam
43"
43"
43"
43"
Brick Wall
FIREX
< 37ft. 4" >
33"
33"
33"
< 19ft. to Beam
STEEL BEAM
FIRE EXIT
FIRE EXIT
Brick Ties every four feet

4

Room off KITCHEN

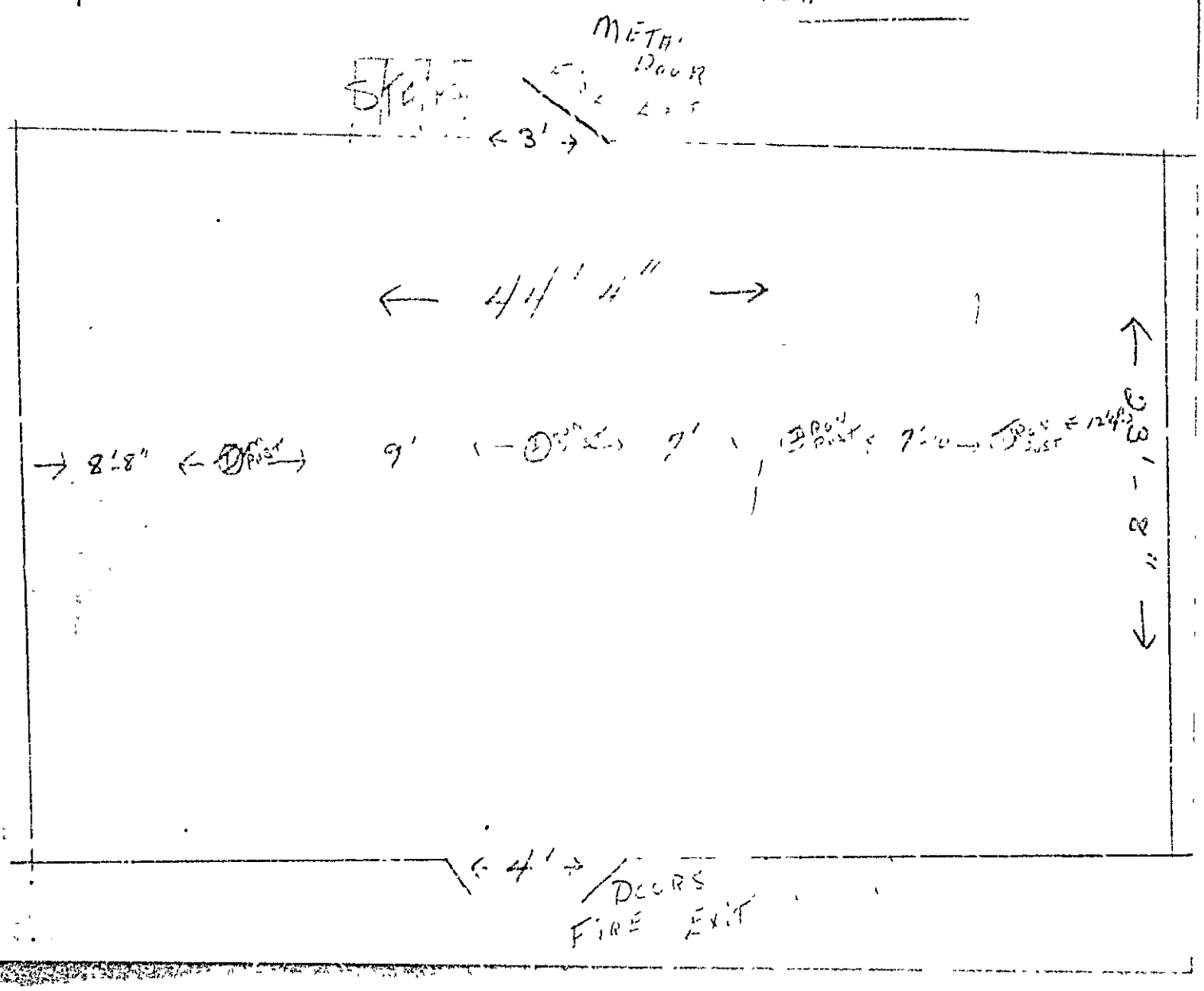


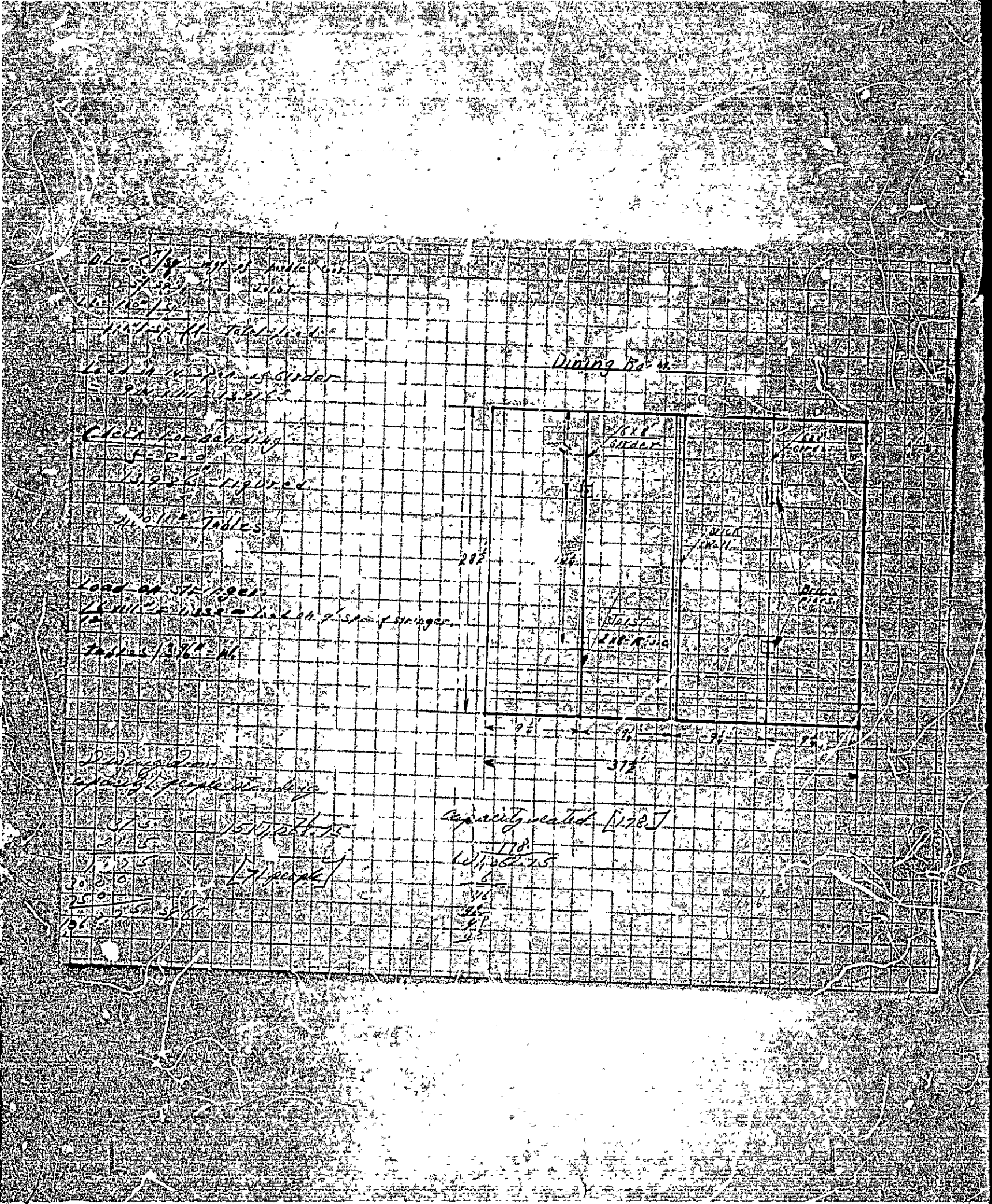

Kitchen
window
window
Sink
Cupboards
12ft.
Door
Fridge
Gas range
Cement floor
Sink & Stove
19ft.
window
window

6
ENTRANCE TO
DINEING ROOM
FIRE EXIT
FIRE EXIT
OFFICE
FIRE ALARM SYSTEM HERE
5'
LADIES ROOM
MENS ROOM
20 FT.
14'-10"
7'
3½'
STAIR WELL TO BASEMENT
STAIR WELL TO BASEMENT

7

BASEMENT.




Dining Room
16x8
Girder
Joist
Brick
Piers
28½
Joist
Brick
Piers
9½
9½
9½
9½
37½
Capacity seated [128]
118
Tables
[7 people]

Henry Hart
Robert Todd
Hamilton
Constitution
Rob Roy & Chief Justice

Zonia
Montezuma — 5 L

9 Means of egress.

a. Attach the new skiff
b. Attach to living room.
c. Get from service room in my office and change
[illegible] take one gift boat [illegible] under. 5 [illegible]
c. Get off lifeboat & [illegible] and [illegible] out.

d. A cardboard [illegible] [illegible] [illegible] [illegible]
[illegible] [illegible]

e. [illegible] [illegible] [illegible] [illegible] [illegible]
[illegible]

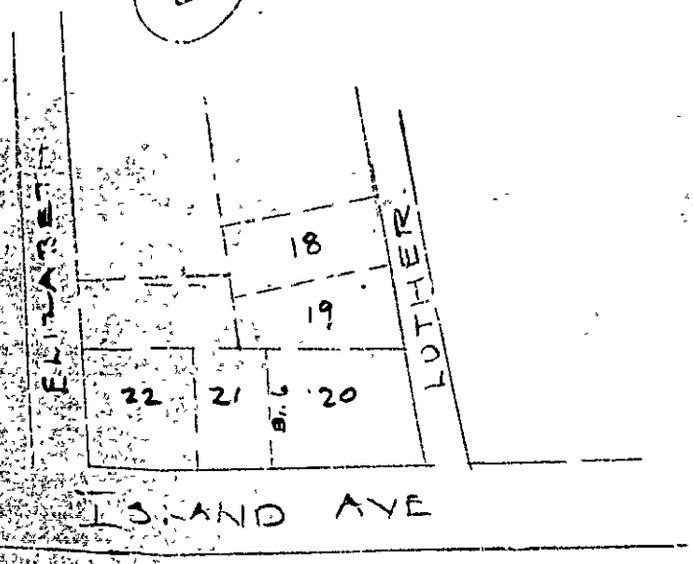
f. Get light at [illegible] from [illegible] [illegible] [illegible]
[illegible] [illegible] [illegible]

g. [illegible] [illegible] [illegible] [illegible] [illegible] [illegible]
[illegible] [illegible] [illegible] [illegible]

h. [illegible] [illegible] [illegible] [illegible]

87

Z



6/27/52

Check list for checking applications and sequence against zoning ord. and [illegible] ord.

1. What class of use?
2. Use [illegible] zoning ord.
3. Location in lot? yard spaces etc)
4. Is work within zoning or Fire Districts?

~~What class of use?~~

5. Special and general requirements for class of use.

6. Check against construction requirements

7. Check against installations.

5/29/52
Island Inn
Ward Island
P7-Z-20

[illegible] — Island Inn Hotel etc —
[illegible] of [illegible] bldg.

7995 Sq ft

Jersey — Licensed [illegible] & [illegible]
[illegible] in Appl. Law. [illegible]

P7-00-21.3/1934
P7-00-22.3/1934

P

Sec. Sect 27

a
1 ✓
2 ✓
3 ✓

b ✓

g ✓
f ✓
e same as under general.

f
1 ✓
2 ✓
3 ✓
4 ✓
5 ✓
6 ✓

7 ✓

h
1. Heating plant should
be located first story
[illegible] the basement.
[illegible] [illegible]
should be [illegible] C [illegible]
plans call for [illegible]
[illegible] room [illegible]
[illegible] [illegible]
[illegible]

1.
1 [illegible]

General 212

a ✓
b ✓
c ✓
e to an exit [illegible]
showing [illegible]
[illegible] from
dining room.

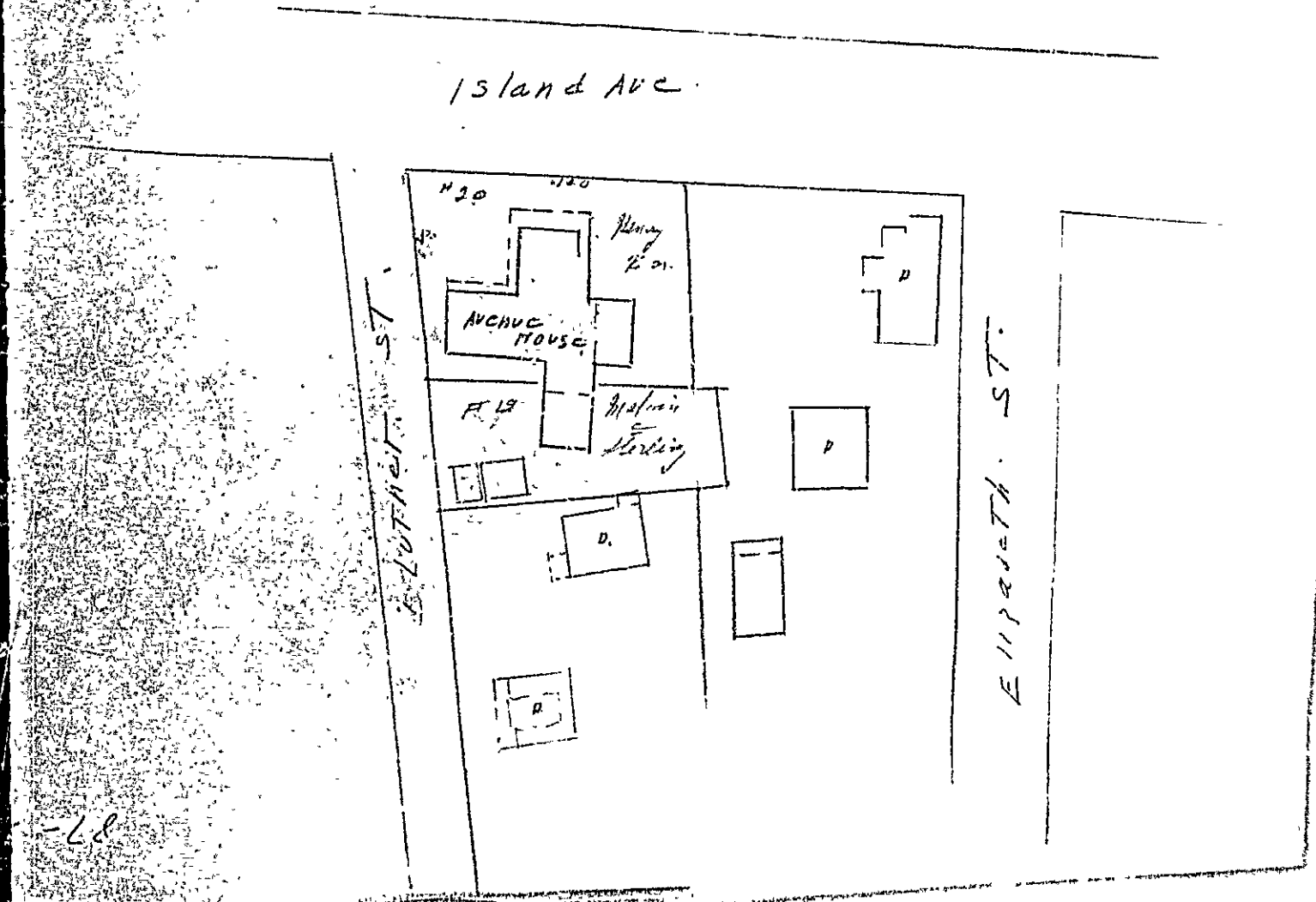
do doors acting as
means of exit from
dining room have to
swing out — code
says yes if room is
designed for more than
50 persons. — if room
is designed for 50 people
doors can be not less
than 34.
are existing exits adequate
in #
— strength of floor —

d ✓
f ✓
h ✓ No detail given
concerning heat type [illegible]
as to type — would want
an inspection of system.

[illegible]

[illegible]

Avenue House: Pears. Island.
change of use: Hotel To Club House



APPLICATION FOR PERMIT

PERMIT ISSUED
APR 10 1951
005325
CITY of PORTLAND

Class of Building or Type of Structure Third Class

PORTLAND, MAINE, April 10, 1951

To the INSPECTOR OF BUILDINGS, Portland, Me.

The undersigned hereby applies for a permit to repair or renew roof covering of the following described building in accordance with the laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Island Avenue, Peaks Island 87-2-20

Owner's name and address Henry S. Hoar, Island Avenue, Peaks Island Telephone

Contractor's name and address owner Telephone

Use of building—Present Hotel Proposed Hotel

No. Stories 2 Style of roof Hip Type of present roof covering Asphalt

Type and Grade of roofing to be used Asphalt Class C Und Lab No. plies

GENERAL DESCRIPTION OF NEW WORK

To cover portion of roof.

Fee $ .50

INSPECTION COPY

Signature of Owner Henry S. Hoar

PERMIT ISSUED
SEP 8 1950
CITY of PORTLAND

APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, September 5, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 50/295 *pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:*

Location Island Avenue, Peaks Island 87-Z-20 Within Fire Limits? no Dist. No.

Owner's name and address Henry Hoar, Island Avenue, Peaks Island Telephone

Lessee's name and address Telephone

Contractor's name and address Roland S. Hoar, Island Ave., Peaks Island Telephone 6-2796

Architect Plans filed no No. of sheets

Proposed use of building Hotel No. families

Last use " No. families

Increased cost of work Additional fee .25

Description of Proposed Work

To extend fire alarm system to bell at Fire Station.

Sent to Fire Dept. 9/6/50
Rec'd from Fire Dept. 9/7/50

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

Approved:

Chief of Fire Dept.

Henry Hoar

Signature of Owner by: Roland S. Hoar

Approved: 9/8/50

Inspector of Buildings

INSPECTION COPY

PERMIT ISSUED
APR 100359
CITY of PORTLAND

12

APPLICATION FOR PERMIT

Class of Building or Type of Structure: Third Class

PORTLAND, MAINE, April 16, 1963

To the INSPECTOR OF BUILDINGS, Portland, Me

The undersigned hereby applies for a permit to repair or renew roof covering of the following described building in accordance with the laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location: Island Ave., Peaks Island

Owner's name and address: ~~Hmam~~ Henry S. Hoar, Island Avenue — Telephone

Contractor's name and address: Roland Hoar, Island Ave. Peaks Island — Telephone

Use of building—Present: hotel — Proposed

No. of Stories: 2 — Style of roof: shed — Type of present roof covering: asphalt

Type and Grade of roofing to be used: asphalt Class C. Und. Lab. — No. plies

GENERAL DESCRIPTION OF NEW WORK

To cover front porch roof

Signature of Owner: Roland Hoar

Fee $ .50

INSPECTION COPY

Island Ave. & Welch St. - 84-K-8
Luther St. 87-3-20

TO LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

00235

MAR 13 1950

CITY OF PORTLAND

A-ATH

Class of Building or Type of Structure Third Class

Portland, Maine, March 11, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ *alter* ~~repair demolish move~~ *the following building* ~~structure equipment~~ *in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:*

Location Island Avenue, Peaks Island Within Fire Limits? no Dist. No.

Owner's name and address Henry Hoar, Island Avenue, Peaks Island Telephone

Lessee's name and address Telephone

Contractor's name and address Roland S. Hoar, Island Avenue, Pekks Island Telephone

Architect Specifications Plans no No. of sheets

Proposed use of building Hotel No. families

Last use " No. families

Material wood No. stories 2 Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ Fee $ 1.00

General Description of New Work

To extend fire alarm system to cover recreation room in basement by providing two thermostats.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** Roland S. Hoar

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED: OK. 3-13-50. [illegible]

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Henry Hoar

Signature of owner by: Roland S. Hoar

INSPECTION COPY

Permit No. 50/295

Location [illegible]

Owner [illegible]

Date of permit 5/17/50

Notif. closing-in

Inspn. closing-in

Final bldg.

Final insp. 1-22-53

Cert. of Occupancy issued

NOTES

1-22-53 McHenry notified that the basement dirt is still in the state-owned land. Two alternates to relocate the basement are laid out.

LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
00207
FEB 24 1950
CITY OF PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, January 10, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Within Fire Limits? _____ Dist. No. _____

Owner's name and address Henry S. Hoar, Island Avenue, Peaks Island Telephone _____

Lessee's name and address (Avenue House Hotel) Telephone _____

Contractor's name and address Roland S. Hoar, Island Avenue, Peaks Island Telephone _____

Architect _____ Specifications _____ Plans yes No. of sheets 1

Proposed use of building Hotel No. families _____

Last use " No. families _____

Material frame No. stories 2 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____ Fee $ 2.00

Estimated cost $ 400.

General Description of New Work

To construct ~~two~~ one stairways from cellar to first floor--~~exact~~ so that persons can go from lobby of hotel to outside of the building and to the cellar 7½" risers and 10" tread with handrail on both sides. 3' wide.

To provide grade entrance door by cutting through foundation wall and providing concrete steps to ground. 7½" risers and 10" treads, 3' wide, bottom step will be concrete ~~step~~ base extending at least 4' below grade. These steps will be beneath piazza.

To provide celotex ceiling over 24' x 44' portion of basement to be used for Minor Assembly Hall. Present floor timbers to be strapped.

From floor to ceiling will be 6' 6", 3' below grade and 3½' above grade.

New cellar stairs to be enclosed with partitions of 1-hour fire resistance with self-closing Class C (labelled)-fire door or standard fire resistant door on opening to enclosure.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** Roland S. Hoar

Permit Issued with Letter

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

Ceilings: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Henry S. Hoar

APPROVED:

Permit Letter by OJS

Henry S. Hoar

Signature of owner by: Roland S. Hoar

INSPECTION COPY

Permit No. 50/207
Location [illegible]
Owner [illegible]
Date of permit 6/23/50
Notif. closing-in 5-11-50 [illegible]
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued

NOTES

3-21-50. Mr. R. [illegible] called for ceiling inspection said stuffing direct to floor joist and no finish to floor required according to building agent with Decided inspector not [illegible] PBC

4-4-50. Structural completed and closed in. Safety precautions not taken care of. PBC

5-25-50. Top bottom standing number of double doors should be side.
Additional handrails stairs from 1st to recreation room. Fire door at foot of the cellar to be frame completely over lath with metal [illegible]

1-22-53. Fire door and handrails O.K. [illegible]

Island Avenue, Peaks Island

February 23, 1950

Mr. Roland S. Hoar
Island Avenue
Peaks Island, Maine
Mr. Henry S. Hoar
Island Avenue
Peaks Island, Maine

Subject: Permit for alterations in basement of Avenue House, Island Avenue, Peaks Island to provide a recreation room for guests therein

Gentlemen:

The permit for the above work is issued herewith based on further information recently received and subject to the following:

1. The new cellar stairs are to be enclosed in the cellar by partitions of no less than 2x3 studs spaced not over 16" on centers and covered both sides where possible with plaster on metal lath or perforated gypsum lath. The door to the enclosure is to be set at least three feet away from the foot of the stairs and is to be either a Class "C" labelled fire door or a standard fire-resistant door constructed as specified in Section 203-c-4 of the Building Code, with a metal covered frame. This door is to be hung so as to swing into the enclosure in the direction of exit travel. It is to be at least three feet wide and six feet four inches high, and is to be made self-closing by means of a liquid door closer.

We understand that to accomplish the enclosure of the stairs [illegible] plan to provide the lath and plaster on the soffit of the upper run of the [illegible] run enclosed by partitions at the side and end. These latter p[illegible] to extend from the basement floor to the under side of the first floor bo[illegible] side partition is to project beneath the inner edge of the landing so as to [illegible] close off the space beneath it. Both sides of these partitions are to be cov[illegible] lath and plaster except that from the soffit of the lower run of stairs and f[illegible] edge of the platform down to the basement floor only the side of the partition [illegible] the basement need be covered.

2. It is understood that a door swinging outward is to be provided at the foot of the new outside stairs leading to grade on the Island Avenue side of the building, this door to be at least three feet wide and six feet four inches high.

3. Since the stairway inside the building is likely to be the usual means of entrance to the new basement room, the red exit light and white light outside the outer door is not required, but there is no objection to their being installed if desired. The red exit light and white lights both inside and outside the other stairway are required.

4. Locks on any doors involved in a means of egress are to be vestibule latch sets so installed that anyone may leave the basement room at any time, even though the doors are locked from entrance from the outside, by merely turning the usual knob or by pressure on a thumb lever.

5. There is to be no appreciable step down at either of the outside exit doors.

6. Handrails are to be provided on both sides of all stairs and the treads of all stairways are to have non-slip surfaces.

7. The automatic fire detection and alarm system is to be extended to cover the new assembly room and stairways, and this extension requires a separate permit issuable only to the installer.

Very truly yours,

Warren McDonald
Inspector of Buildings.

AJS/B

Put with file copy

AP Island Avenue, Peaks Island-I

February 3, 1930

Mr. Henry S. Hoar
Island Avenue
Peaks Island, Maine

Subject: Your letter of February 1 relating to alterations of the Avenue House, Island Avenue, Peaks Island

Dear Mr. Hoar:

Your feelings as you received my letter on the above subject and immediately wrote your reply of February 1 are understandable, but before you finally give up the project, I would like to make sure that you understand your rights in the matter of flexibility of requirements of the Building Code involved in your project.

Probably you have no objection to providing the suitable concrete walls at the proposed basement entrance near the piazza and suitable details as to headroom to make the provided exit safe for emergency use, and probably you can sympathize with our need for knowing the details of the work before a permit can be issued.

All of the other matters in my letter are questions of public safety, and the question as to whether or not this room in the basement would be used exclusively in the summer time for your own guests rather than for outsiders and the year-round. As far as the application of the Building Code is concerned (and it seems obvious why the law has to be that way) we can make no distinction between use by your own guests or outsiders, or for seasonal use only. From your letter I gather that you have no plans for use of this proposed room for other than the guests of the hotel which would also mean, of course, only in the summer season. The Board of Appeals, which is the Board of Municipal Officers under the Building Code, does have authority to grant exceptions from the terms of the Building Code in cases of change of use of an existing building or part thereof, in specific cases where the enforcement of the Building Code would involve practical difficulty or unnecessary hardship and where desirable relief may be granted without substantially departing from the intent and purpose of the Code—by a two-thirds vote of the membership of the Board.

Your proposal does represent a change of use of the basement, and you therefore have rights of appeal to the Board of Municipal Officers, setting forth of course the unusual circumstances under which you would like to provide and maintain this room which the Building Code refers to as a minor assembly hall.

If you would like to reconsider the decision expressed in your letter, and would like to seek an exception from the Board, it would be well for you to decide to which of the items in my letter you would like to seek exception, and notify me of those items and of the fact that you desire to seek an exception. This would be in no sense "going over the head" of this department. If you should decide upon this course, upon notice from you, you will be notified with reference to the Building Code why this department cannot issue the permit and you will receive an outline of the appeal procedure, proceedings that may be taken without cost to you.

While I cannot predict what the attitude of the Board might be, I am sure that such an avenue or elasticity in the precise requirements will appeal to you as affording an opportunity for the Board, if they see fit, to relinquish some of the requirements on conditions that the use of the room be limited to the precise use as to groups of persons and time of year of usage.

If the decision in your letter of February is final, and you will return the receipt for the building permit fee of two dollars, or if Roland will return it, the money will be refunded by voucher.

Very truly yours,

Inspector of Buildings

WMcD/G

Peaks Island, Me.
Feb. 1st 1950.

Mr. Warren McDonald

RECEIVED
FEB 2 1950
DEPT. OF BLD'G INSP.
CITY OF PORTLAND

Dear Sir;-

Your letter of Jan 30th received in answer to an aplication for permit applied for Jan 9th.

This letter, & others I have received since I bought the Avenue House in 1945, have finally convinced me of the futility of trying any further to better the hotel.

Therefore I wish to cancel the application applied for on Jan. 9th to provide recreation room for Avenue House guests, the maximum of which is forty-five unless they want to sleep on the lawns.

Please do not accept this letter as one of criticism of your office as I know you feel forced to follow a building code + zoning ordinance, which never should have applied to Peaks Island unless the city desires to eventually see all buildings on the Island demolished.

Very truly yours,

Henry S. Hoar.

AP I venue, Peaks Island-I

January 30, 1950

Mr. Roland S. Hoar
Island Avenue
Peaks Island, Maine
Mr. Henry Hoar
Island Avenue
Peaks Island, Maine

Subject: Application for permit for alterations to provide recreation room for guests in basement of Avenue House, Island Avenue, Peaks Island

Gentlemen:

Several questions concerning compliance with Building Code requirements arise in regard to this alteration. These are as follows:

1. Enclosure of the new cellar stairs in the cellar with partitions of one-hour fire resistance and with a self-closing standard fire resistant door or a Class C labelled fire door in the opening to the enclosure is required.

2. Details of the construction of the new exit to grade out through the piazza need to be shown, particularly as to thickness of concrete walls at front and sides of stairs and their depth below grade. Also shown should be the arrangement at the foot and the head of the stairs. Headroom of at least 6' 4" is required at the opening at the foot of the stairs and the first step should be set ahead far enough to prevent anyone from bumping his head when starting to mount the stairs. At the head of these stairs some other arrangement should be worked out other than having the door directly on the top step. Even though it may not be feasible to provide a 3' deep landing at the head of these stairs, if the top step can be made wide enough so that a person may stand on it while opening the door, considerably safer conditions will result. No appreciable step-downs are allowable at either this door or the exit door in the rear wall of the building. If concrete platforms are to be provided outside these doors, they should be at least as deep as the width of the doors and if connected to the foundation of the building, should extend at least 4' below grade.

3. The red and white exit lights for both exits are required to be on a single circuit.

4. Locks on the two exit doors to outside the building are required to be vestibule latchsets or locks of a similar nature, so arranged that anyone may leave the assembly hall at any time, even though the doors are locked against entrance from the outside, by merely turning the usual knob or by pressure on the usual lever or bar.

In order that there may be no misunderstanding, we wish to make it clear that the celotex ceiling to be provided for the new hall is allowable only because the use of the hall is to be accessory to the hotel and for use of the guests of the hotel only. If the hall were to be used for affairs attended by the general public or for other minor assembly hall uses of a like nature, a ceiling having a fire resistive rating of at least one hour would be required. If more than one hundred and fifty persons were likely to be in the hall at any one time, anti-panic hardware instead of vestibule latchsets would be required on the exit doors.

Very truly yours,

AJS/G

Warren McDonald
Inspector of Buildings

File: AP Island Ave., Peaks Isld.
Avenue House

To Oliver T. Sanborn,
Chief of Fire Department
From Warren McDonald
Insptr. of Bldgs.

Subject: Application for Permit for Alterations to Provide Recreation Room for Guests in Basement of Avenue House, Island Ave., Peaks Island.

Inasmuch as you have already passed upon and required improvements in means of egress of this hotel, it seems rational if not required that you pass upon this new development and the effect it may have on present means of egress, as well as the means of egress from the new basement room.

Insptr. of Bldgs.

Attachments: Insptn. Copy of Application, Permit Card
Blueprint of first floor.
Pencil sketch of basement.

Avenue A — Hall Apt., Omaha ①

Notrees
1/21/50

Enclose new cellar stairs? ✓

Any partitions to be built around recreation room or do they exist. - No new partitions ✓

What use balance of basement - relation to heater room etc.? ✓

Where have they agreed that this will be used as recreation room for guests only, other than perhaps socially. Only socially

May this not be an opening wedge for a bar or cocktail lounge? Should we not seek them for written assurance that there is no intention of selling beer or liquor for consumption on premises? - They say not.

Purposely alternate partition off from prior a new grade entrance. Should not door be at least 3 ft from moving of top step. Provided only as this no longer

With legal outside grade entrance door as well as inside. To be

Grange House (2).

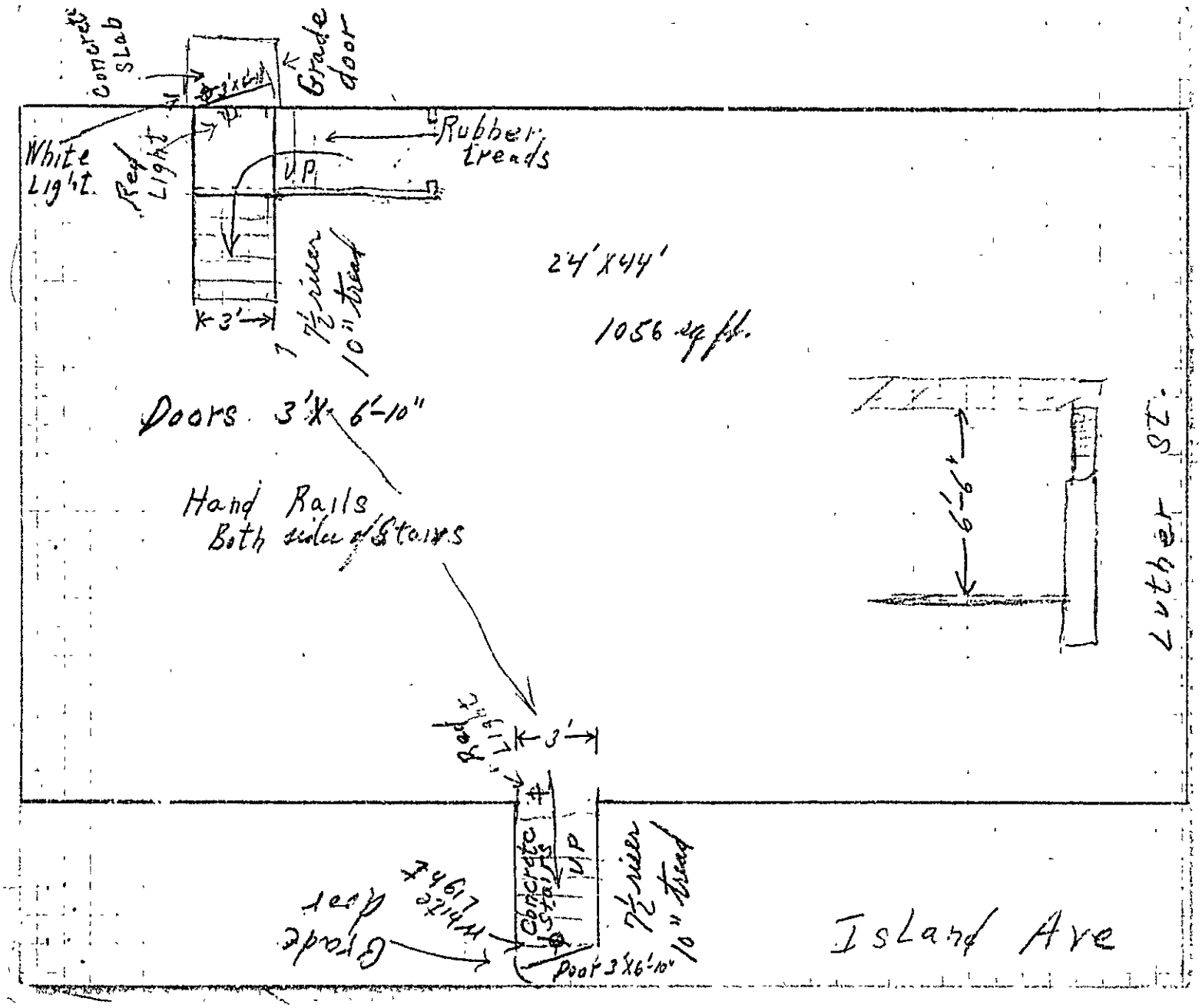
Should we not have more detail
of new grade entrance as to
relationship to piazza,
foundation below frost,
etc.? ?
Not even within grade entrance
we would reach from lobby
exists or not. If that outside
exists OK, but if may show
or below frost or not be built
as part of building. ?
We ought to have statement about
fencing accommodated with
more than 150 or more about ?
need of anti-panic hardware
If any possibility of this
becoming a major assembly
hall or a place of public
assemblage as contemplated
by P.C. Code, celotex ceiling
and combustible finish on
walls not advisable. Probably
This is remote but should
be noted to them since not
certificate of occupancy no

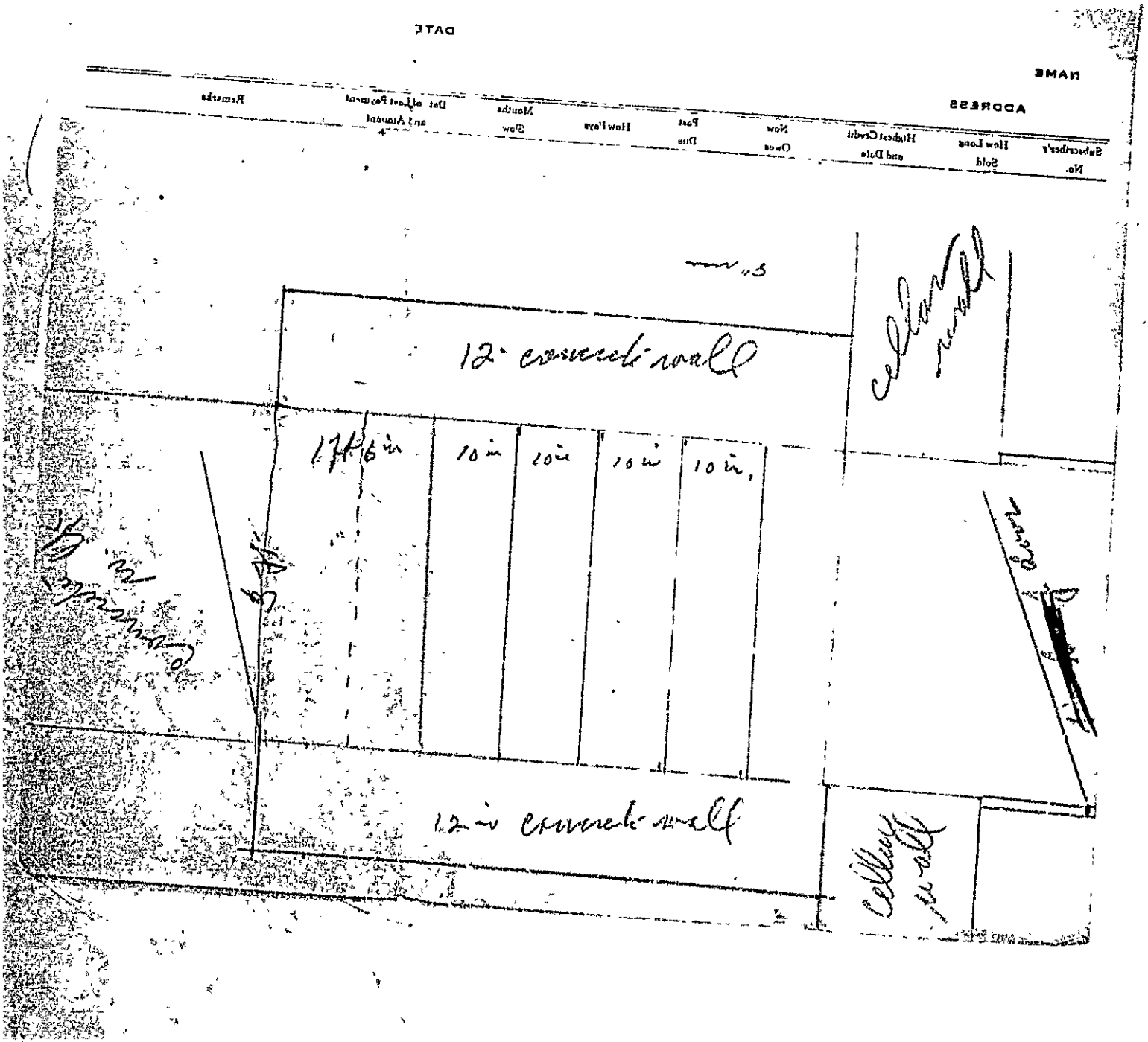
They say not

being required,

acquisition of fine alum

therefrom.


Concrete Slab
Grade door
White Light
Red Light
Rubber treads
UP
7½ risers
10" tread
3'
24'X44'
1056 sq ft.
Doors 3'X 6'-10"
Hand Rails
Both side of Stairs
6'-6"
Luther St.
Red Light
3'
Concrete Stairs
UP
7½ risers
10" tread
Grade door
Door 3'X6'-10"
Island Ave


12" concrete wall
17'6"
10"
10"
10"
10"
12" concrete wall
cellar wall
cellar wall
River

84-Z-20 (B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

PERMIT ISSUED
01445
AUG 16 1948
CITY of PORTLAND

Portland, Maine, August 13, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~[illegible]~~ *install the following* ~~[illegible]~~ *equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:*

Location Island Avenue, Peaks Island Within Fire Limits? _____ Dist. No. _____

Owner's name and address Henry S. Hoar, Island Avenue, Peaks Island Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address Roland Hoar, Island Avenue, Peaks Island Telephone 99K

Architect _____ Specifications _____ Plans _____ No. of sheets _____

Proposed use of building Hotel No. families _____

Last use " No. families _____

Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost $ _____

General Description of New Work

Fee $ 1.00

To install automatic fire alarm using Spot Fire Lowecator thermostats (Model 101 or 102) made by Star Sprinkler Corp.) not more than 30' apart nor more than 15' at right angles from any wall or partition extending to ceiling; to cover entire basement or cellar and sub-cellar, if any, all public and stair halls, all closets off halls or under stairs, all hazardous rooms and attached garage, if any; gongs of such tone, strength of signal, number and location as to arouse all persons for whose protection intended--current by dry batteries of capacity to ring all gongs simultaneously at full signal strength, to operate system for at least one year, installed in substantial cabinet of no less than 14 gauge steel or well-seasoned wood at least 3/4" thick with hinged door and catch and located not less than 6" nor more than 6' above floor in dry, clean place where temperature will not go below 40 degrees F. nor above 100 degrees--test button rigidly fastened in place, conveniently located to permit and capable of testing entire system frequently. Alarm silencing switch, if provided, will be so arranged that alarm will sound if switch is thrown to "silent" position wher alarm is not sounding. Installer will fasten to control box full instructions as to operation and testing of system and there is another to secure operating instructions if system gets out of order.

Installation and work shall not be started until the proper permits have been issued to the heating contractor. PERMIT TO BE ISSUED TO Roland Hoar *the name of the heating contractor.*

Memo Sent to Fire Chief

Permit Issued with Memo

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are

Permit No. 46/14445

Location Orchard Ave. Peake Sub.

Owner Jenny & Frank

Date of permit 8/16/46

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 5/13/49 PB

Cert. of Occupancy issued

NOTES

Owner am planning to do
[illegible]
[illegible]
[illegible]

Memorandum from Department of Building Inspection, Portland, Maine

Island Avenue, Peaks Island (Avenue House-Henry S. Hoar)--Installation of automatic fire detection and alarm system for Henry S. Hoar by Roland S. Hoar, installer--3/16/43

Referring to telephone conversation with installer, the permit is issued on the basis that power for the system will be by dry batteries only.

Attention is specially called to the provision agreed to in the application:

"Alarm silencing switch, if provided, will be so arranged that alarm will sound if switch is thrown to "silent" position when alarm is not sounding."

WMcD/S

CC: Mr. Henry S. Hoar
Island Avenue
Peaks Island, Maine

(Signed) Warren McDonald
Inspector of Buildings

(E) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
00998
JUN 17 1948
CITY of PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, June 15, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect alter repair demolish install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island 81-H-20 R Within Fire Limits? no Dist. No.

Owner's name and address Henry S. Hoard, Peaks Island Telephone 99K

Lessee's name and address Telephone

Contractor's name and address Roland S. Hoar, Peaks Island Telephone

Architect Specifications See 46/664 Plans yes No. of sheets

Proposed use of building Hotel No. families

Last use " No. families

Material frame No. stories 2 Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ 50. Fee $ .50

General Description of New Work

To erect non-bearing partition closing off stairs to laundry room and to provide new outside door and platform as per plan.
Platform 3'x4' - 2x6 floor joists, 16" O.C., 3' span., no roof.; 2x6 sill on 4' span.
Partition 2x4 studs, 16" O.C., sheetrock both sides. Cedar post foundation.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** Roland S. Hoar

Memo Sent to Fire Chief

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

One story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Henry S. Hoar

INSPECTION COPY

Signature of owner By: Roland S. Hoar

Permit No. 48/998

Location [illegible]

Owner Henry Horne

Date of permit 6/17/46

Notif. closing-in

Inspn. closing-in

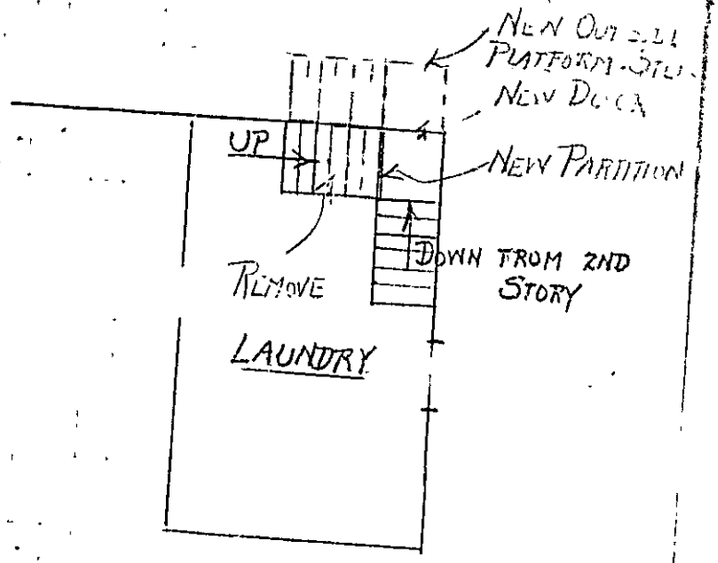
Final Notif.

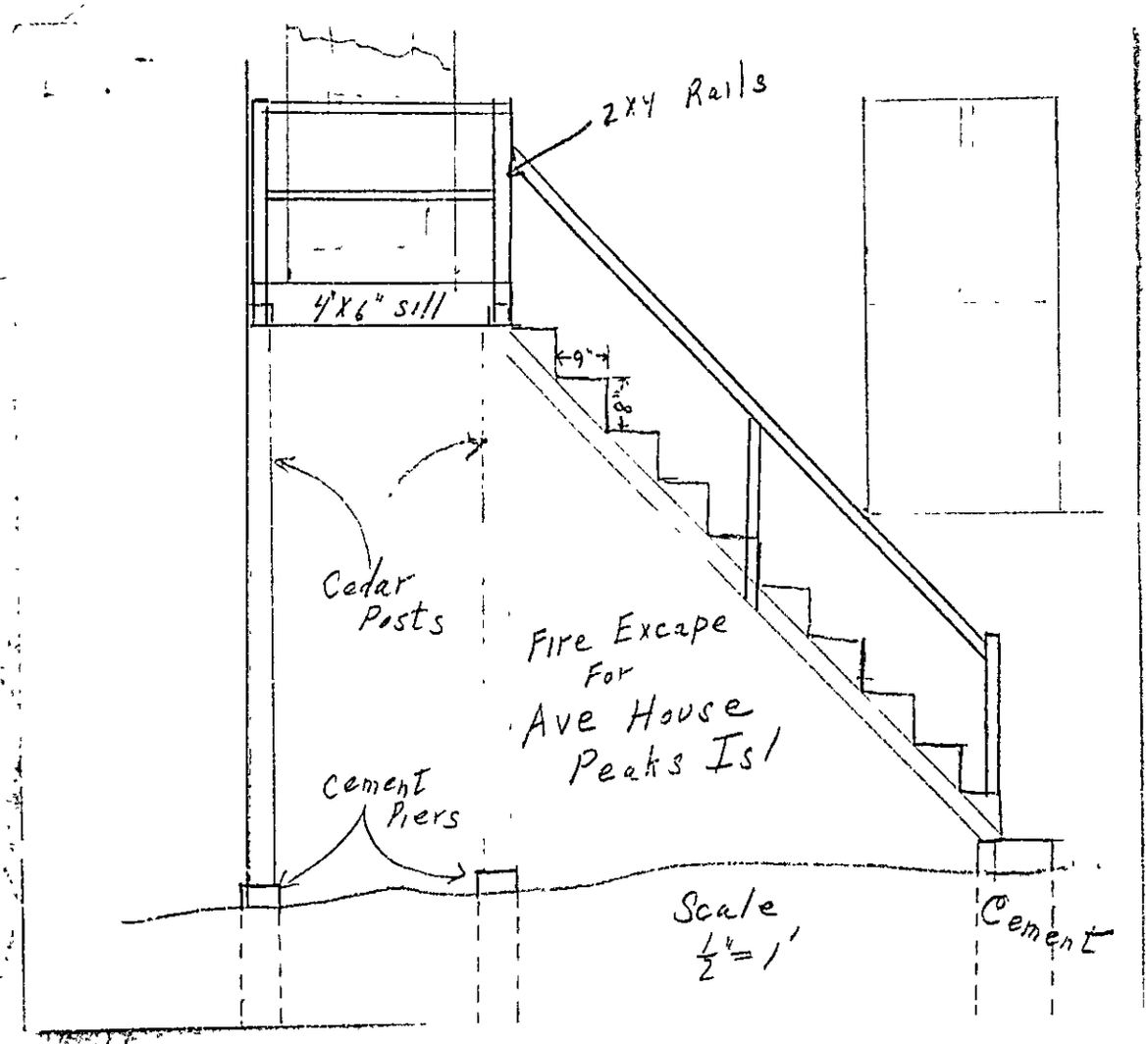
Final Inspn.

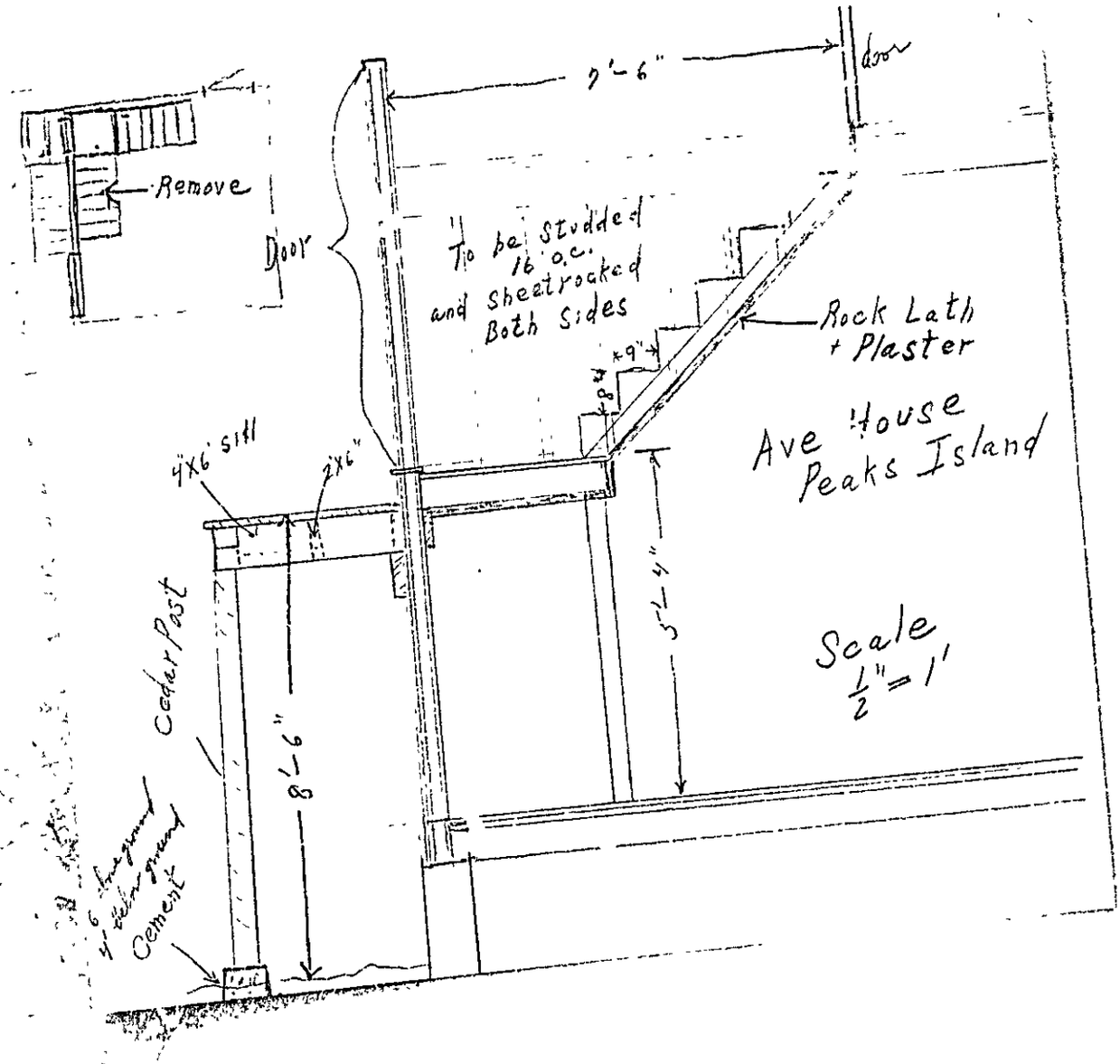
Cert. of Occupancy issued

NOTES

6/22/46 Not started


NEW OUTSIDE
PLATFORM-STEPS
NEW DOOR
UP
NEW PARTITION
DOWN FROM 2ND
STORY
REMOVE
LAUNDRY


2X4 Rails
4"X6" sill
9"
8"
Cedar Posts
Fire Excape For Ave House Peaks Isl
Cement Piers
Scale 1/2" = 1'
Cement


Remove
Door
7'-6"
door
To be studded 16" o.c. and sheetrocked Both Sides
Rock Lath + Plaster
9"
8"
4"x6" sill
2"x6"
Cedar Post
8'-6"
5'-4"
4" above ground
4" below ground
Cement
Ave House
Peaks Island
Scale
1/2" = 1'

BP 48/998-Amdt. #1-I

June 23, 1948

Mr. Roland S. Hoar
Peaks Island, Maine

Subject: Amendment to permit No. 48/998 covering change in location in platform and stairs on side of hotel

Dear Sir:

The above amendment is issued herewith subject to the following:

The concrete piers are required to be at least 8 inches square on the top and 10 inches square on the bottom. Metal pins or dowels over which the cedar posts may be placed should be set in the tops of them.

Very truly yours,

Inspector of Buildings

AJS/3

APPLICATION FOR AMENDMENT TO PERMIT

PERMIT ISSUED
JUN 23 1948
~~CITY of PORTLAND~~

Amendment No. 1

Portland, Maine, June 22, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 48/998 *pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:*

Location: Island Avenue, Peaks Island — Within Fire Limits? no — Dist. No.

Owner's name and address: Henry S. Hoar, Peaks Island — Telephone

Lessee's name and address: ~~Roland S. Hoar, Peaks Island~~ — Telephone

Contractor's name and address — Plans filed — No. of sheets

Architect — No. families

Proposed use of building: Hotel — Additional fee: $25

Increased cost of work

Description of Proposed Work

To change location of outside stairway from position originally planned as per plan submitted.

Details of New Work

Is any plumbing work involved in this work? no — Is any electrical work involved in this work? no

Height average grade to top of plate — Height average grade to highest point of roof

Size, front — depth — No. stories — solid or filled land? — earth or rock?

Material of foundation — Thickness, top — bottom — cellar

Material of underpinning — Height — Thickness

Kind of roof — Rise per foot — Roof covering

No. of chimneys — Material of chimneys — of lining

Framing lumber—Kind — Dressed or full size? — Size

Corner posts — Sills — Girt or ledger board? — Size — Max. on centers

Girders — Size — Columns under girders

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

Approved:

Signature of Owner Henry S. Hoar
by Roland S. Hoar

Permit Issued: 6/23/48

Approved: Inspector of Buildings

INSPECTION COPY

AP Island Avenue, Peaks
Island-I

June 16, 1942

Mr. Roland S. Hoar
Peaks Island, Maine

Subject: Application for alterations
to Avenue House at Peaks Island

Dear Sir:

Permit for the above work is issued herewith subject to the following:

1. The cedar post foundation for new platform is required to go at least four feet below grade or to ledge if that is found at a lesser depth.

2. Sills are required to be 4x6 instead of the 2x6 given in application.

Very truly yours,

Inspector of Buildings

AJS/S

APPLICATION FOR AMENDMENT TO PERMIT

PERMIT ISSUED
JUN 23 1948
CITY of PORTLAND

Amendment No. 1

Portland, Maine, June 22, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 48/998 *pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:*

Location Island Avenue, Peaks Island Within Fire Limits? no Dist. No.

Owner's name and address Henry S. Hoar, Peaks Island Telephone

Lessee's name and address ~~Roland S. Hoar, Peaks Island~~ Telephone

Contractor's name and address Telephone

Architect Telephone

Proposed use of building Hotel Plans filed No. of sheets

Increased cost of work No. families

Additional fee .25

Description of Proposed Work

To change location of outside stairway from position originally planned as per plan submitted.

Details of New Work

Is any plumbing work involved in this work? no Is any electrical work involved in this work? no

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

Approved:

Signature of Owner Henry S. Hoar
by Roland S. Hoar

FILE COPY

Approved:
Inspector of Buildings.

(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
00405
APR 3 1948
CITY of PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, April 2, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Within Fire Limits? no Dist. No.

Owner's name and address Henry Hoar, Peaks Island Telephone

Lessee's name and address Telephone

Contractor's name and address Roland Hoar, " Telephone

Architect Specifications Plans no No of sheets

Proposed use of building Hotel No. families

Last use " No. families

Material frame No. stories 2 Heat Style of roof Roofing

Other buildings on same lot Fee $ 1.00

Estimated cost $ 200.

General Description of New Work

To glass in 30' portion of existing front and side piazza.
Piazza existing with roof over prior to December 5, 1938.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. Roland Hoar

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes Henry Hoar

Signature of owner By: Roland L. Hoar

INSPECTION COPY

Permit No 145/405

Location Island Ave Peaks Isl

Owner Henry Hoar

Date of permit 4/3/48

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 5/27/48 OK.

Cert. of Occupancy issued None

NOTES

APPLICATION FOR PERMIT

PERMIT ISSUED
APR 2 1948
CITY of PORTLAND

Class of Building or Type of Structure Third Class

To the INSPECTOR OF BUILDINGS, Portland, Me.

PORTLAND, MAINE, April 2, 1948

The undersigned hereby applies for a permit to repair or renew roof covering of the following described building in accordance with the laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Island Avenue, Peaks Island 97-Z-20

Owner's name and address Henry Hoar, Peaks Island

Contractor's name and address Roland Hoar, Peaks Island Telephone

Use of building—Present Hotel Telephone

No. Stories 2 Proposed Hotel

Type and Grade of roofing to be used Class C Und. Lab. asphalt Type of present roof covering asphalt roofing

GENERAL DESCRIPTION OF NEW WORK

To cover front piazza roof

No. plies

Fee $ .50

INSPECTION COPY

Signature of Owner By: Roland A. Hoar

Henry Hoar