

OTTY POINT RD., PEAKS ISL.

87-2-4

012



APPLICATION FOR PERMIT

PERMIT ISSUED
00302
MAY 20 1952
CITY OF PORTLAND

Class of Building or Type of Structure Third Class
Portland, Maine, March 20, 1952

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ demolish ~~the~~ the following building structure ~~erect~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: 87-7-4

Location City Point Road, Peaks Island Within Fire Limits? no Dist. No. _____
 Owner's name and address Edmond E. Corcoran, Peaks Island Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Specifications _____ Plans no No. of sheets _____
 Proposed use of building _____ No. families _____
 Last use dwelling shed and shed No. families 1
 Material wood No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot none Fee \$ 1.00
 Estimated cost \$ _____

INSPECTION NOT COMPLETED

General Description of New Work

To demolish 1-story frame shed 12' x 20' and to demolish 1 1/2-story frame dwelling 20' x 30'.
Now public sewer connection.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO owner**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or mill size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

Signature of owner Edmond E. Corcoran

INSPECTION COPY

Permit No. 57/302

Location City Point Rd, Peaka Island

Owner Edmund E. Corcoran

Date of permit 3/20/52

Notif. closing-in _____

Inspn. closing-in _____

Final Notif. _____

Final Inspn. _____

Cert. of Occupancy issued _____

NOT COMPLETED

NOTES

Handwritten notes in the left column, including "NOT COMPLETED" and other illegible text.

Multiple vertical columns of lines for handwritten notes or data, including a central horizontal line.

P. 58/317-I

October 21, 1938

Mr. E. E. Corcoran
City Point Road,
Peaks Island
Portland, Maine

Dear Sir:

We find that your storage shed on City Point Road, Peaks Island has been relocated, but that the floor joists have no adequate supports at the centers of their spans where originally the floor joists were lapped by one another and spiked together.

Before anything is put on this floor, I suggest that you have a substantial girder run beneath these lapped splices and the girder properly supported down into the ground below frost.

Very truly yours,

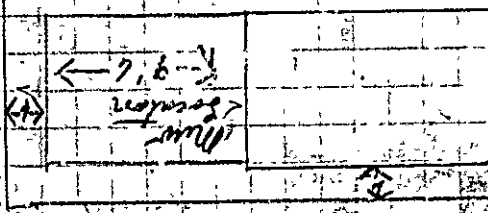
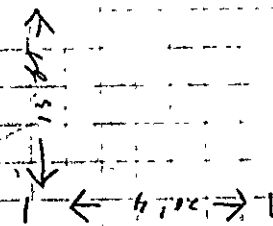
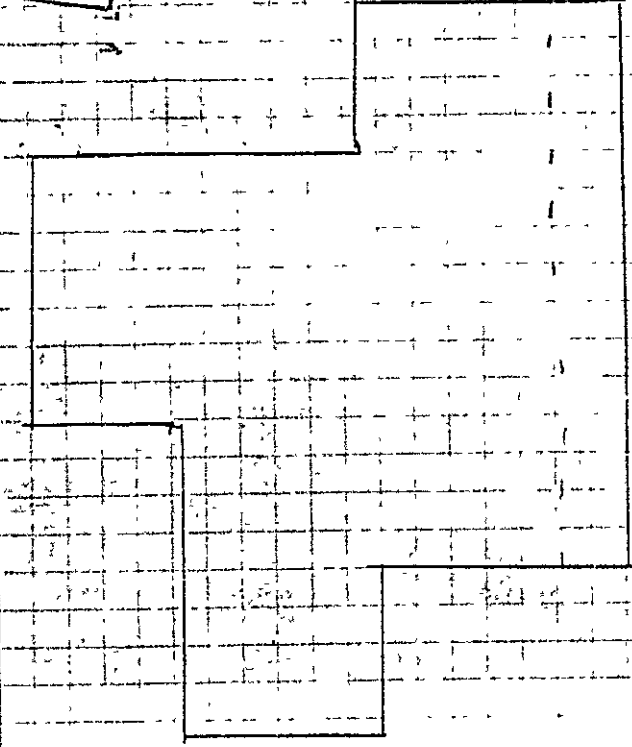
WMed/H

Inspector of Buildings

RECEIVED
MAR 23 1938
DEPT. OF PUBLIC WORKS
CITY OF TORONTO

To be moved back 9' 6"

STREET





APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT **PERMIT ISSUED**
0317

Class of Building or Type of Structure _____

Portland, Maine, March 25, 1938

MAR 23 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location City Point Road, Peaks Island Ward 1st Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address E. E. Corcoran, Peaks Island 82-7-4 Telephone no

Contractor's name and address _____ Telephone _____

Architect _____ Plans filed yes No. of sheets 1

Proposed use of building Storage shed for coal and wood No. families _____

Other buildings on same lot dwelling house

Estimated cost \$ _____ Fee \$ 50

Description of Present Building to be Altered

Material wood No. stories 1 Heat no Style of roof _____ Roofing _____

Last use Storage shed for coal and wood No. families _____

General Description of New Work

To move building about 8' on same property as shown on plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation concrete piers Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Edmund E Corcoran

INSPECTION COPY

1482

Ward 22 Permit No. 38/317
 Station City Point Rd. Beach
 Loc. E. E. Creman
 Date of permit 2/23/38
 Dist. closing-in 27
 Insp. closing-in 7
 Final Notif. 4
 Final Insp. 10/21/38, etc
 Cert. of Occupancy issued None

NOTES

~~1/15/38 This garage has
 apparently been improved
 in accordance with
 the plan. The front
 concrete steps at each
 corner the rear sidewalk
 about 18" above ground
 and the front sill 3' or
 more. The floor joints
 are spaced and there
 is no winter girders, etc.
 slope same etc.
 6/15/38 Same etc.
 6/30/38 Same etc.
 7/1/38 Same etc.
 9/15/38 This is the same
 to be about the same.
 etc~~

10/20/38. Nothing much
 done on this. If this is to
 be used for anything
 this winter a girder
 should be run through
 the center of the floor
 joints and supported by
 10/21/38 - Better - mnd

GEORGE D. ...
 ...
 ...



APARTMENT HOUSE ZONE
 APPLICATION FOR PERMIT

PERMIT ISSUED
 SEP 4 1937

Class of Building or Type of Structure Third Class

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, September 1, 1937

The undersigned hereby applies for a permit to alter the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location City Point Road, Focks Island Ward 1st Within Fire Limits? no Dist. No. _____
 Owner's name and address E. K. Corcoran, Focks Island Telephone no
 Contractor's name and address Omnar Telephone _____
 Architect _____ Telephone _____
 Proposed use of building Cottage Plans filed no No. of sheets _____
 Other buildings on same lot _____ No. families _____
 Estimated cost \$ 25. Fee \$.25

Description of Present Building to be Altered

Material wood No. stories 1 1/2 Height _____ Style of roof pitch Roofing Asphalt
 Last use Cottage No. families _____

General Description of New Work

To build 5' dormer on east side of roof
 40' to lot line

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY
 REQUIREMENT IS WAIVED

Material spruce Height average grade to top of plate _____
 Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof shed Rise per foot 6" Roof covering Asphalt roofing Casco O Und. Lab.
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof 2x3
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof 16"
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

INSPECTION COPY

Signature of owner E. K. Corcoran

Ward 2 Permit No 37/1392

Location City Point + Old Peaks

Owner E. E. Coonan

Date of permit 9/4/37

Notif. closing-in _____

Inspn. closing-in _____

Final Notif. _____

Final Inspn. 9/20/37 c.o.s.

Cert. of Occupant issued None

NOTES

9/7/37 Per. started c.o.s.
9/20/37. Work not
finished but framing
O.K. for further work.
need c.o.s.

87

7

4



APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

Permit No. 154437

Class of Building or Type of Structure Small APR 12 1937

Portland, Maine, April 12, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter in all the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location City Point Road, Peaks Ward 1st 2 Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address K. E. Cochran, City Point Road, Peaks Telephone _____

Contractor's name and address F. H. Stephenson, Elizabeth St. Peaks Telephone 169-8

Architect's name and address _____

Proposed use of building dwelling house No. families 1

Other buildings on same lot _____

Plans filed as part of this application? no No. of sheets _____

Estimated cost \$ 100. Fee \$ 20.

Description of Present Building to be Altered

Material wood No. stories 1 1/2 Heat _____ Style of roof pitch Roofing wood

Last use cottage No. families _____

General Description of New Work

To build 20' dormer on north side of roof - front - 7' to street line
To cover entire roof with asphalt shingles

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.**

Details of New Work

Material hemlock dressed Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or _____ and? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof flat Rise per foot 4" Roof covering Asphalt roofing Glass G. Dnd. Lsh.

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max on centers _____

Studs (outside walls and dividing partitions) 2x4-16' O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof 2x8

On centers: 1st floor _____, 2nd _____, 3rd _____, roof 18"

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 8'

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner [Signature]

INSPECTION COPY

Ward 2 Permit No 37/484

Location C. Point Rd., Peaks

Owner E. E. Cochran

Date of permit 4/12/37.

Notif. closing-in

Inspn closing-in 27

Final Notif. 7

Final Inspn. 7/8/37. 4

Cert. of Occupancy issued: March

in 36/1937

NOTES

4/13/37 to Stephenson
saw tie-down straps on
to run to the ridge and
outside wall tie rods present
plate etc.

3/22/37 tie rods built
could not get in, etc.
3/22/37 tie rods and
construction. Check
firmness of tie rods. be-
cause ridge and plate
etc.

7/8/37 for last inspection
close to Mr Stephenson
about reinforcing studs,
elipses, but for this
however, he agreed to
in this case.



(A) APARTMENT HOUSE ZONE PERMIT ISSUED
 APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class JUN 27 1938

Portland, Maine, JUN 27, 1938.

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect/alter/repair the following accordance with the Laws of the State of Maine, the Building Code of the City of Portland, as amended herewith and the following specifications:

Location City Point Road, Peaks Island Ward In. 2 Within Fire Limit _____ Dist. No. _____

Owner's or Lessee's name and address Edward E. Corcoran, Peaks Island Telephone 88

Contractor's name and address Owner Telephone _____

Architect's name and address _____

Proposed use of building Dwelling house No. families 1

Other buildings on same lot _____

Plans filed as part of this application? Yes No. of sheets _____

Estimated cost \$ 100. Fee \$ 1.00

Description of Present Building to be Altered

Material wood No. stories 1 1/2 Heat stove Style of roof _____ Roofing _____

Last use Dwelling house No. families 1

General Description of New Work

To replace existing dry stone wall and cedar post foundation with concrete wall, accept across front which will have concrete piers 6" x 6"

NOTIFICATION ALLOWED
 OR CLOSING IN IS WAIVED
 C.R. PLATE OF OCCUPANCY
 REQUIRED BY THE NA
 1170

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately and the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____

Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation concrete Thickness, top 12" bottom 18"

Material of underpinning concrete to sill Height _____ Thickness _____

Kind of roof _____ Rise per 100' _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ type of fuel _____ Is gas fitting "unvented"?

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

_____ centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with _____ carry walls, thickness of walls _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repair be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that all State and City requirements pertaining thereto are observed? yes

Signature of owner Edward E. Corcoran

INSPECTION COPY

Ward 22 Permit No. 36/937
 Location City Point Rd. Peaks
 Owner Edmond E. Coorean
 Date of permit 6/27/36
 Notif. closing-in
 Insn. closing-in
 Final Notif. NOT COMPLETED
 Final Inspn: 87

Cert. of Occupancy issued
 su 27/454
 7/4/36

NOTES
 7/4/36. Work started. Can
 not see ground about
 in slope to the SE.
 7/12/36. Work progressing
 showing the character of
 the ground in replacing
 or the parts along grade
 wall of terrace. Some
 in labate in under
 a water by small of rooms
 7/13/36. About the same
 work progressing slowly
 7/14/36. Work progressing
 slowly in addition to the
 work called for in the
 application for Coorean

plans to strengthen the
 first floor, reinforced
 brick chimney, new
 front porch roof
 and finish off rooms
 on second floor. He
 will apply for
 amendments to cover
 this work which
 will probably not
 be done until spring
 10/16/36. Work progressing
 slow. OK.
 11/27/36. Early morning
 in the afternoon not safe
 with canvas here
 12/2/36. Nothing done since
 last week. OK.
 12/12/36. Not much being
 done. OK.
 1/27/37. This work pro-
 gressing slowly. OK.
 2/1/37. Same. OK.
 2/8/37. Wall nearly
 completed. Duration of
 parts for present grade
 needs to be gone here.
 Coorean not here. OK.

9/7/37. Work progressing
 slowly. OK.
 9/20/37. Same. OK.
 11/4/37. " OK.
 6/6/38. Foundation
 well along. Watch
 for support for grade
 wheel. All jobs in air
 house. OK.
 10/20/38. This work about
 done except for front
 piers and additional
 parts for grade. OK.
 11/7/39. Same. OK.
 3/6/39. Could not get
 OK.

49328

May 27, 1929

Miss Frances M. Bigelow
446 Cumberland Avenue
Portland, Maine

Dear Miss Bigelow,

Referring to your application for a building permit to move a storage shed on your property on City Point Road, Peaks Island, I find upon examination that a permit cannot be issued for moving this building unless the front of the building is kept at least fifteen (15) feet back of the line of City Point Road and unless the side wall of the shed is kept at least five (5) feet from your side lot line.

If you wish to conform to this location and will come to this office and change the location plan in the application for the permit accordingly we will shall be able to issue the permit promptly.

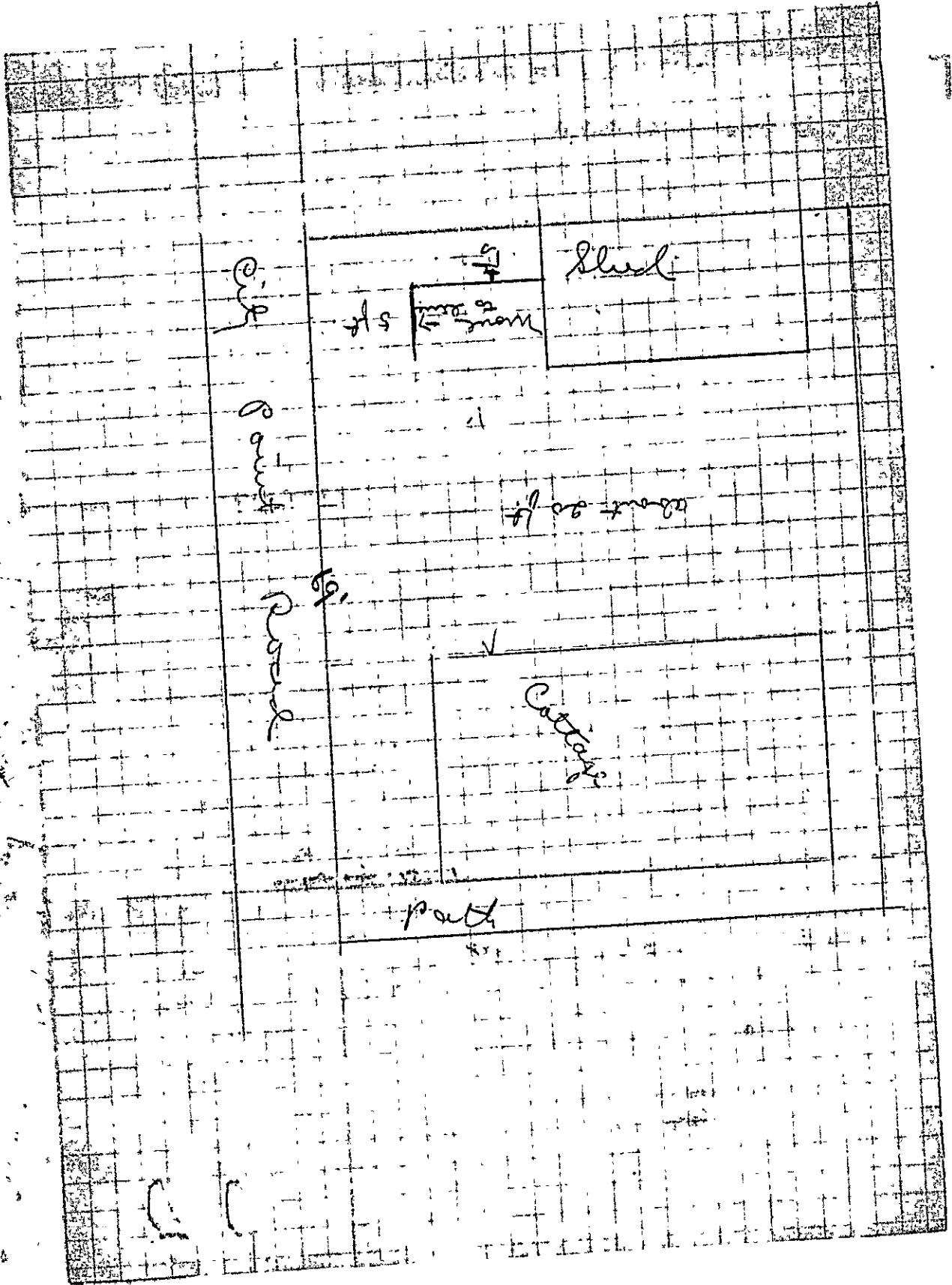
If you prefer to leave the shed in its present location and will return the receipt for the fee paid to this office your money will be refunded by voucher.

It is obvious, of course, that something must be done to this building very soon or it will be beyond repair as it is now in a precarious condition.

Very truly yours,

Inspector of Buildings.

Wh:HO





(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Third Class

Portland, Maine May 23, 1929

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location City Point Road, Peaks Island Ward 1 Within Fire Limits? No Dist. No. _____

Owner's or Lessee's name and address Frances H. Bigelow, 446 Cumberland Ave. Telephone F 3711

Contractor's name and address Owner Telephone _____

Architect's name and address _____

Proposed use of building storage shed (private) No. families _____

Other buildings on same lot dwelling house

Description of Present Building to be Altered

Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____

Last use storage shed No. families _____

General Description of New Work

To move building about 10' on same property

THIS PERMIT DOES NOT INCLUDE THE
RIGHT TO MOVE ANY BUILDING THROUGH
PUBLIC STREETS OF THE CITY

NOTIFICATION BEFORE LATENT
OR OCCUPANCY
CERTIFICATE OF OCCUPANCY
REQUIREMENTS IS WAIVED.

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation brick piers Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____

If oil burner, name and model _____

Capacity and location of oil tanks _____

Is gas fitting involved? _____ Size of service _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, r. i. _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one-story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? yes No. sheets 1

Estimated cost \$ _____ Fee \$ 50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner Frances H. Bigelow

INSPECTION COPY

9324

Ward J Permit No.

Location City Pt. Rd Peaks

Own Francis M. Bigelow

Date of permit

Opening-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

87
1
27



Location, Ownership and detail must be correct, complete and legible.
 Separate application required for every building.
 Plans must be filled with this application.

Application for Permit for Alterations, etc.

Portland May 16, 1922 192

To the
 INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:

Location City Point Road, Peaks Island Ward, 1 in fire limits 60
 Name of Owner or Lessee, Katie B Doyle Address Peaks Island
 Contractor, Wayland Bigelow " Peaks Island
 Architect _____

Description of Present Bldg.

Material of Building is wood Style of Roof, pitch Material of Roofing, shingle
 Size of Building is 30ft feet long; 15ft feet wide. No. of Stories, 1 1/2
 Cellar Wall is constructed of concrete is _____ inches wide on bottom and batters to _____ inches on top.
 Underpinning is _____ is _____ inches thick; is _____ feet in height.
 Height of Building 20ft Wall, if Brick; 1st, _____ 2d, _____ 3d, _____ 4th, _____ 5th.
 What was Building last used for? cottage No. of Families? 1
 What will Building now be used for? same

DETAIL OF PROPOSED WORK

build addition 9x12 one story high with asphalt roof
all to comply with the building ordinance

Estimated Cost \$ 150.

IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? 12ft; No. of feet wide? 9ft; No. of feet high above sidewalk? 12ft
 No. of Stories high? 1; Style of Roof? pitch; Material of Roofing? asphalt
 Of what material will the Extension be built? wood Foundation? posts
 If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls _____ inches.
 How will the extension be occupied? cottage How connected with Main Building? joined

WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised, or Built upon? _____ Proposed Foundations _____
 No. of feet high from level of ground to highest part of Roof to be? _____
 How many feet will the External Walls be increased in height? _____ Party Walls _____

IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? _____ in _____ Story
 Size of the opening? _____ How protected? _____
 How will the remaining portion of the wall be supported? _____

Signature of Owner or
 Authorized Representative _____
 Address _____

Wayland Bigelow

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

PLUMB REPORT

City Point Rd. Peaks

~~Pass~~

57-T-4
89-A-4100
Kass ED

PERMIT GRANTED

PERMIT GRANTED

May 16, 1922

192

Permit filled out by

Permit number

Location City Point Rd, Peaks Island

FINAL REPORT

Has the work been completed in accordance with this application and plans filed and approved? 192

Law been violated? Doc. No. of 192

Nature of violation?

PERMIT TO BE REMOVED. N. G. S. R.

BE REMOVED BY THE SIDE

Violation removed, when? 192

Estimated cost of alterations, etc., \$

Inspector of Buildings.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

ALLEN MORTON INSPECTOR OF BUILDINGS

THIS REPORT WAS PREPARED BY THE INSPECTOR OF BUILDINGS ON MAY 16, 1922. THE WORK WAS COMPLETED IN ACCORDANCE WITH THE APPLICATION AND PLANS FILED AND APPROVED. THE COST OF ALTERATIONS, ETC., WAS \$0.00. THE VIOLATION WAS REMOVED BY THE SIDE ON MAY 16, 1922.

923385

Permit # City of Portland BUILDING PERMIT APPLICATION Fee \$30. Zone _____ Map # _____ Lot# _____
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Avner Eisenberg Phone # 766-2945
 Address: 29 City Point Rd- Peaks Island, ME 04108
 LOCATION OF CONSTRUCTION 29 City Point Rd- Peaks Island
 Contractor: David Simpson Sub.: 766-3323
 Address: 99 Luther St- Peaks Isl Phone # ME 04109
 Est. Construction Cost: \$1700 Proposed Use: 1-fam w renovation Zoning: _____
 Past Use: 1-fam
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion Interior renovations - basement

For Official Use Only

Date 1/17/92 Subdivision _____
 Inside Fire Limits _____ Name WELL 24
 Bldg Code _____ Lt. WELL 24
 Time Limit _____ Ownership: _____ Public _____
 Estimated Cost 1700 CITY OF PORTLAND

Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) WDA-1-54-92

Foundation:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floor:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Material: _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____ Not in District nor Landmark.
 3. Type Ceilings: _____ Does not require review.
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____ Requires Review.

Roof:
 1. Truss or Rafter Size _____ Span Action _____ Approved
 2. Sheathing Type _____ Size _____ Approved with Conditions
 3. Roof Covering Type _____

Chimneys:
 Type: _____ Number of Fire Places _____ Date: 1/17/92

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By XXXXX Louise E. Chase
 Signature of Applicant David C. Simpson Date 1/17/92
 CEO's District David C. Simpson

6 Arthur Rowe White - Tax Assessor

CONTINUED TO REVERSE SIDE
Ivory Tag - CEO

City of Portland, Maine -- Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 22 City Point Rd Peaks Island		Owner: Avner Eisenberg	Phone:	Permit No. 950140
Owner Address:		Leasee/Buyer's Name:	Phone:	Business Name:
Contractor Name: Weigel Construction 2 Glen Rd		Address: Falmouth, ME 04105 781-5569		Phone:
Past Use: 1-fam	Proposed Use: Same w/enclosed porch	COST OF WORK: \$ 5,000.	PERMIT FEE: \$ 45.00	PERMIT ISSUED FEB 21 1995 CITY OF PORTLAND
Proposed Project Description: Enclose existing porch as per plans		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R5</i> Type: <i>SB</i> <i>190493</i> Signature: <i>Hoffa</i>	
Permit Taken By: Mary Grezik		Date Applied For: 16 Feb 95		

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Pick-up for debris

**PERMIT ISSUED
WITH REQUIREMENTS**

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT: *Ben Weigel* ADDRESS: *2 Glen Rd, Falmouth* DATE: *16 Feb 95* PHONE: *781-5569*

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: *Ben Weigel* PHONE: *781-5569*

Zone: *TR-2* CBL: *087-T-004/5/6*

Special Zone or Reviews:
 Shoreland Protection
 Wetland
 Flood Zone
 Subdivision
 Site Plan minor mm

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not In District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: *2/16/95*

CEO DISTRICT **6**

M.A. Brown

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$135.00 Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Avner Eisenberg Phone # 766-2945
Address: 29 City Point Rd. Peaks Island, ME 04108
LOC: CON OF CONSTRUCTION (29 City Point Rd. PI)
Contractor: David Simpson Sub: _____
Address: 99 Luther St. PI 04108 Phone # 766-3323
Est. Construction Cost: 23,000 Proposed Use: single family
Past Use: single family
of Existing Res. Units _____ # of New Res. Units _____
Building Dimensions L _____ W _____ Total Sq. Ft. _____
Stories: _____ # Bedrooms _____ Lot Size: _____
Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
Explain Conversion to construct addition as per plans

For Official Use Only

Date July 8, 1995 Subdivision _____ Name _____
Inside Fire Limits _____ Lot _____
Bldg Code _____ Ownership: _____ Public _____
Time Limit _____ Estimated Cost 23,000 Private _____

Zoning: TR2
Street Frontage Provided _____
Provided Setbacks: Front _____ Back _____ Side _____
Review Required:
Zoning Board Approval: Yes _____ No _____ Date: _____
Planning Board Approval: Yes _____ No _____ Date: _____
Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
Special Exception _____
Other (Explain) _____

Expects to generate pickup truck only (debris)
Foundation: CBI 87-T-4,5,6
1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____
Floor: Permit Never Issued
1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Ty _____ Size: _____
7. Other Material: _____
Exterior Walls: Put to file 24 APR 95
1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____
Interior Walls:
1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

Ceiling:
1. Ceiling Joists Size _____ Spacing _____ **HISTORIC PRESERVATION**
2. Ceiling Strapping Size _____ Spacing _____ **Not in District nor Landmark**
3. Type Ceilings: _____ **Does not require review**
4. Insulation Type _____ Size _____ **Requires Review**
5. Ceiling Height: _____
Roof:
1. Truss or Rafter Size _____ Spacing _____
2. Sheathing Type _____ Size _____ **Approved**
3. Roof Covering Type _____ **Approved with conditions**
Chimneys:
Type: _____ Number of Fire Places _____ Date: _____
Heating:
Type of Heat: _____
Electrical:
Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____
Plumbing:
1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____
Swimming Pools:
1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.
Permit Received By Latini
Signature of Applicant David C Simpson Date 7/8/95
Signature of CEO David Simpson Date _____
Inspection Dates _____

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

July 26, 1993

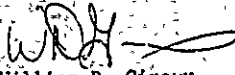
RE: 29 City Point Rd. Peaks Island
87-T-4,5,6

David Simpson
99 Tuttle St.
Peaks Island, ME 04108

Dear Mr. Simpson,

This letter is in reference to your application to construct an addition for Avner Eisenberg on City Point Road, Peaks Island. The proposed building addition would not be located 25' from the nearest property line and would violate the rear setback requirement as required in 14-145.11(3)b. It is also not clear that the addition would be 75' from mean high water as required by the ordinance. Please let me know if you would like to amend your plans.

Sincerely,


William D. Giroux
Zoning Administrator

/el

cc: P. Samuel Hoffses, Chief of Inspection Services
Arthur Rowe, Code Enforcement Officer

Eisenberg Addition
29 City Point Rd., Peaks Island
SITE PLAN lots 87-T-4,5,6
scale 1/4"=1'

80' TO REAR PROPERTY LINE (approx)

80' TO SIDE PROPERTY LINE (approx)

EXISTING DECK

Existing
2'-8"
6'-8" DOOR

Existing
2'-6"
6'-8" DOOR

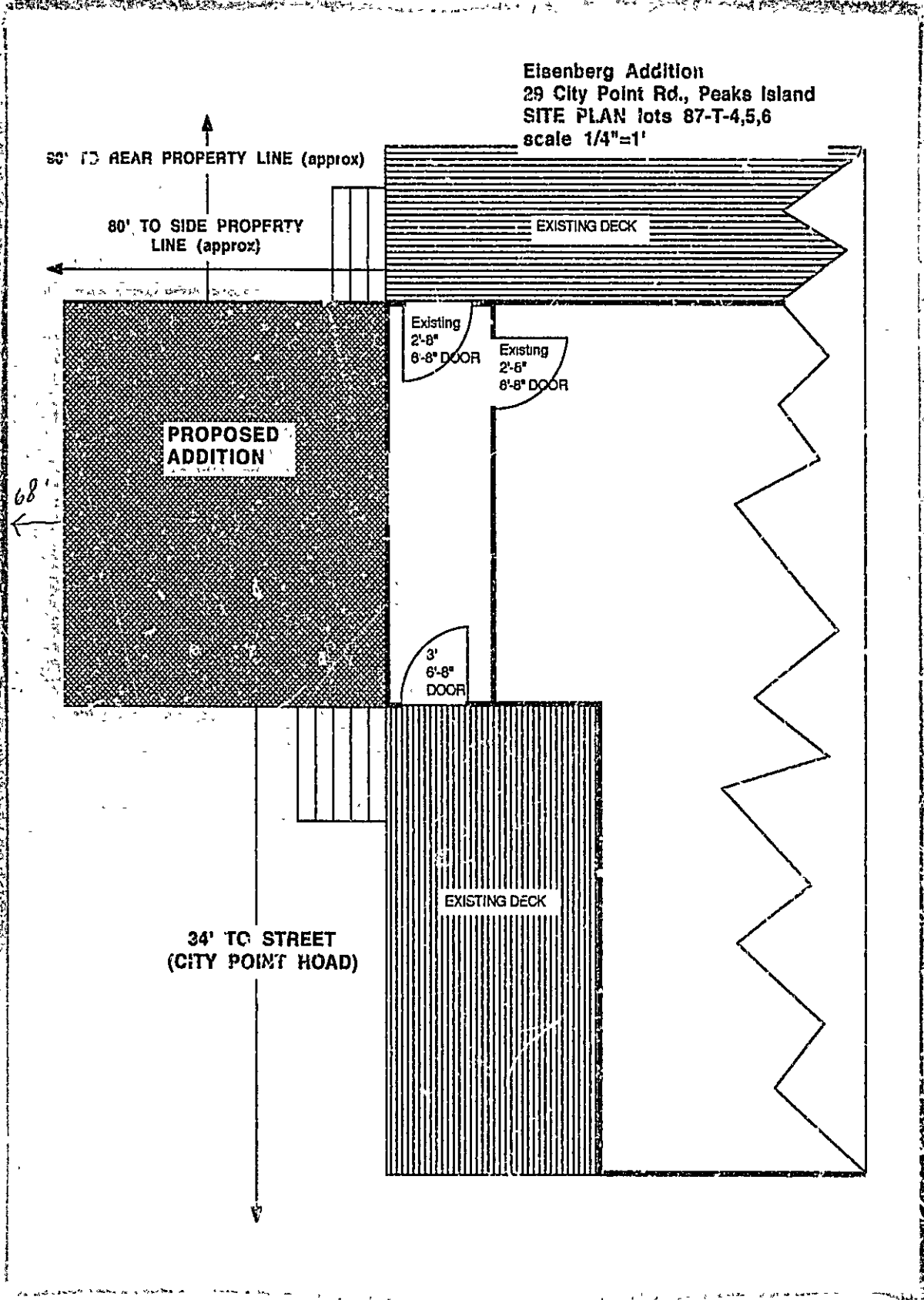
PROPOSED
ADDITION

68'

3'
6'-8"
DOOR

EXISTING DECK

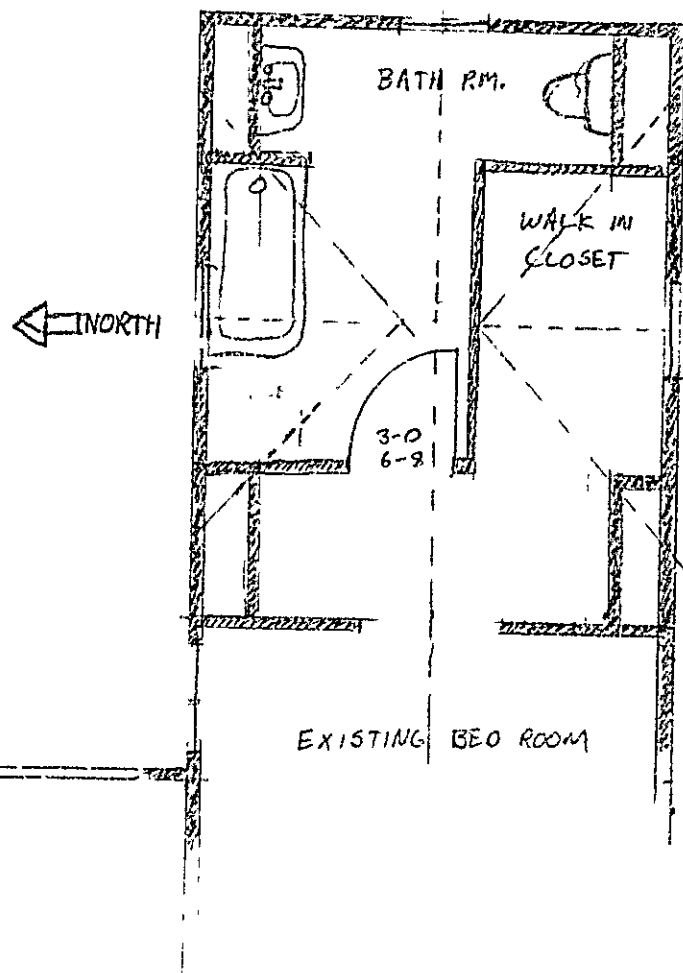
34' TO STREET
(CITY POINT ROAD)



EISENBERG ADDITION
29 CITY POINT ROAD

$\frac{1}{4}'' = 1'$

SECOND FLOOR PLAN



EISENBERG ADDITION

24 CITY POINT ROAD

1/4" = 1'

FIRST FLOOR PLAN

NOTES:

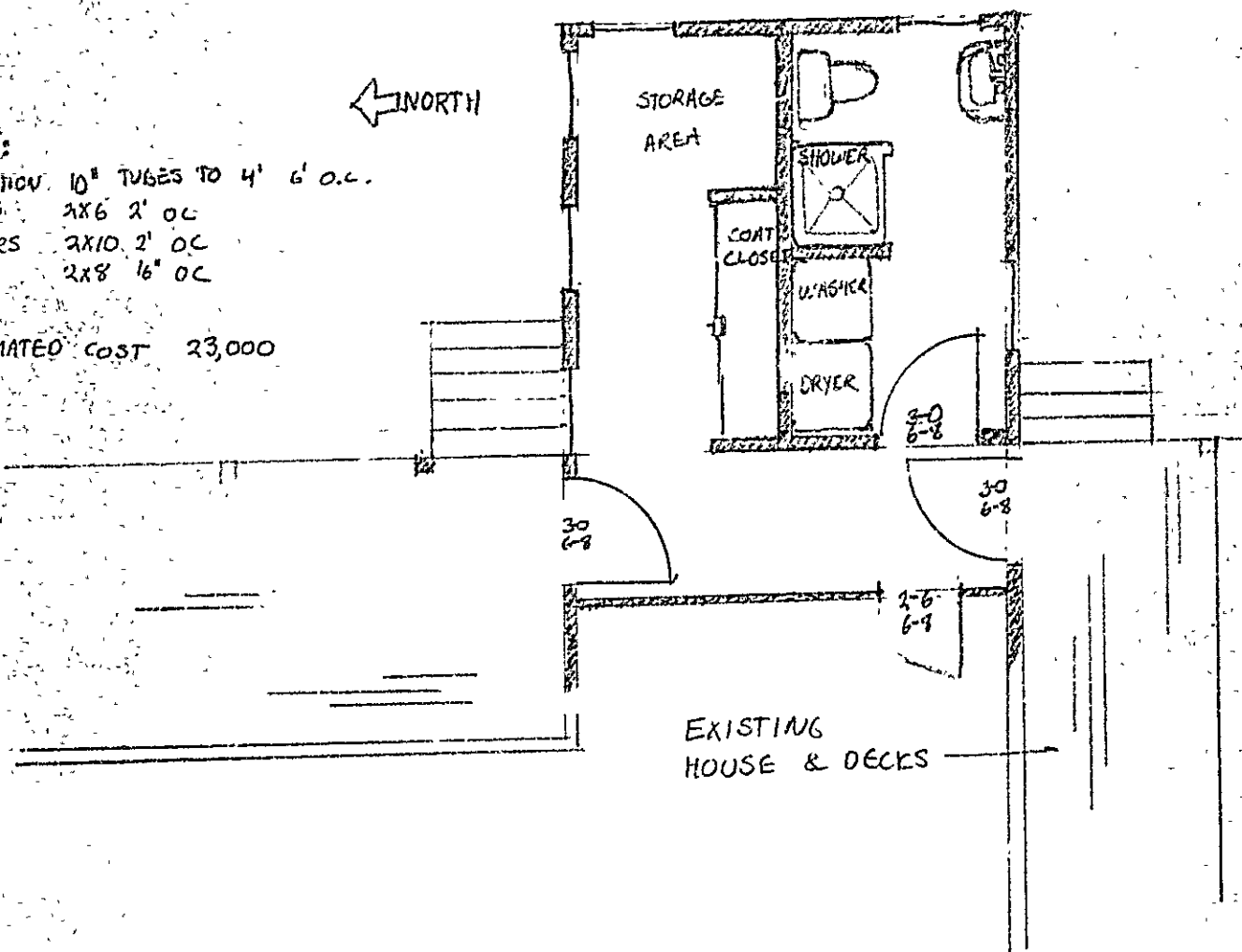
FOUNDATION 10" TUBES TO 4' 6" O.C.

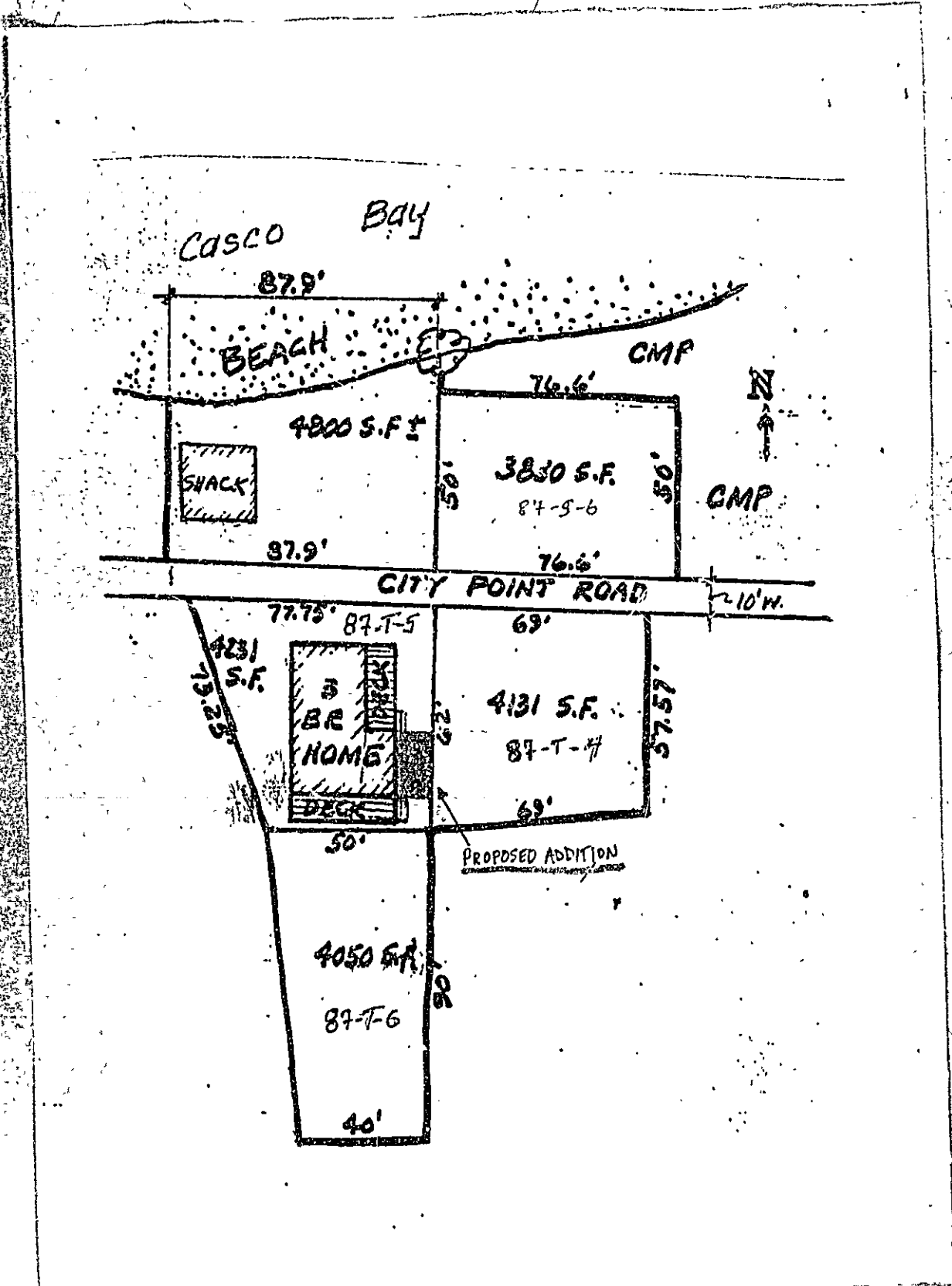
WALLS 2X6 2' O.C.

RAFTERS 2X10 2' O.C.

JOISTS 2X8 16" O.C.

ESTIMATED COST 23,000







PROPOSED ADDITION

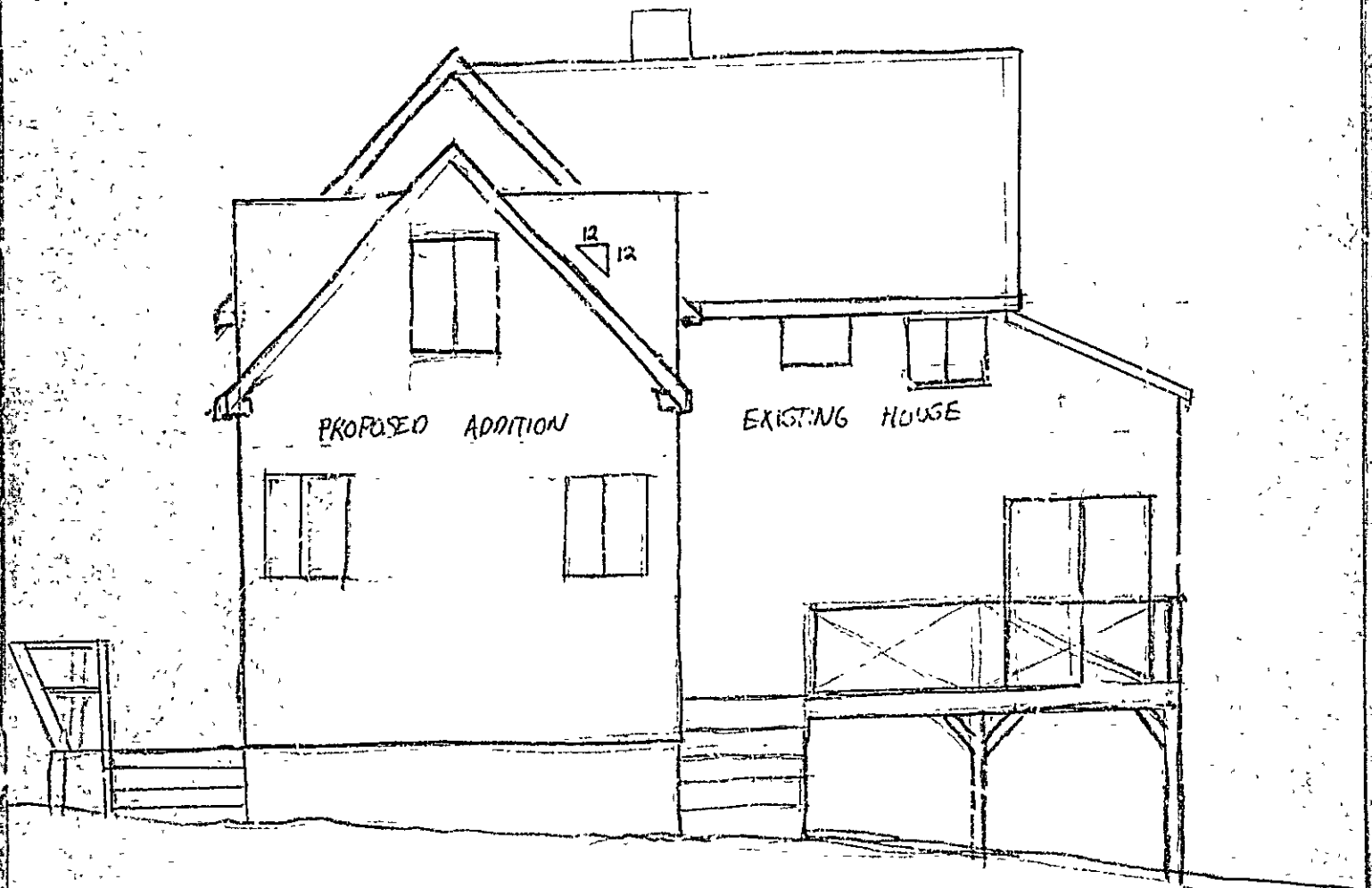
EXISTING
&
DECK

HOUSE

NORTH ELEVATION
29 CITY POINT ROAD

EAST ELEVATION 27 CITY POINT ROAD

$\frac{1}{4}'' = 1'$



Avner Eisenberg
29 City Point Road
Peaks Island, ME 04108
207-766-2945

William D. Giroux
Zoning Administrator
City of Portland
389 Congress Street
Portland, ME 04101

Dear Mr. Giroux,

This is in reference to our building permit application for the above address (87-T-4,5,6) that was submitted by David Simpson in July of 1993.

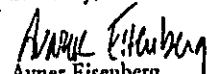
We would like to keep the application active and are taking steps to amend it so that there will be no violation of setback requirements. We are, however, having some difficulties which may take some time to work out. We are trying to contact our neighbor to see about buying a strip of the vacant lot abutting our land. He is elderly and has not been well and we are having trouble locating him. He may be with his family in Germany. Also, once we find him we would need to locate the site plans of his septic system to be sure he maintains his setback. He has indicated in the past a willingness to sell a strip of land to us, but was unsure of the setbacks.

We also are having trouble locating the "drill hole in ledge" indicated in the survey. We can't even find the ledge. I'm trying to track down another survey of the area that was done in the 80's by Ted Rand that may help us locate that corner more accurately.

Lastly, we have hired an architect to sketch alternate plans assuming we can't move the property line.

I travel for a living and will be attending to this as best I can when home on the island, and will submit an amended application as soon as I can. I hope you will be able to keep our application open in the interim.

Sincerely,


Avner Eisenberg

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 29 City Point Rd Pea's Island		Owner: Avner Eisenberg	Phone: 766-2945	Permit No.: 950328
Owner Address:		Leasee/Buyer's Name:	Phone:	Business Name:
Contractor Name: Ben Weigle 2 Glen Rd		Address: Falmouth, ME 04105 781-5569		Phone:
Past Use: 1-fam	Proposed Use: Same w/renovations		COST OF WORK: \$ 40,000.00	PERMIT FEE: \$ 220.00
Proposed Project Description: Construct addition (16 x 26) Enclose existing porches (2)		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 195 Type: SB Signature: <i>Hoffer</i>	CITY OF PORTLAND
Permit Taken By: Mary Gresik		Date Applied For: 06 April 1995		

PERMIT ISSUED
Permit issued:
APR 12 1995

Zone: CBL
TR-2 087-T-004/5/6
Zoning Approval: *[Signature]*
Special Zone or Reviews:
 Shoreland
 Wetland
 Flood Zone NA Zone C
 Subdivision
 Site Plan major minor minor

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: *4/15/95*

CEO DISTRICT **6**
A. Rowe

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

**PERMIT ISSUED
WITH REQUIREMENTS**

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

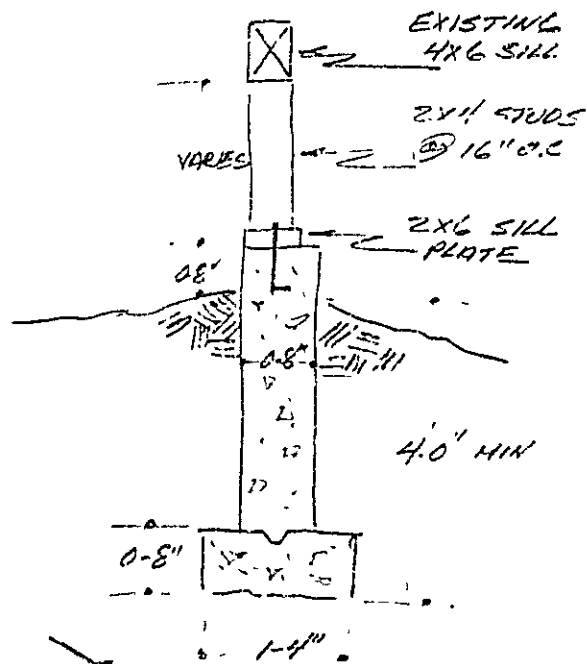
SIGNATURE OF APPLICANT: *Ben Weigle* ADDRESS: *2 Glen Rd.* DATE: *06 April 1995* PHONE: *781-5569*

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: *Ben Weigle* PHONE: *781-5569*

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CITY POINT RD., PEAKS ISL.

87-T-5



EDWARD PARKER
CITY POINT ROAD
PEAKS IS, ME 04108

LOT # ~~87-57~~
87-T-5

PROPOSED FROST
WALL FOUNDATION
COST - \$3000

RECEIVED

SEP 22 1976

DEPT. OF BLDG INSP
CITY OF PORTLAND



APPLICATION FOR PERMIT

PERMIT ISSUES

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 000830

SEP 25 1978

ZONING LOCATION PORTLAND, MAINE, 9-22-78

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 87-T-5 City Point Road, Peaks Island, Me. Fire District #1 [] #2 []
1. Owner's name and address Edward Parker-same Telephone
2. Lessee's name and address Telephone
3. Contractor's name and address Walter Crandall, Inc.-Luther St., Peaks Isl., Me. Telephone 767-3857
4. Architect Specifications Plans
Proposed use of building frost wall for cottage No. fam
Last use No. fam
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 3,000 Fee \$ 1,000

FIELD INSPECTOR-Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451 To construct frost wall as per
Dwelling Ext. 234
Garage
Masonry Bldg.
Metal Bldg. Stamp of Special Conditions
Alterations
Demolitions
Change of Use
Other

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [] 2 [] 3 [x] 4 []

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS
BUILDING INSPECTION-PLAN EXAMINER Will work require disturbing of any tree or a public street?
ZONING:
BUILDING CODE: 01-88-91.23.17-1 Will there be in charge of the above work a person competent
Fire Dept.: to see that the State and City requirements pertaining thereto
Health Dept.: are observed?
Others:

Signature of Applicant R. S. G. Maloney Phone #
Type Name of above Roger Maloney 1 [] 2 [] 3 [x] 4 []

FIELD INSPECTOR'S COPY

For Walter Crandall and Adgr.

NOTES

May 10/79 Work completed

Permit No. 78/0839

Location 87-T-5-C-9-1-01-01-91

Owner Edward Parker

Date of permit 9-22-78

Approved 9-25-78

[Empty lined area for notes]

[Empty lined area for notes]



(A) APARTMENT HOUSE ZONE PERMIT ISSUED
APPLICATION FOR PERMIT

Permit No. 112-53
JUL 10 1913

Class of Building or Type of Structure Third Class

Portland, Maine, July 9, 1913

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter or repair the following building structure—equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location City Point Road, Paeks Island Within Fire Limits? no Dist. No. _____
Owner's or Lessee's name and address Eugene L. Trott, City Point Road Telephone: no
Contractor's name and address Owner Telephone _____
Architect _____ Plans filed _____ No. of sheets _____
Proposed use of building dwelling house No. families 1
Other buildings on same lot _____
Estimated cost \$ 50. Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
Last use dwelling house No. families 1

General Description of New Work

To glass in portion of existing one front porch

More than half of the area of the vertical enclosing walls will consist of window sash or glass area of doors

Picture existing with roof over same prior to Dec. 5, 1913

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF GUARANTEE
REQUIREMENT IS WAIVED

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? _____ Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls; thickness of walls? _____ height? _____
If a Garage _____
No. cars now accommodated on same lot. _____ to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Eugene L. Trott

INSPECTION COPY



Original No. DP 136/189/1227 (1)

Amendment No. 1

AMENDMENT TO APPLICATION FOR PERMIT 11936

Portland, Maine, August 31, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 89/1227 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location City Point Road, Peaks Ward 121.2 With the Fire Limits? No Dist. No. _____

Owner's or lessee's name and address Mrs. Mauda Trutt, Peaks Island

Contractor's name and address Owner

Plans filed as part of this Amendment EG No. of Sheets _____ Additional fee \$.50

Increased cost of work _____

Description of Proposed Work

To enlarge existing rear porch by including portion 4x6' of existing platform, new rafters 2x4, 16" OSB, 4' span, ~~2x4 corner post~~ 25' to nearest lot line

Mrs. Mauda Trutt

Signature of Owner, Maude Trutt

Approved: _____

Approved: 8/31/36

Chief of Fire Department

Commissioner of Public Works

Inspector of Buildings

INSPECTION COPY

Permit No 43/65.3

Location City Point Road, Reeds

Owner Eugene L. Tait

Date of permit 7/10/43

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

87

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5

City of Portland, Maine -- Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 22 City Point Rd Peaks Island		Owner: Avner Eisenberg	Phone:	Permit No: 250140
Owner Address:		Leasee/Buyer's Name:	Phone:	Business Name:
Contractor Name: Weigel Construction 2 Glen Rd		Address: Falmouth, ME 04105 781-5569		Phone:
Past Use: 1-fan	Proposed Use: Some w/enclosed porch	COST OF WORK: \$ 5,000.	PERMIT FEE: \$ 45.00	Permit Issued: FEB 21 1995 CITY OF PORTLAND Zone: 2-2 CBL 057-7-004/516 Zoning Approval: 06/19/95 S Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Proposed Project Description: Enclose existing porch as per plans		INSPECTION: Use Group 33 Type: 5B BOCA 93 Signature: <i>[Signature]</i>	INSPECTION: Signature: <i>[Signature]</i>	
Permit Taken By: Mary Grosik	Applied For: 16 Feb 95	PEDESTRIAN ACTIVITIES DISTRICT (BY D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> <input type="checkbox"/> Denied <input type="checkbox"/> Signature: _____ Date: _____		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied

- This permit application doesn't preclude the Applicant from meeting applicable State and Federal rules.
- Building permits do not include plumbing, sept or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Pick-up for debris

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT <i>[Signature]</i>	ADDRESS: 2 Glen Rd, Falmouth	DATE: 16 Feb 95	PHONE: 781-5569
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE: 781-5569

Action:
 Approved
 Approved with Conditions
 Denied
 Date: **2/16/95**
[Signature]
 CEO DISTRICT: **6**
[Signature]

White-Permit Desk Green-Assessor's Office Blue-D.P.W. Pink-Public File Ivory Card-Inspector

COMMENTS

6/13/96

Completed
O. Rowe

Type	Inspection Record	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

BUILDING PERMIT REPORT

DATE: 21 Feb / 95 Address 22 C.T. Point Rd. P.T

REASON FOR PERMIT: To Enclose Porch

BLDG. OWNER: Auder Eisenberg

CONTRACTOR: Wajzel Const APPROVED

PERMIT APPLICABLE: *1, *2 REMARKS:

CONDITION OF APPROVAL OR DENIAL:

- *1 Before concrete for foundation is placed, approvals from Public Works and Inspection Service must be obtained. (a 24 hour notice is required prior to inspection).
- X 2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a register land surveyor check all foundation forms before concrete is placed.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hr., including fire doors with selfclosers.
5. Each apartment shall have access to (2) separate, remote and approved means of egress. A single exit is acceptable when it's exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosing with one (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply system having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An indication shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 sq. ft. per sprinkler.
7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of special knowledge or separated tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping room must have minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm) and a minimum net clear opening of 5.7 sq. ft.
8. This permit does not preclude the applicant from obtaining any license needed from the City Clerk's office.

9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the building code 219.3.2 (BOCA National Building Code 1993), and NFPA 101 Chapter 18 & 19. (smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms;
2. In all bedrooms;
3. In each story within a dwelling unit, including basements.

10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993)

11. Guardrails & Handrails - A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Group 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.

12. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024.0 of the City's building code. (The BOCA National Building Code/1993)

13. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise.

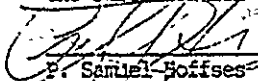
14. Headroom in habitable space is a minimum of 7'6".

15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.

16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.

17. Section 25-135 of the Municipal Code for the City of Portland states "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.


P. Samuel Hoffes
Chief of Inspections

/dmr: 01/14/94(redo w/additions)

EXISTG. DECK
REMOVED

EXISTG. HOUSE

NEW SURFACE ON FOOTPRINT
OF CORNER OF EXISTG. DECK

EXISTG. DECK
REMOVED

NEW DECK

NEW DECK

NEW DECK

78'E
LOT 97.7-5

07'E
LOT 91.7-4

15' PLANTING
TO BE CONT.

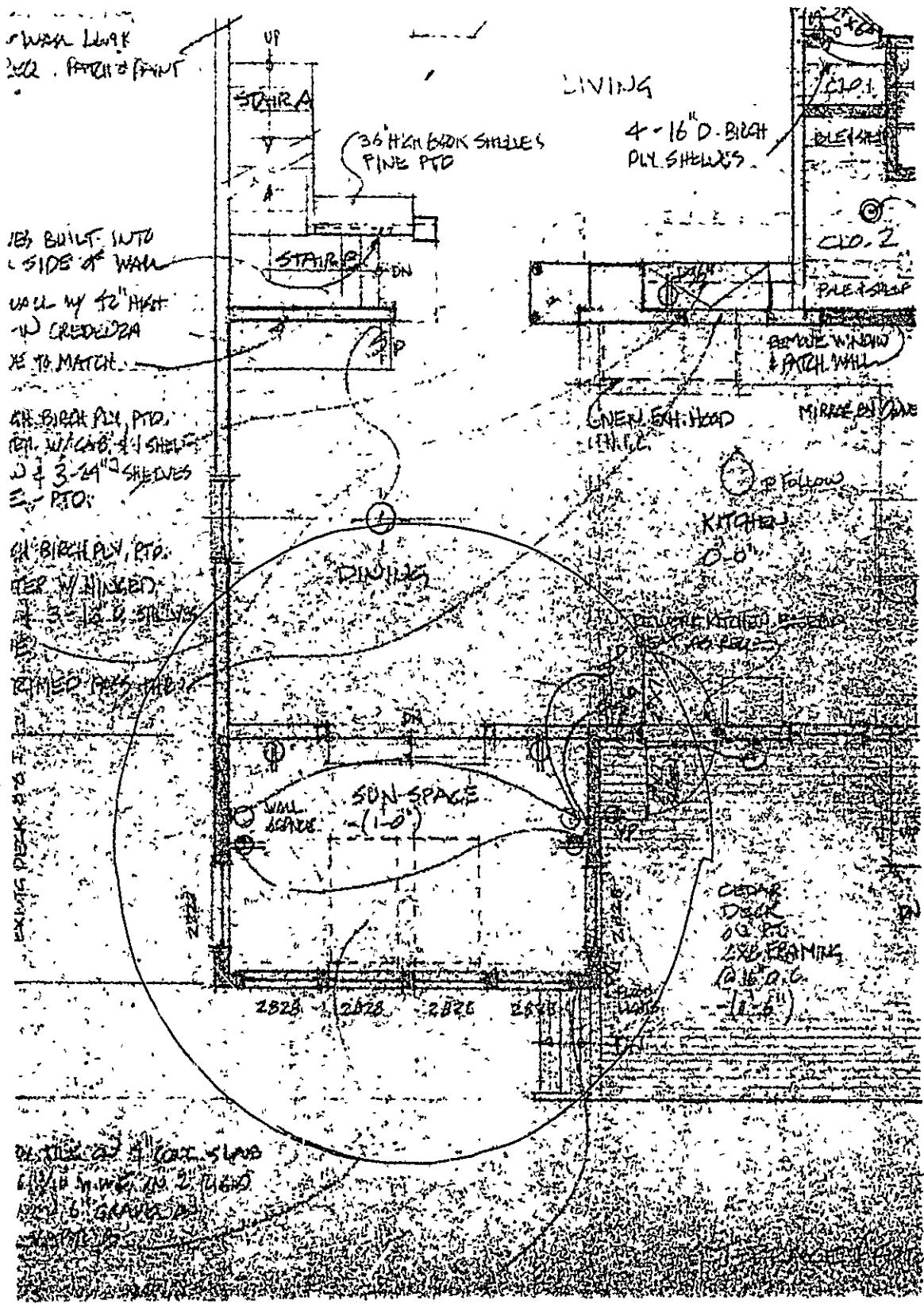
1787-6

BEHIND EXISTG.
SEPTIC FIELD

Close in 1/2 existing
Deck only 8' x 12'

SITE PLAN 1" = 50'

Eisenberg / Goell House
22 City Pt Rd
Peat Island



WASH LARK
 202 . PATCH & PAINT

UP
 STAIRS

LIVING

36" HIGH BOOK SHELVES
 PINE PTD

4-16" D. BIRCH
 PLY SHELVES

1/2" BUILT INTO
 SIDE OF WALL

WALL BY 42" HIGH
 W/ CREDENZA
 XE TO MATCH

48" BIRCH PLY PTD.
 PER W/ CAB. 4-1 SHELVES
 W/ 3-24" SHELVES
 E- PTD

48" BIRCH PLY PTD.
 PER W/ HINGED
 3-12" SHELVES

TRIMED PLY PTD

EXHIBIT DESK 2-10-5

STAIRS

CLO. 1

BLEND

CLO. 2

PAPER SLIP

ARMED WINDOW
 & PATCH WALL

GREEN EXT. HOOD

MIRROR ON WALL

KITCHEN

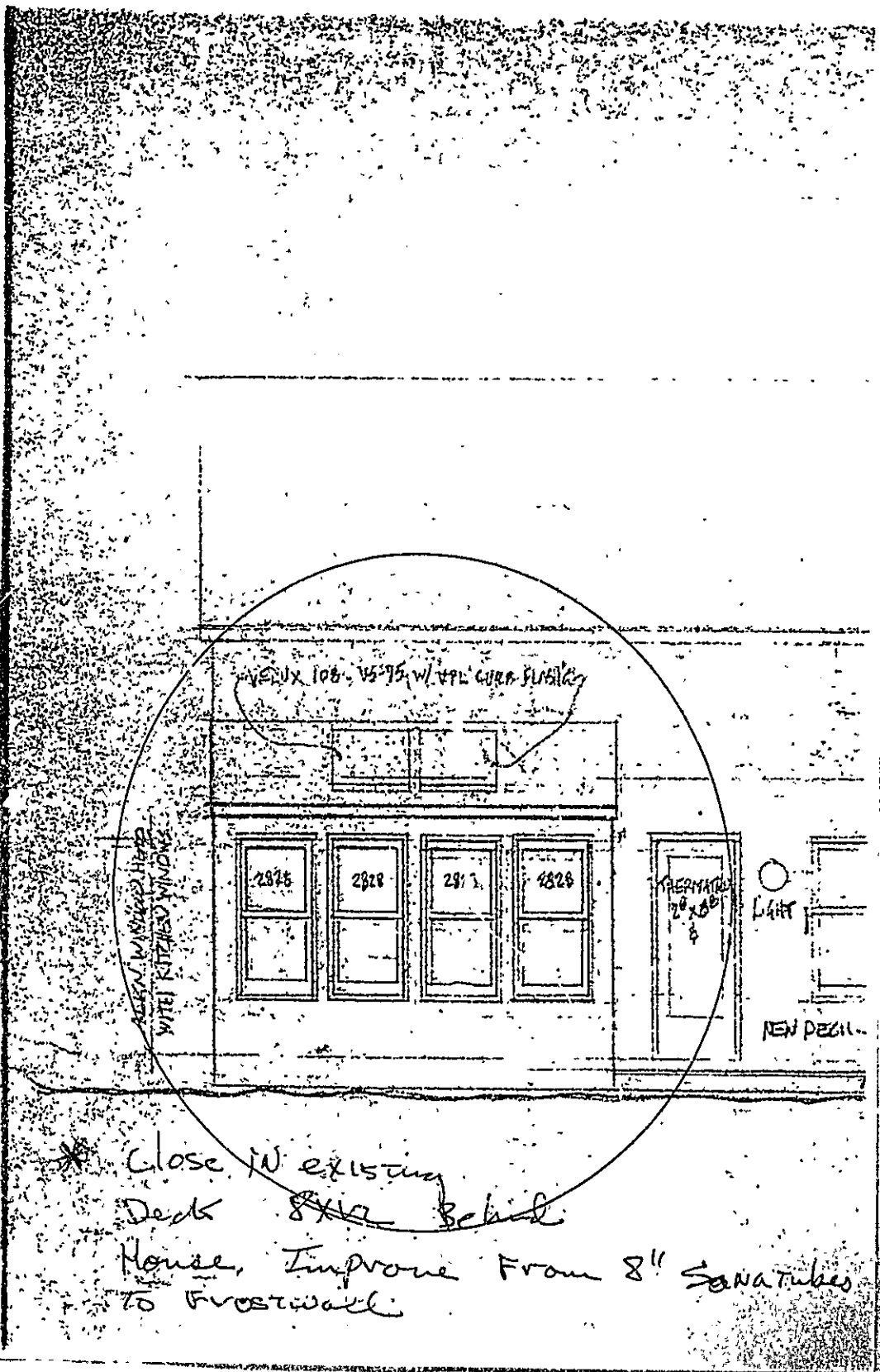
DINING

SUN SPACE
 (1-0')

CEDAR
 DECK
 20' x 10'
 2x6 FRAMING
 @ 16" O.C.
 (1-1')

ON THE 2nd FLOOR STAIRS
 W/ 18" WIDE AS 2' (16")
 W/ 3" GAP

2020 2020 2020 2020



* Close to existing
 Deck 8'x12' behind
 House, Improve from 8" S&N tubes
 to Frostwall

LA L.P. COLTEN
247 NASHIK, CAS
SHELF BELOW,
HELPER ABOVE

WORKED
HIRE

STAIRS

2x6

NEW CEILING

BREAKER

36" PX.
W/11 SHE
SOUTH H
3-12" D.
ABOVE

RELOCATE
EXISTG ELEC
PANEL AS
REQD

RELOCATED DOOR

EXISTG
FURN.

RELOCATE
OIL TANK
FURN VENT
WORK AREA

WATER MAIN (N.I.C.)

STORAGE B1

4" CONC. SLAB W/ 11K/12%
ON 2" RIGID, ON 6" GRAVEL
ON 6" M.L.V.S.

8" CMU WALL

Remove Extra Tubes

City of Portland, Maine -- Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 29 City Point Rd Peaks Island		Owner: Arvoer Eisenberg	Phone: 766-2945	Permit No: 950328
Owner Address:	Leasee/Buyer's Name:	Phone:	Business Name:	PERMIT ISSUED Permit issued: APR 12 1995
Contractor Name: Ben Weigle	Address: 2 Glen Rd Falmouth, Me 04105	Phone: 781-5569		
Past Use: 1-2ax	Proposed Use: Same w/renovations	COST OF WORK: \$ 40,000.00	PERMIT FEE: \$ 220.00	CITY OF PORTLAND Zone: CBL 087-T-004/576 Zoning Approval: 2
Proposed Project Description: Construct Addition (16 x 26) Enclose existing porches (4)		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group A3 Type SB Signature: [Signature]	
PEDESTRIAN ACTIVITIES DISTRICT (PAD)		Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____	Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone N/A <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Permit Taken By: Mary Gralik	Date Applied For: 06 Apr 11 1995	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied		

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

PERMIT ISSUED
NO FURTHER ACTION

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: [Signature] ADDRESS: 2 Glen Rd DATE: 06 April 1995 PHONE: 781-5569
 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: _____ PHONE: _____

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: 4/15/95

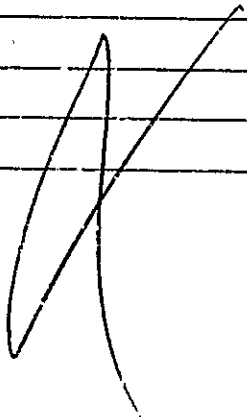
Signature: [Signature]

SEO DISTRICT 6
[Signature]

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

COMMENTS

Multiple horizontal lines for handwritten comments, currently blank.



Inspection Record

Type	Date
Foundation: <u>OK Above</u>	
Framing: <u>OK Above</u>	
Plumbing: _____	
Final: <u>OK Above</u>	<u>6/17/96</u>
Other: _____	

BUILDING PERMIT REPORT

DATE: 12/Apr/95 ADDRESS: 29 City Point Rd. Peaks Island.
 REASON FOR PERMIT: Construct addition (16x26) enclosure existing Parks
 BUILDING OWNER: Auner Eisenberg
 CONTRACTOR: _____ APPROVED: *1*7*9*10
 PERMIT APPLICANT: _____ ~~APPROVED~~: *11*14*16

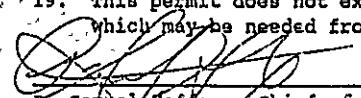
CONDITION OF APPROVAL OR DENIAL

- X 1. Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with selfclosers.
5. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosing with one (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 sq. feet per sprinkler.
- X 7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508 mm), and a minimum net clear opening of 5.7 sq. feet.
8. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- X 9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, section 19, 919.3.2 (BOCA National Building Code/1993), and NFPA 101 Chapter 18 : 19. (Smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms
2. In all bedrooms
3. In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

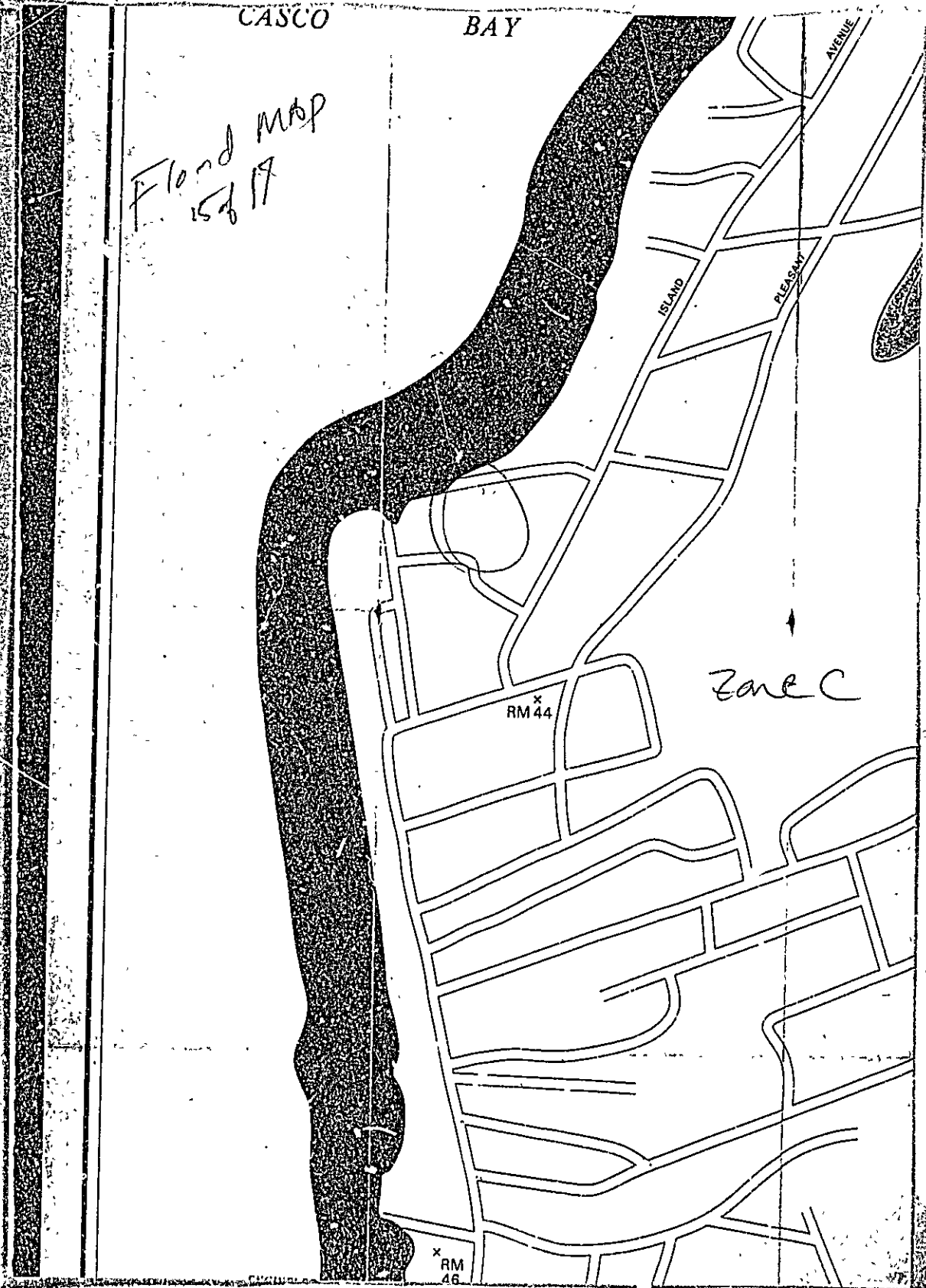
- X 10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993)
- X 11. Guardrail & Handrail. -A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures; open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
12. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024. of the City's building code. (The BOCA National Building Code/1993)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise.
- X 14. Headroom in habitable space is a minimum of 7'6".
15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
- X 16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
17. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
18. The builder of a facility to which section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
19. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's Office.


P. Samuel Hoffses, Chief of Inspection Services

/el 3/16/95

CASCO BAY

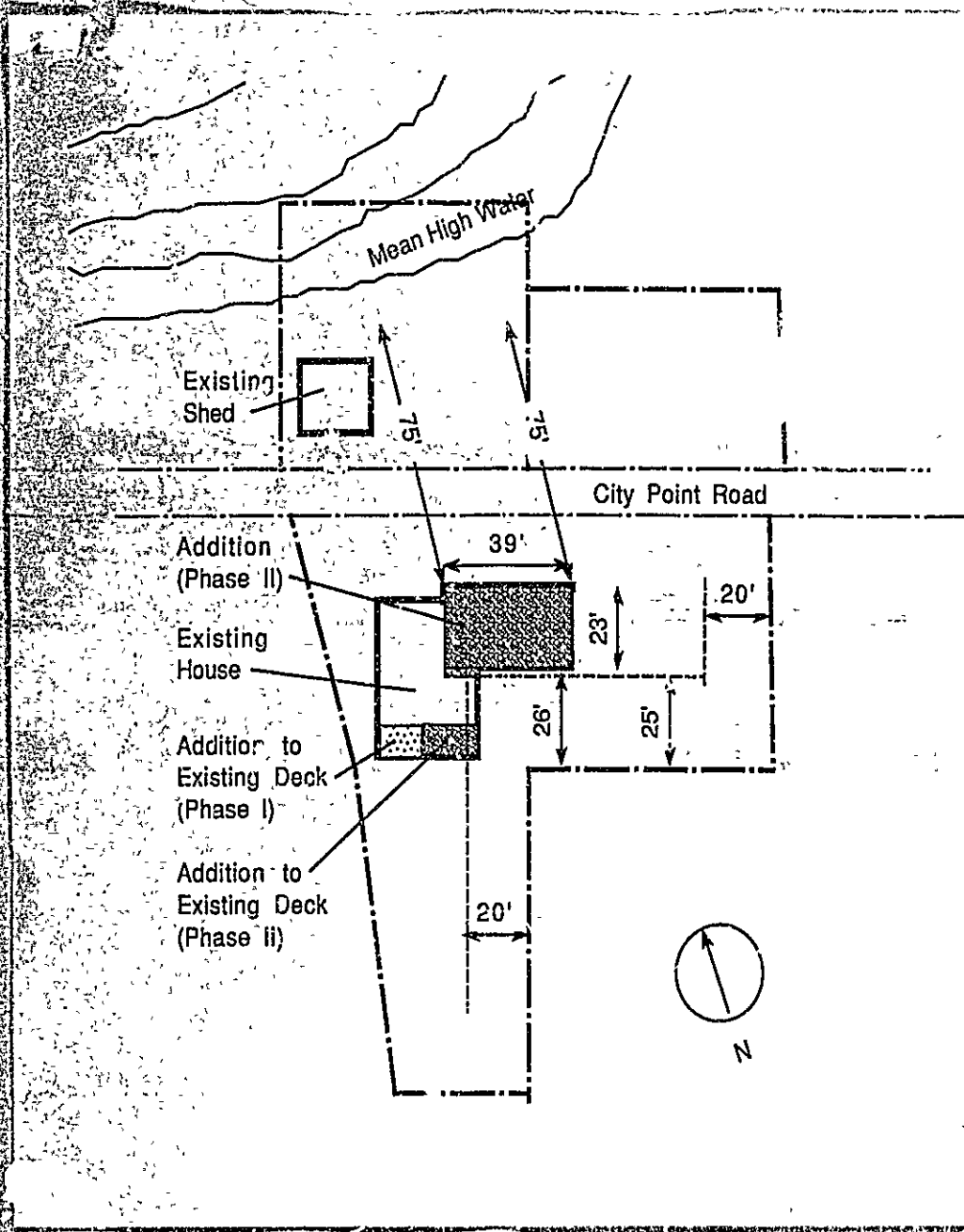
Flood MAP
15th 17



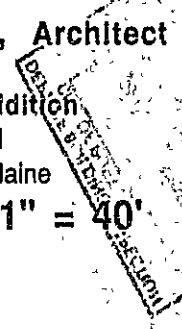
Zone C

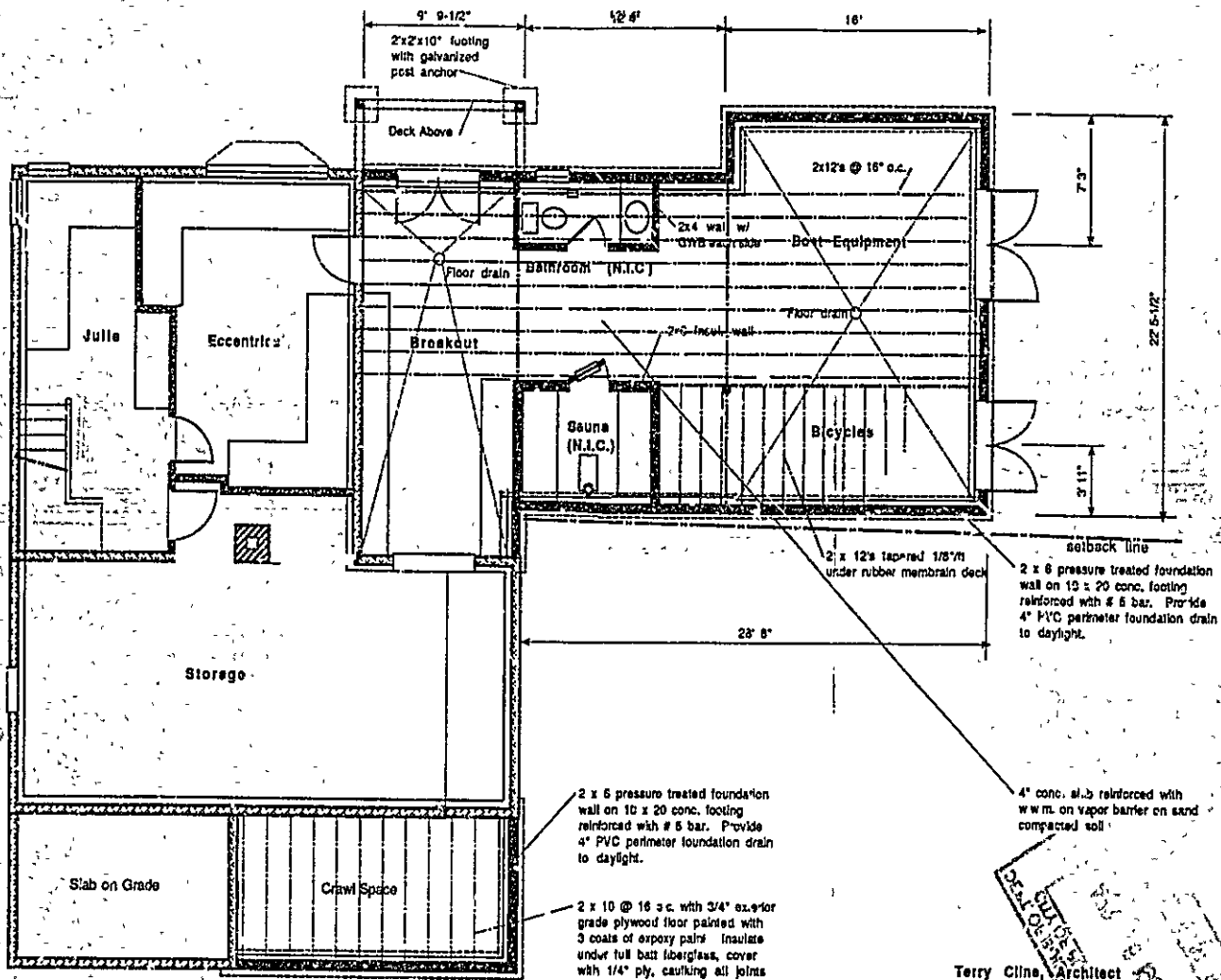
* RM 44

* RM 46



Terry Cline, Architect
 766-5106
 Eisenberg Addition
 City Point Road
 Peaks Island, Maine
Site Plan 1" = 40'
 April 6, 1995

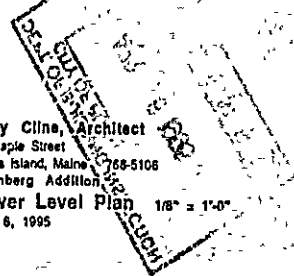


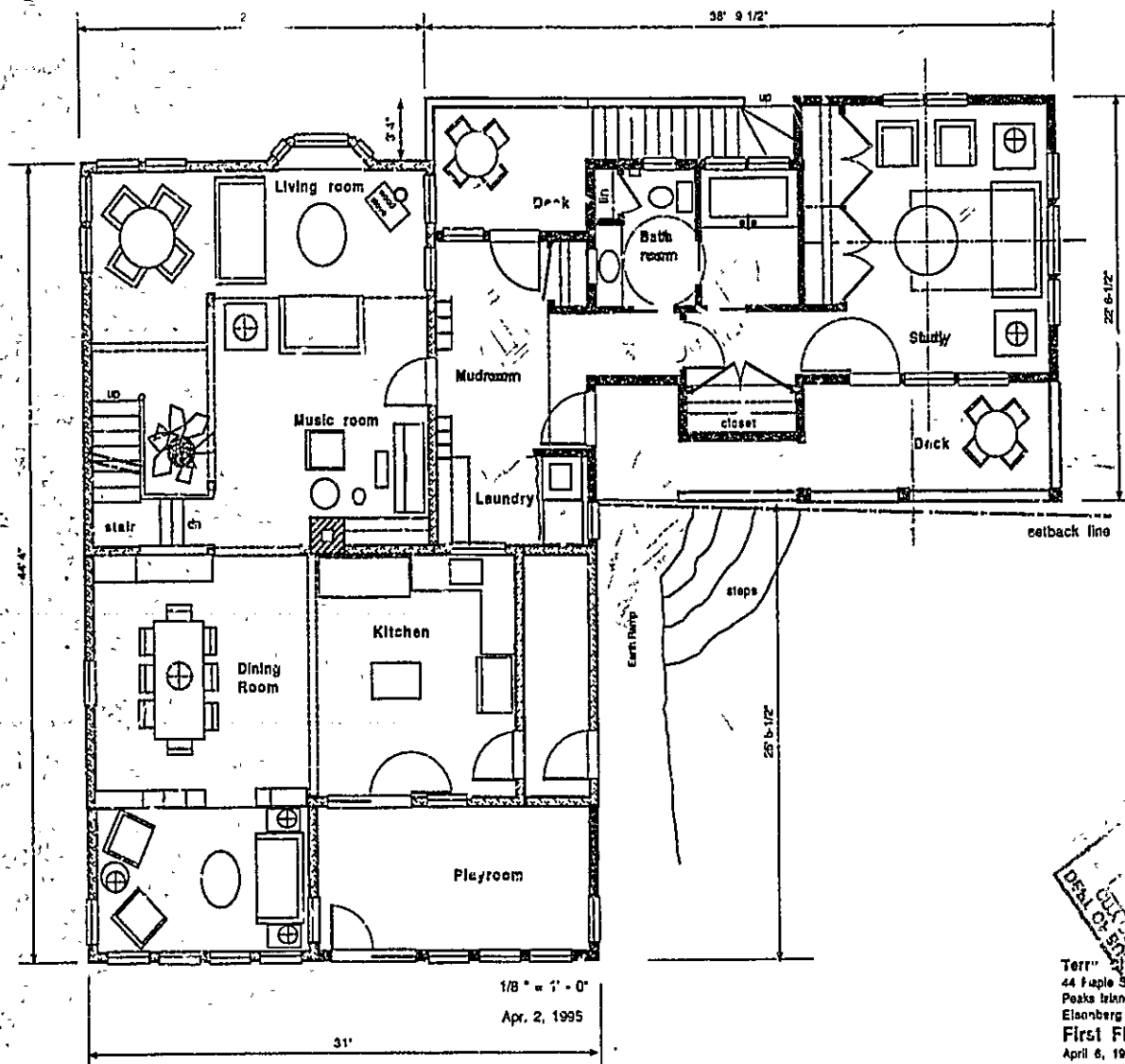


Terry Cline, Architect
 44 Maple Street
 Peaks Island, Maine 068-5108
 Eisenberg Addition

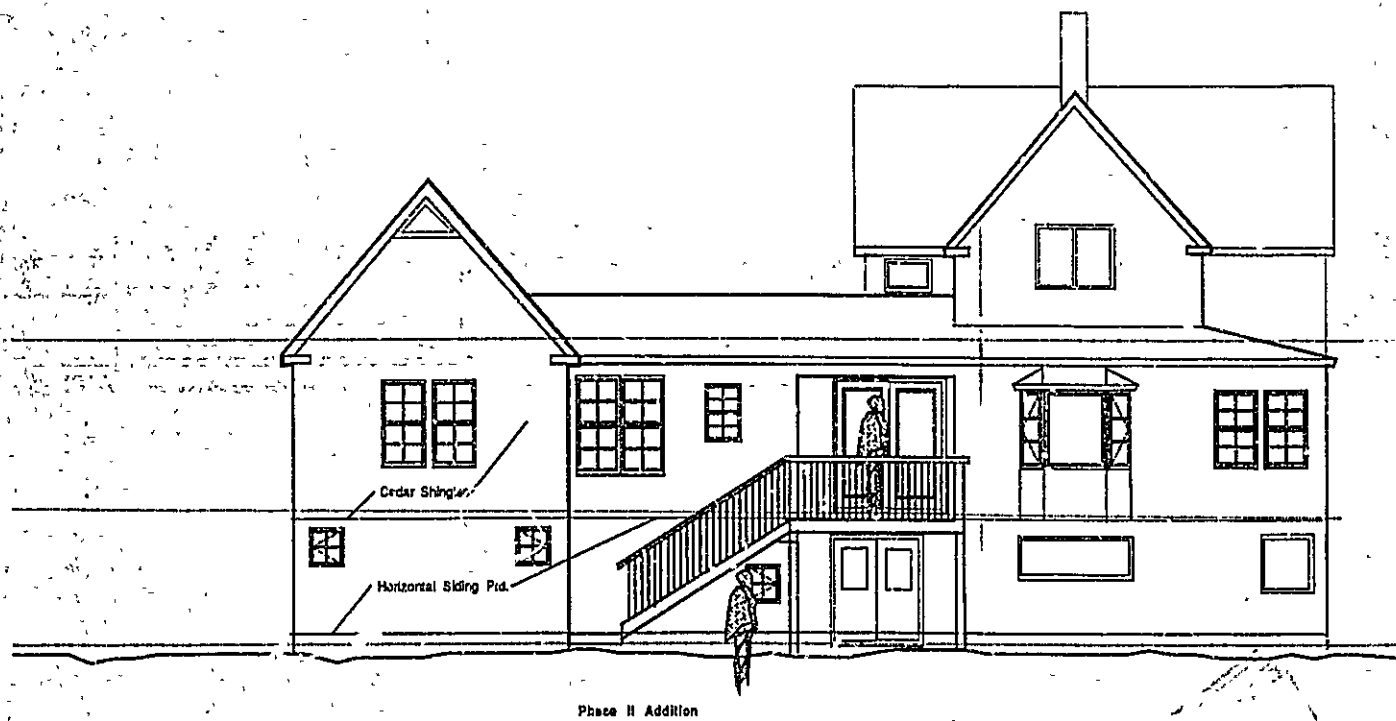
Lower Level Plan 1/8" = 1'-0"

April 6, 1995



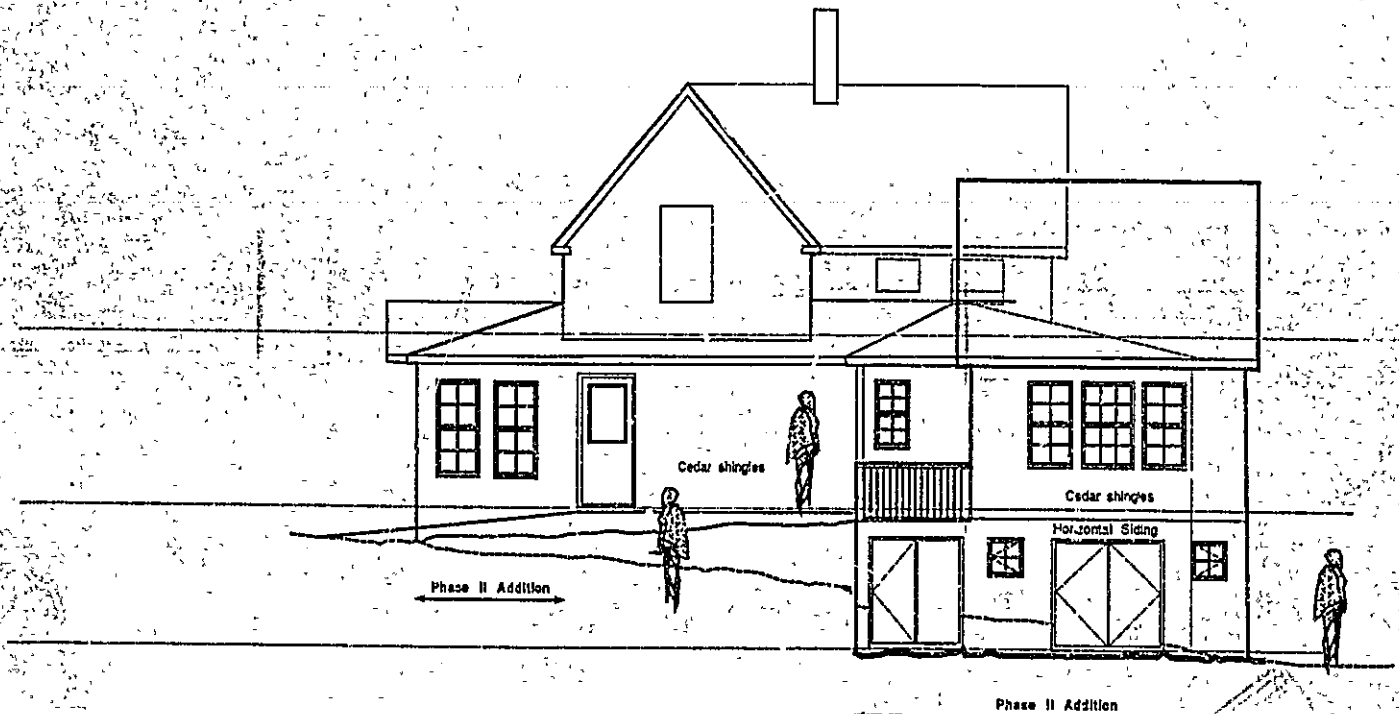


TERRILL ARCHITECT
 44 Maple Street
 Peaks Island, Maine 768-5108
 Eisenberg Addition
First Floor Plan 1/8" = 1'-0"
 April 6, 1995

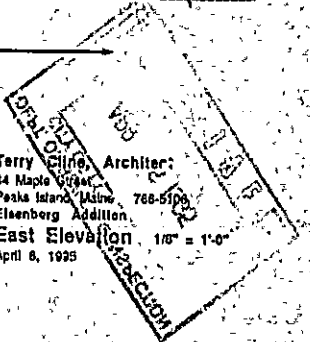


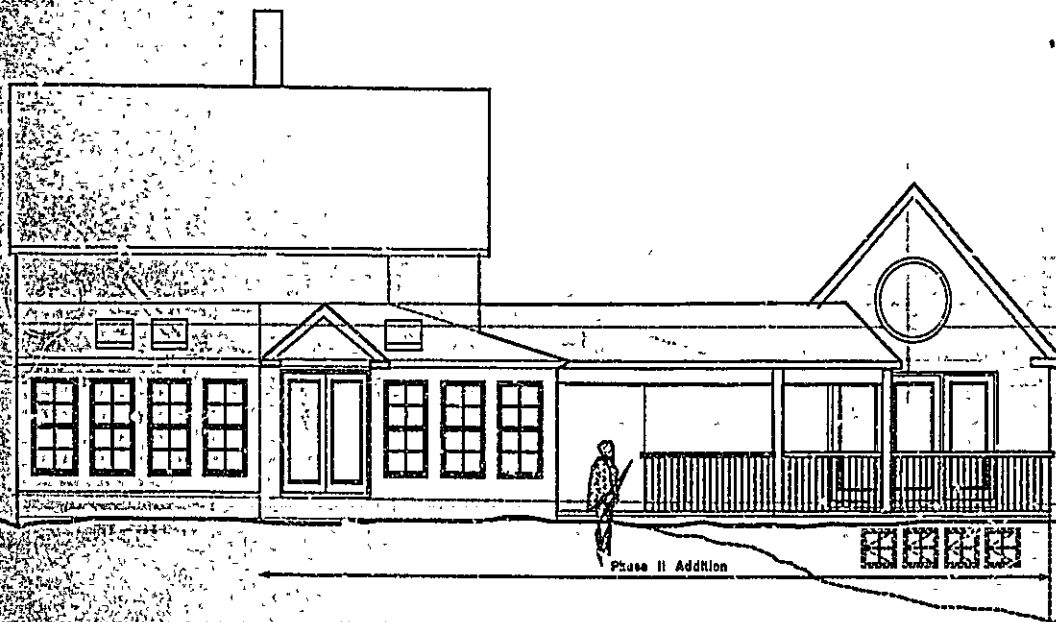
Phase II Addition

Terry Cline, Architect
44 Maple Street
Peaks Island, Ma. 768-5106
Eisenberg Addition
North Elevation 1/8" = 1'-0"
April 6, 1995

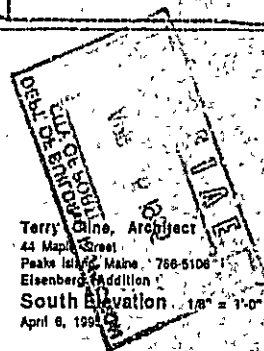


Terry Cline, Architect
44 Maple Street
Peaks Island, Maine 768-5100
Elsenberg Addition
East Elevation 1/8" = 1'-0"
April 8, 1995





Phase II Addition



Terry Caine, Architect
44 Maple Street
Peaks Island, Maine 768-5106
Eisenberg Addition
South Elevation
April 6, 1994

Applicant: Ben Wigal
Address: 29 City Point Rd
Assessors No.: 087-T-4, 5, 6

Date: 4/10/95

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - IR-2

Interior or corner lot -

Use - Construct Addition (16x2'!) enclose existing photos (2)

Sewage Disposal -

Rear Yards - 25' req - N/A

Side Yards - 20' on side yard st - others 20' - 20' + shown

OK → Front Yards - 25' req or averaging front yard depths. - See Attached Submittal fax of 4/4/95

Projections -

Height -

Lot Area -

Building Area -

Area per Family -

Width of Lot -

Lot Frontage -

Off-street Parking -

Loading Bays -

Site Plan - N/A

Shoreland Zoning - yes - is in but per what is shown, over 75' from Mean High Water

Flood Plains -

• Architectural Design & Management • Space - Therapy Consulting • Educational Workshops

Marge Schmuckle - Zoning Officer
Portland City Hall
Portland, Maine 04101

Fax: 874-8716

April 11, 1995

Re: Eisenberg City Point Property Building Permit

Dear Marge Schmuckle;

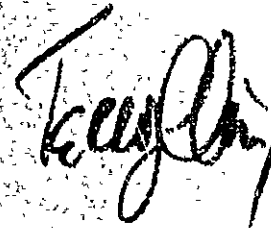
The enclosed Site Plan, dated April 11, is being faxed to you at your request through builder Ben Weigel.

The field measurements shown indicate that the proposed addition that protrudes 3'-4" (as indicated on Floor Plan that Ben Weigel submitted along with the building permit application) beyond the North face of the existing house seems to comply with the city code on allowable set backs on Peaks Island. This is based on my current understanding that an addition to an existing structure shall not protrude beyond a line drawn between the nearest front corners of adjacent houses.

I would also like to clarify how we got this far without submitting this information. Several months ago, in an attempt at getting first hand information and tentative project approval, I spoke with Bill Giroux regarding this project. Based upon preliminary plans and site plan, he informed me that the addition could be as close as the average setback of the houses along the street. He made no mention that only the adjacent houses could be used in determining this setback. As the average setback of those four additional houses (see Site Plan for two additional house set backs to the West of Eisenberg house) is 13'-9", I did not think we had a problem at all and therefore did not bother submitting the information that you have asked for.

As we are eager to resolve this issue as soon as possible, please don't hesitate in contacting me should you need any further information.

Sincerely



Terry Cline, Architect

E-mail: TCline@aol.com

Sustainable Environments

Forty Four Maple Street, Peaks Island, Maine 04103, Tel. & Fax: 207-766-5106