
CITY POINT ROAD
87-S-9
PEAKS ISLAND

APPLICATION FOR PERMIT

DEPARTMENT OF BUILDING INSPECTIONS SERVICES

ELECTRICAL INSTALLATIONS

Date 8-21, 19 79
Receipt and Permit number A28985

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 87-S-9 City Point Rd., Peaks Island, Me.
OWNER'S NAME: Henry Davidson ADDRESS: 290 Pleasant View Rd., Scarboro, Me.

	FEES
OUTLETS: Receptacles ____ Switches ____ Plugmold ____ ft. TOTAL ____	
FIXTURES: (number of) Incandescent ____ Flourescent ____ (not strip) TOTAL ____	
Strip Flourescent ____ ft.	
SERVICES: Overhead ____ Underground ____ Temporary ____ TOTAL amperes 100	3.00
METERS: (number of) 1	.50
MOTORS: (number of)	
Fractional ____	
1 HP or over ____	
RESIDENTIAL HEATING:	
Oil or Gas (number of units) ____	
Electric (number of rooms) ____	
COMMERCIAL OR INDUSTRIAL HEATING:	
Oil or Gas (by a main boiler) ____	
Oil or Gas (by separate units) ____	
Electric Under 20 kws ____ Over 20 kws ____	
APPLIANCES: (number of)	
Ranges ____ Water Heaters ____	
Cook Tops ____ Disposals ____	
Wall Ovens ____ Dishwashers ____	
Dryers ____ Compactors ____	
Fans ____ Others (denote) ____	
TOTAL ____	
MISCELLANEOUS: (number of)	
Branch Panels ____	
Transformers ____	
Air Conditioners Central Unit ____	
Separate Units (windows) ____	
Signs 20 sq. ft. and under ____	
Over 20 sq. ft. ____	
Swimming Pools Above Ground ____	
In Ground ____	
Fire/Burglar Alarms Residential ____	
Commercial ____	
Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under ____	
over 30 amps ____	
Circus, Fairs, etc. ____	
Alterations to wires ____	
Repairs after fire ____	
Emergency Lights, battery ____	
Emergency Generators ____	
INSTALLATION FEE DUE:	
FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ..... DOUBLE FEE DUE:	
FOR REMOVAL OF A "STOP ORDER" (304-16.b)	
TOTAL AMOUNT DUE:	3.50

INSPECTION:
Will be ready on ____, 19__; or Will Call x
CONTRACTOR'S NAME: Richard Bemis
ADDRESS: Willow St., Peaks Island, Me.
TEL.: 766-2809 SIGNATURE OF CONTRACTOR:
MASTER LICENSE NO.: 2971
LIMITED LICENSE NO.: ____

INSPECTOR'S COPY — WHITE
OFFICE COPY — CANARY
CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS— Peaks Island

Permit Number 28985

Location 87-S-9 City Point Road Peaks Island

Owner H. Davidson

Date of Permit 8-21-79

Final Inspection 2-18-81

By Inspector Libby

Permit Application Register Page No. 34

INSPECTIONS: Service ________ by ________

Service called in ________

Closing-in ________ by ________

PROGRESS INSPECTIONS: 2-18-81 / ________

CODE
COMPLIANCE
COMPLETED
DATE 2-18-81

DATE:	REMARKS:

October 9, 1957

AP- City Point Road, Peaks Island(87-S-9)

Mr. F. W. Stephenson
Elizabeth Street,
Peaks Island, Maine

CC to: Mr. Coleman J. Mulkern
634 Broadway
So. Portland, Maine

Dear Mr. Stephenson:

Building permit for construction of a one story screened-in porch 7½ feet by 28 feet on front of cottage at the above named location is issued herewith based on information furnished with application for permit, but subject to the following conditions:-

1. Floor joists are to be spaced no more than 18 inches on centers instead of the 24 inch spacing indicated and unless rested on top of sills and girders are to be notched over 2x3 nailing strips spiked to the sides of those members.

2. Girders supporting floor joists are to be 6x6 or larger instead of the 4x6 indicated.

3. Intermediate posts supporting plate are to be no less than 4x4 or double 2x4 instead of the single 2x4 indicated and are to extend in one length from sill to plate.

4. A foundation extending at least four feet below grade or to ledge is to be provided for rear corner of porch which projects beyond house. If a concrete pier is used for this purpose, it must be at least eight inches square or nine inches in diameter.

Very truly yours,

AJS:M

Albert J. Sears
Deputy Inspector of Buildings

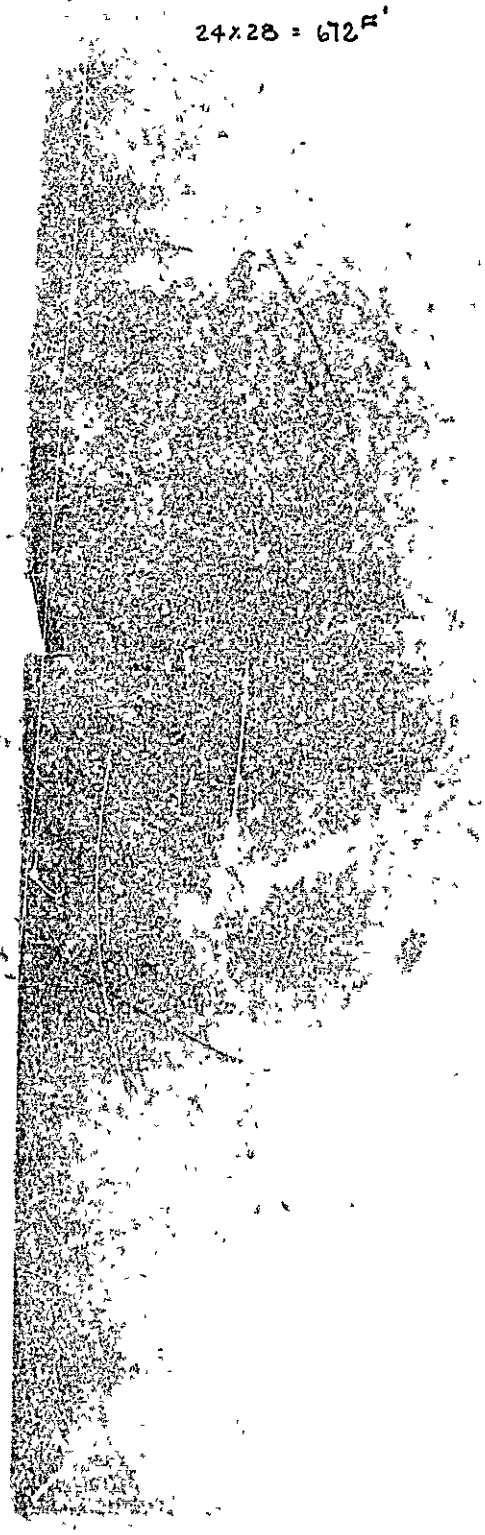
Dilh Pt. Rd., R.I.

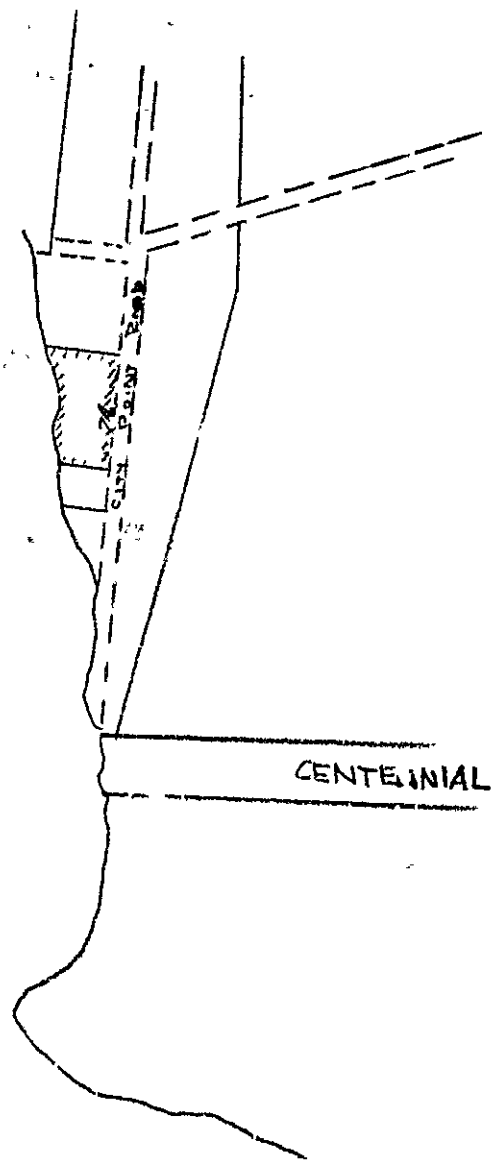
Lot Area 3000 ft²

lot occupied w/addition
24x28 = 672 ft²

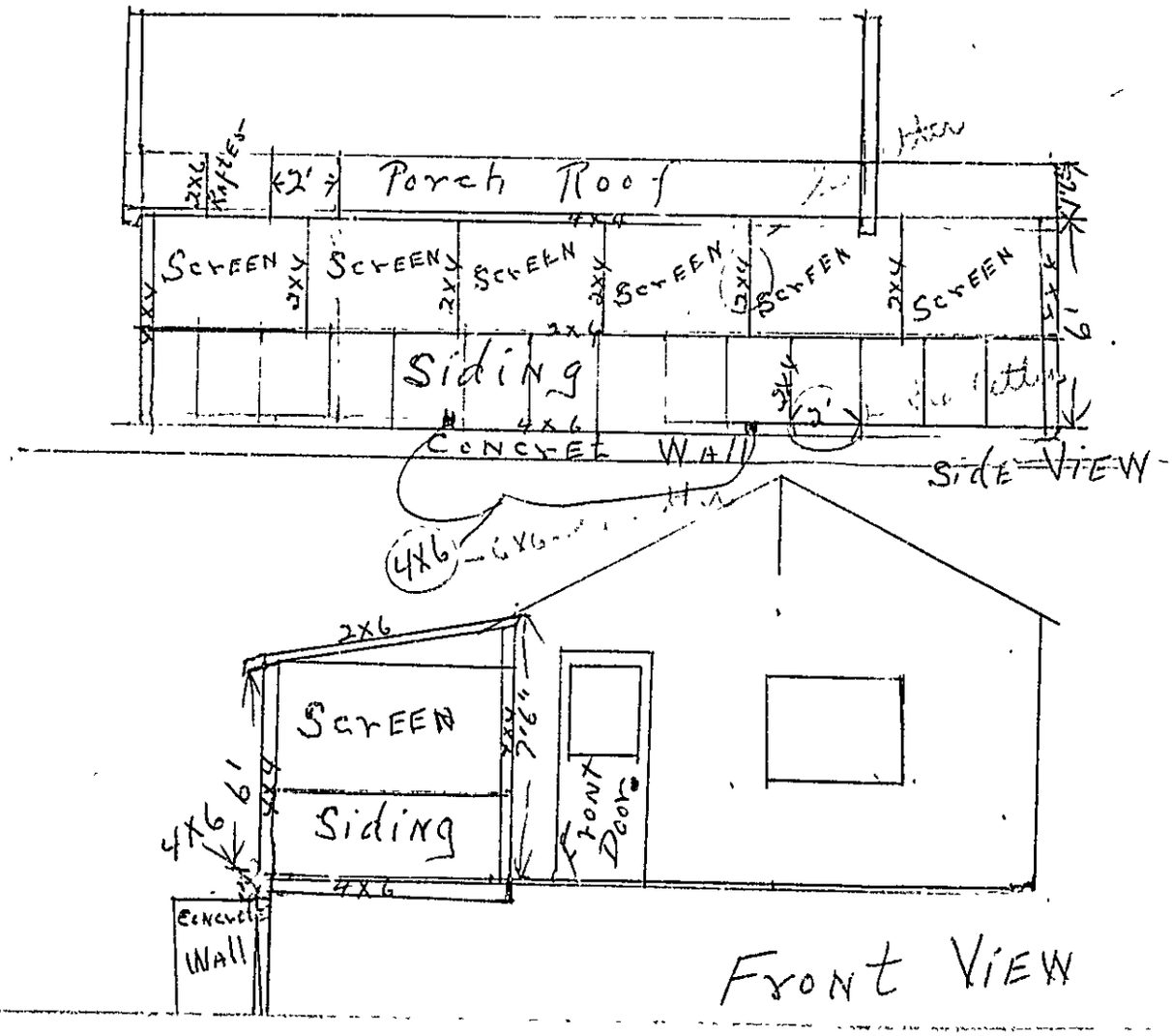
87-S-9

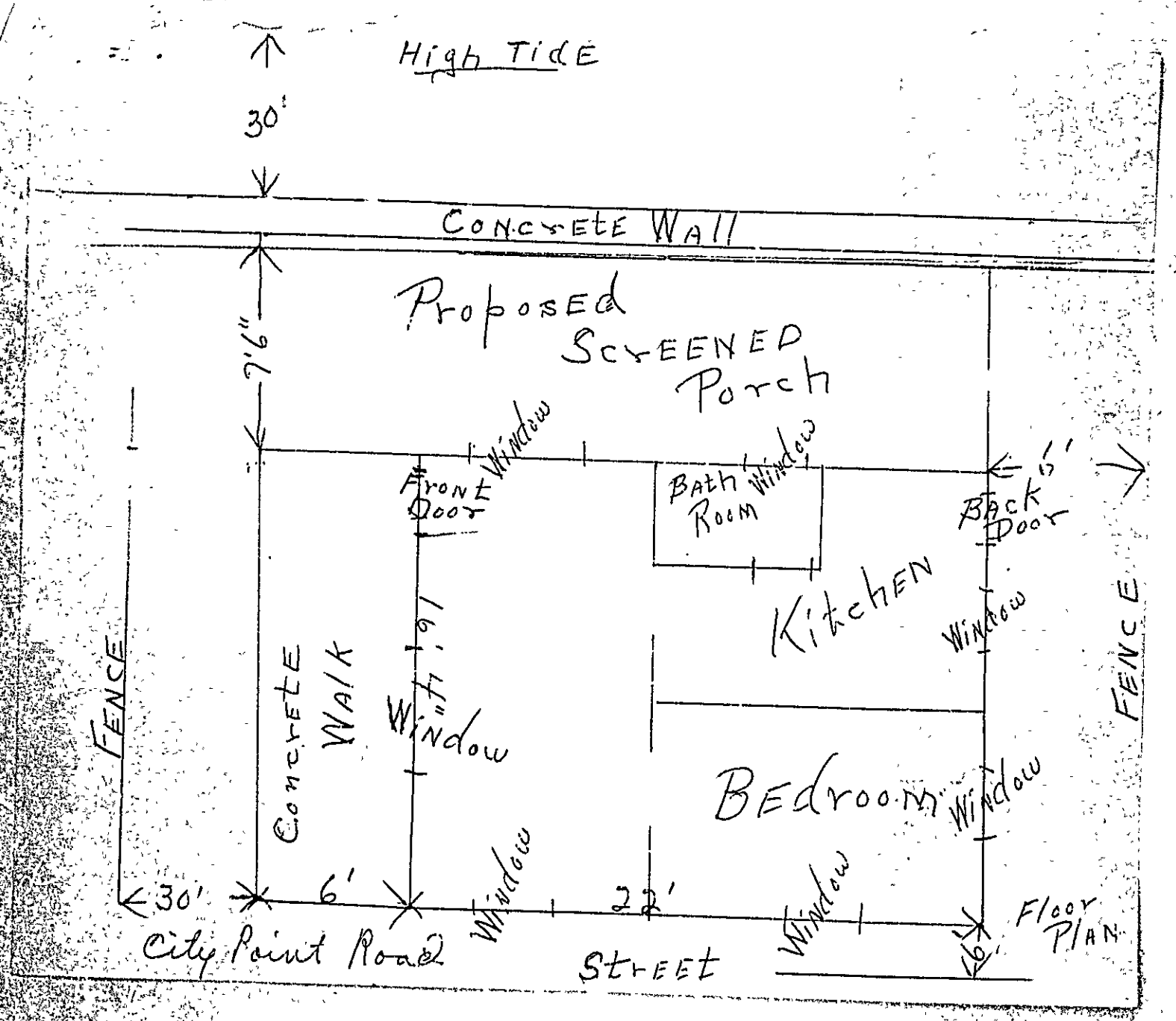
9/30/57





Rafters 16" ¢
Floorjoists 16" ¢
Studs 16 ¢




High Tide
30'
Concrete Wall
Proposed
Screened
Porch
7'6"
Window
Front Door
Bath Room
Window
Back Door
6'
Kitchen
Window
Fence
Concrete Walk
Window
Bedroom
Window
Fence
30'
6'
Window
22'
Window
16'
City Point Road
Street
Floor Plan

R3 RESIDENCE ZONE

PERMIT ISSUED
OCT 9 1957
01559
CITY of PORTLAND

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Sept. 27, 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter repair demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location CityPoint Road, Peaks Island Me. (87-8-9) Within Fire Limits? ..... Dist. No. .....

Owner's name and address Coleman J Mulkern, 634 Broadway So.Portland Me. Telephone .....

Lessee's name and address ..... Telephone .....

Contractor's name and address F.W. Stephenson, Elizabeth St.Peaks Island Me. Telephone PO#6-2835

Architect ..... Specifications ..... Plans yes No. of sheets 2

Proposed use of building Dwelling No. families 1

Last use " No. families .....

Material frame No. stories 1 Heat ..... Style of roof pitch Roofing .....

Other building on same lot .....

Estimated cost $350.00 Fee $2.00

General Description of New Work

To construct 1-story frame open porch with roof. 7'6" x 28' on side of dwelling house.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** contractor

Details of New Work

Is any plumbing involved in this work? no Is any electrical work involved in this work? no

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate 8' Height average grade to highest point of roof 9½'

Size, front 7'6" depth 28' No. stories 1 at least 4' below grade solid or filled land? solid earth or rock? earth

Material of foundation concrete wall existing Thickness, top ..... bottom ..... cellar .....

Material of underpinning ..... Height ..... Thickness .....

Kind of roof flat Rise per foot ~~22½"~~ 2-3/4" Roof covering Asphalt Class C, Und. Lab.

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts 4x4 Sills 4x6

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Kind and thickness of outside sheathing of exterior walls? .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2x6 Lee Miller, 2nd ....., 3rd ....., roof 2x6

On centers: 1st floor 24", 2nd ....., 3rd ....., roof 16"

Maximum span: 1st floor 9', 2nd ....., 3rd ....., roof 7'6"

If one story building with masonry walls, thickness of walls? ..... height? .....

If a Garage

No. cars now accommodated on same lot ....., to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVED:
ths letter by AJS

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Coleman J Mulkern
F.W. Stephenson

Signature of owner by: F.W. Stephenson

COPY

Permit No. 85-1359

Location [illegible]

Owner [illegible]

Date of permit 10/15/85

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

[illegible] – [illegible]

LOCATION Scully Pierce

DATE 1/26/10

PERMIT

INQUIRY ✓

COMPLAINT

Ok file letter with this and return to me

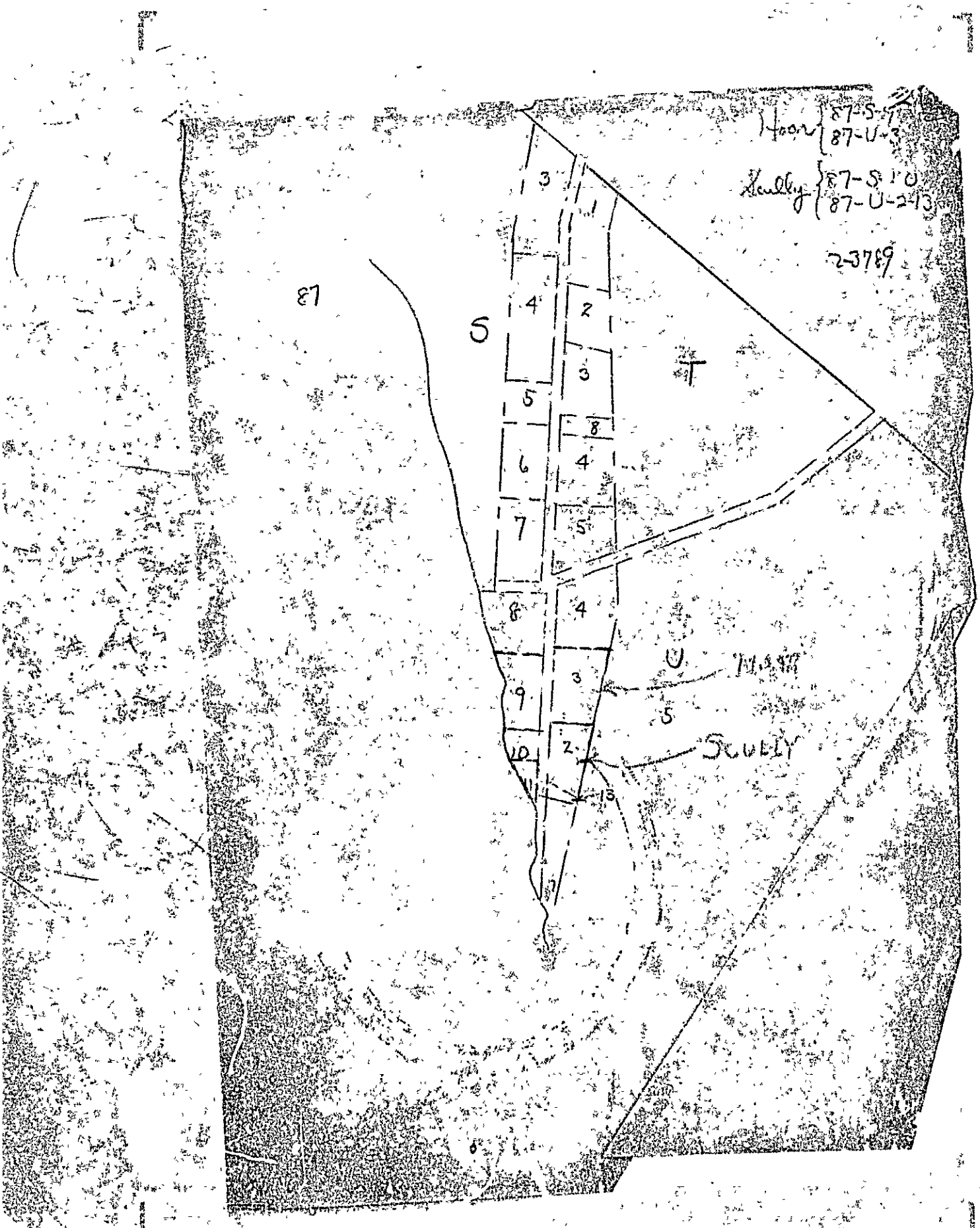
[illegible]

cc: [illegible]

[illegible]

[illegible] 1/26/10

BI-67


Hoon
87-S-
87-U-
Scully
87-S-10
87-U-243
2-3789
87
S
T
U
Scully

INQUIRY BLANK

ZONE "A"

FIRE DIST.

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Verbal
By Telephone
" Letter

(47-S-9)

Date 10/22/49

LOCATION Cut Brow. Road Peaks Isl.

OWNER Leslie Horan

MADE BY Frank D. Scull.

TEL.

ADDRESS 60 Church St. Boston 16 Mass

PRESENT USE OF BUILDING

CLASS OF CONSTRUCTION

NO. OF STORIES

REMARKS:

INQUIRY: See letter attached

ANSWER: See letter of 1/26/50 - mf

DATE OF REPLY

REPLY BY

31 76

CABLE ADDRESS UNKILMAN

Universal Film Exchanges Inc.

60 CHURCH STREET
BOSTON 16, MASS.

RECEIVED
OCT 10 1949
G. H. M.

Oct 10. 1949

Street Commissioner May

Dear Sir.

Sometime ago because the family was getting larger with grandchildren we had planned to put on 3 rooms on our cottage at City Point Road Peaks Island Maine on the rear of the cottage.
At that time we were advised that we could not build to our line but must build 5 ft from the adjoining property this measure we at our end but we had to abide by the law.
We are natives of Portland Maine and lived there many years In fact the family had something to do with running the city because my deceased brother Henry J. Scully was alderman there for a few years in Ward 2.
The property adjoining my wife's cottage is owned either by Henry Hoar and or Rosalind Hoar and or Leslie Hoar or maybe one of the Whittons
What I want to know is by whose authority was the owner of property allowed to build a concrete wall less than 5 feet from my line of property owned by Mary A. Scully who bought same from Mr & Mrs William Allen and the 28 strip on the Beach which was purchased from Leo O Brien and sold to Mr & Mrs Allen who sold same to Mary A Scully.

Yours.

DISTRIBUTORS OF J. ARTHUR RANK PRODUCTIONS

We are demanding of you to have the wall removed and placed if it must be five feet from Mary A. Scully lot. awaiting your reply I remain

Very truly Yours

Frank J. Scully

INTER-OFFICE CORRESPONDENCE

CITY OF PORTLAND, MAINE

PUBLIC WORKS DEPARTMENT

To: Warren McDonald, Inspector of Buildings — DATE: October 21, 1949

FROM: George H. May

SUBJECT: Letter of Mr. Frank J. Scully
Regarding Construction of Concrete Wall
On Premises to City Point Road, Peaks Island, Maine

I am forwarding you herewith, letter from Mr. Frank J. Scully, on the above subject, which is self-explanatory, and also a copy of my acknowledgement of receipt of his letter.

George H. May

Commissioner of Public Works

GHM/mr

RECEIVED
OCT 21 1949
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

October 21, 1949

COPY

Mr. Frank J. Scully
c/o Universal Film Exchanges, Inc.
60 Church Street
Boston 16, Massachusetts

Dear Mr. Scully:

This will acknowledge your letter of October 10, 1949, in relation to construction of a concrete wall adjacent to your property line at City Point Road, Peaks Island, Maine.

This is a matter for the Inspector of Buildings Department, and I am forwarding your letter to him for reply.

Very truly yours,

GEORGE H. MAY
Commissioner of Public Works

GHM/mr
cc - Warren McDonald

CABLE ADDRESS - UNFILMAN

Universal Film Exchanges Inc.

60 CHURCH STREET
BOSTON 16, MASS.

OFFICE
OF
DISTRICT MANAGER

Dec 7, 1949

Mr Warren McDonald, Inspector of Buildings

Dear Sir,

We are requesting to know what you have done regarding the concrete wall built up to the line of the Leslie Hoar property at City Point Road Peaks Island Me. My understanding of the laws as you explained to me when I wanted to build an addition was that the improvement must be kept 5 ft from the other persons property.

All we are asking you to do is have this wall removed from it present location and placed five ft from the end of the line of Leslie Hoar property. They we expect to receive a reply from you soon

Very truly Yours.

Frank J Scully

RECEIVED
DEC 8 1949
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

Distributors of J. ARTHUR RANK PRODUCTIONS

CABLE ADDRESS - UNFILMAN

Universal Film Exchanges Inc.

60 CHURCH STREET

BOSTON 16, MASS.

Mr Warren McDonald Inspector of Bldgs.
Portland Me

Jan 21, 1950

Dear Sir:

Having received letter dated Oct 21, 1949 from Mr George H. Gray City Engineer & Commissioner relative to complaint regarding concrete wall built up to the line of Mary A Scully's property at City Point Road Peaks Island instead of being built 5 feet from one line and also copy of my letter which he sent you dated as above. We are requesting to know what you have done about same.

We wrote you on Dec 7, 1949 asking an explanation from you and up to the present date you have not replied. May we expect to hear from you soon regarding the above complaint.

Very truly Yours

Frank J Scully

RECEIVED
JAN 23 1950
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

DISTRIBUTORS OF J. ARTHUR RANK PRODUCTIONS

Inquiry
City Point Road, Peaks Island
(Assessors Lot No. 87-S-9)

January 26, 1950

Mr. Frank J. Scully
Universal Film Exchanges, Inc.
60 Church Street
Boston 16, Massachusetts

Dear Mr. Scully:

Even after this long delay, I am unable to give you a specific answer to your inquiry as to the concrete wall between the Hoar property and that owned by Mary A. Scully. It would have been far better if I had acknowledged your first letter to Mr. May immediately and explained some of the complications, but regrets are fruitless, and you of course are wondering why such a long silence.

The Zoning Ordinance under which this question of closeness to property lines usually comes, is not explicit about control of construction of walls as is the case with buildings. The question is one of encroachment on yards or open spaces. The reference to walls and fences in the Zoning Ordinance stipulates only concerning "front" yards, and we have great difficulty on Peaks Island in deciding, according to the definitions in the law, which is front yard, side yard and rear yard.

We have no record of a permit having been issued for the Hoar wall, but again--permits are not required for all walls, depending on their height and function.

It is our policy to give a correct answer in each case, and to do that often takes considerable time and research. That will be done in this case as soon as time affords. Our entire force (not a large one) is exceedingly busy all of the time, and much of the work contains urgent features as to time. I, personally, have worked early and late for many years, and must continue to do so.

Please bear with us as patiently as possible, and we will do our best to give you a clear and correct answer as soon as possible.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/G

Rept. 41:7C-I

April 4, 1939

Mr. Henry S. Hour,
City Point Road,
Peaks Island,
Portland, Maine

Dear Sir:

Enclosed is the building permit covering construction of a one story cottage or dwelling at City Point Road, Peaks Island.

I presume that you will see to it that the studs of outside walls and corner posts are carried directly down to the sills and that under the inside partitions which run the same way as the floor joists, that the floor joists will be doubled.

I have very little information concerning the stability of the sea wall in front of this proposed building but, of course, you understand the likely effect upon the new building if this sea wall should begin to fail.

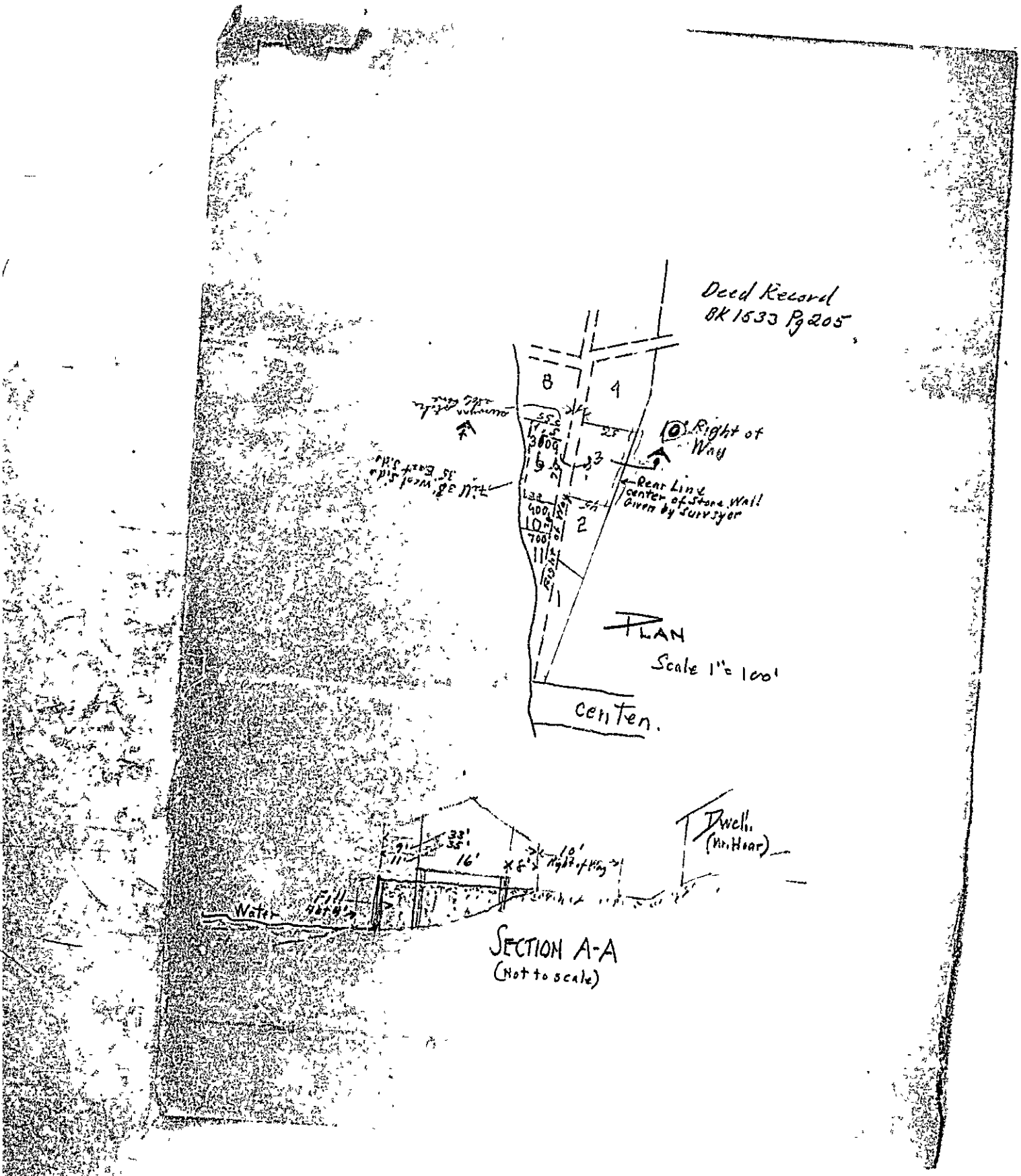
Very truly yours,

WMcD/H

Inspector of Buildings

P.S. The interior partition with a jog in it which runs parallel with the floor joists, because it supports the ceiling, is a bearing partition and it will be necessary, therefore, to make the studs at least 2x4, not more than 16 inches from center to center.

Warren McDonald


Deed Record
BK 1533 Pg 205
8
4
Right of Way
3
Rear Line center of Stone Wall Given by surveyor
2
1
PLAN
Scale 1" = 100'
Center.
Dwell.
(Mr. Hoar)
33'
35'
16'
8'
10'
Right of Way
Water
Fill
SECTION A-A
(Not to scale)

RECEIVED
APR 20 1939
DEPT. OF BLDG. INSP.
CITY OF PORTLAND
Proposed garage location
16 ft
22 ft
50 ft
5 ft
lot 77 ft
City st Rd.
H. S. Hoar
Girder
Grade
Sect (Top Framing)

(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

Permit No. 6[illegible]

APR 24 1939

Class of Building or Type of Structure Third Class

Portland, Maine, April 20, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location City Point Road, Peaks Island Within Fire Limits? no Dist. No.

Owner's or Lessee's name and address P. S. Foar, City Point Rd. Peaks Telephone 163-6

Contractor's name and address Owner Telephone

Architect Plans filed yes No. of sheets 1

Proposed use of building Camp No. families

Other buildings on same lot

Estimated cost $[illegible] Fee $[illegible]

Description of Present Building to be Altered

Material No. stories Heat Style of roof Roofing

Last use No. families

General Description of New Work

To erect one story frame camp 22' x 16'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

yes yes

Height average grade to top of plate 8' 6"

Size, front 22' depth 16' No. stories 1 Height average grade to highest point of roof 14'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation cedar posts Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of Roof pitch Rise per foot 5" Roof covering Asphalt roofing Class C Und. Lab.

No. of chimneys 1 Material of chimneys brick of lining tile

Kind of heat stove Type of fuel Is gas fitting involved? no

Framing Lumber—Kind spruce Dressed or Full Size? full size

Corner posts 4x4 Sills 6x8 Girt or ledger board? none Size

Material columns under girders cedar posts Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x6, 2nd 2x4 2x8, 3rd ceiling only - sheet rock roof 2x6

On centers: 1st floor 16", 2nd 2' 2', 3rd roof 2'

Maximum span: 1st floor 10', 2nd 8' 16', 3rd roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Henry S. Foar

ETION COPY

ermit No. 39/437

a Co. City Permit & Peaks

H. S. Hoar

mit 4/24/39

ing-in

losing-in 5/24/39. G.T.McC

Final Notif.

Final Inspn. 6/22/39. G.T.McC

Cert. of Occupancy issued 6/27/39

NOTES

4/24/39. Lot 87

Paid O.K.

Mr. Hoar said he

had this surveyed

when he bought it.

But we left a drive

used line stakes be-

cause of doubt. Survey

held before that will

mean it's center of stone

wall. Mr. H. thinks we are

using stakes [illegible]

[illegible]

5/8/39 [illegible]

[illegible]

5/24/39. This is ready

ready for closing in.

Left on Final Notif.

[illegible] not required

OKC

...ENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for Camp

at City Point Road, Peaks Island

Date 4/20/39

1. In whose name is the title of the property now recorded? Henry S. Hoar.

2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? By fence

3. Is the outline of the proposed work now staked out upon the ground? yes. If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced?

4. What is to be maximum projection or overhang of eaves or drip? 1 ft

5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes

6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes.

7. Do you understand that in case changes are proposed in the location the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes.

Henry S. Hoar.

FILL IN COMPLETELY AND SIGN WITH INK

Permit No. 1901

PERMIT ISSUED

NOV 4 1937

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, November 4, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location City Point Road, Peaks Use of Building dwelling house No. Stories 2½

Name and address of owner Henry S. Hoar, Pleasant Ave. Peaks Ward Isl.2

Contractor's name and address Owner Telephone 267-2

General Description of Work

To install hot air furnace

INSPECTION BEFORE LATHING OR CLOSING-IN IS WAIVED

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? yes If not, which story Kind of Fuel coal

Material of supports of heater or equipment (concrete floor or what kind) concrete

Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, 2'

from top of smoke pipe 18" ; from front of heater 12' from sides or back of heater 2'

Size of chimney flue 8x8 Other connections to same flue 2 stoves

IF OIL BURNER

Name and type of burner Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? Type of oil feed (gravity or pressure)

Location oil storage No. and capacity of tanks

Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.00 ($1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of contractor Henry S. Hoar

INSPECTION COPY

Ward Wd 2 Permit No. 37/1971

Location City Point Rd S.h.

Owner Henry S. Hoar

Date of permit 11/4/37.

Post Card sent

Nouf. for inspn. None

Approval Tag issued 37/1594 10/31/38. CBC

Oil Burner Check List (date) 10/31/38.

1. Kind of heat Warm Air.
2. Label
3. Anti-siphon
4. Oil storage
5. Tank distance
6. Vent pipe
7. Fill pipe
8. Gauge
9. Rigidity
10. Feed safety
11. Pipe sizes and material
12. Control valve
13. Ash pit vent
14. Temp. or pressure safety
15. Instruction card
16.

NOTES

11/6/37 Foundation in but installation not started. Went over with inspectional

heater clearances with Mr Hoar. CBC.

11/24/37 installation complete could not get in to check. CBC.

2/8/38. Top of heater 12" below floor joist, chimney does not have clearance. warm air duct & accord flow to be covered where less than 1" from wall. CBC

4/13/38. Heater not working used. Mr Hoars will provide cleanout door and shield. CBC

6/6/38. Not done. CBC

9/28/38. Shield provided. Collars ducts has been added. This has been done by using the floor joists for the sides and making a metal piece across the underside. Mr Hoars will change the so that duct will be metal on four sides. CBC

10/31/38. Mr Hoar says cold air duct from bimetal bend. CBC

Original Permit No. 37/1594 PERMIT ISSUED

Amendment No. 1

OCT 11 1938

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, October 11, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 37/1594 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location City Point Road, Peaks Island Ward 7 Sl. 2 Within Fire Limits? no Dist. No.

Owner's or Lessee's name and address Henry S. Foss, City Point Road

Contractor's name and address Owner

Plans filed as part of this Amendment no No. of Sheets

Additional fee .25

Increased cost of work

Description of Proposed Work

To provide new inside stairway, first floor to basement, under existing stairway to second floor.

Signature of Owner Henry S. Foss

Approved:

Chief of Fire Department.

Approved: 10/11/38

Commissioner of Public Works.

Inspector of Buildings.

INSPECTOR COPY

Original Permit No. 37/1594

Amendment No. 1

PERMIT ISSUED
NOV 11 1937

AMENDMENT TO APPLICATION FOR PERMIT

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, November 4, 1937

The undersigned hereby applies for an amendment to Permit No. 37/1594 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Fifty Point Road, Peaks Ward Isl. E Within Fire Limits? no Dist. No.

Owner's or Lessee's name and address Henry S. Hoar, Fifty Point Ave. Peaks

Contractor's name and address Owner

Plans filed as part of this Amendment

Increased cost of work No. of Sheets

Additional fee .26

Description of Proposed Work

To provide concrete trench wall (12" thick) between existing brick piers under dwelling to grade, and metal lath and stucco between piers above grade

Approved:

Signature of Owner Henry S. Hoar

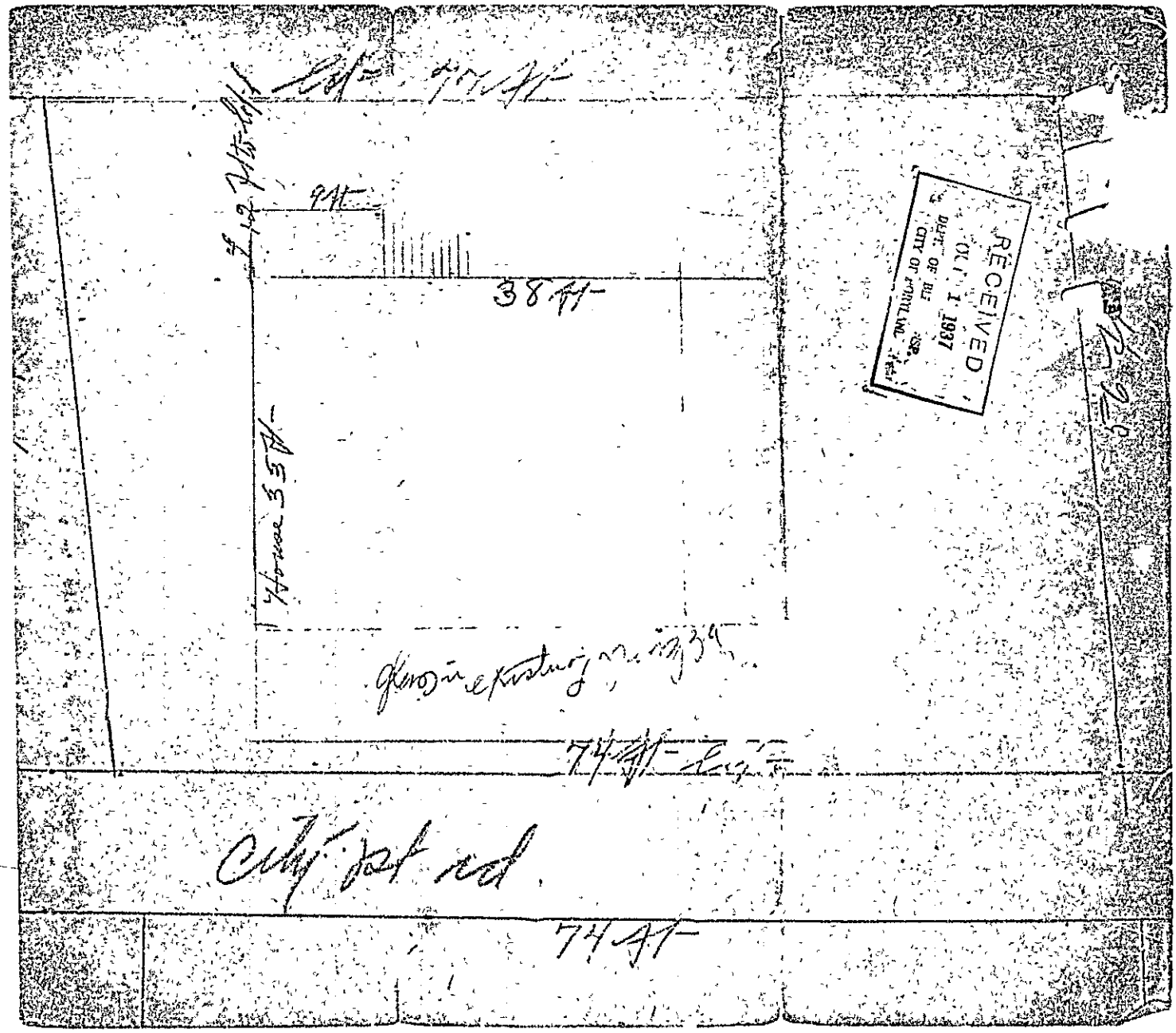
Chief of Fire Department.

Approved: 11/4/37

Commissioner of Public Works.

Inspector of Buildings.

INSPECTION COPY


9 ft
38 ft
Garage 35 ft
74 ft
74 ft
RECEIVED
OCT 1 1937
DEPT. OF BLDG
CITY OF PORTLAND

(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

Permit No. 1-94

OCT 1 19

Class Building or Type of Structure Third Class

Portland, Maine, October 1, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location City Point Road, Peaks Island Ward Isl. 2 Within Fire Limits? no Dist. No.

Owner's or Lessee's name and address Henry S. Hoar, Pleasant St. Peaks Telephone 287-2

Contractor's name and address Owner Telephone

Architect Plans filed yes No. of sheets 1

Proposed use of building dwelling house No. families 2

Other buildings on same lot

Estimated cost $ 200. Fee $ .75

Description of Present Building to be Altered

Material wood No. stories 2½ Heat stove Style of roof pitch Roofing asphalt

Last use dwelling house No. families 1

General Description of New Work

To change Use of building from one to two family dwelling house, four rooms and bath on each floor - no bearing partitions to be changed - new partitions to have 2x3 studs 16" OC-

To cut in new windows at least three square feet in area for ventilation of new bath rooms - 5'x6' on each floor

To cut in new rear entrance door and provide new platform (no roof) 4' x 8', first floor

To glass in existing front and side piazza - piazza existing with roof over same prior to Dec. 6, 1926, providing new concrete trench wall foundation under same

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front spruce depth dressed No. stories Height average grade to top of plate

Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation wood posts under platform concrete trench wall Thickness, top 10" bottom 12"

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Corner posts Sills 4x6 Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x6, 2nd, 3rd, roof no

On centers: 1st floor 16", 2nd, 3rd, roof

Maximum span: 1st floor 4', 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Henry S. Hoar

INSPECTION COPY

3962

Ward 22 Permit No 37/1594

Location City Point Road Peaks

Owner Henry S. Hoar

Date of Permit 10/1/37.

Notice closing-in

Inspection closing-in

Final Inspection NOT COMPLETED

Final Insp. 87

Cert. of Occupancy issued 96

Date Heat 37/1901

NOTES

10/26/37 Work started. Location rear yard distance of 12' called for on plan. Appears to be but 8-0 to corner wall, probable line. OK.

11/8/37 Work exactly as called for in amendment completed. OK.

11/24/37 Same OK.

2/17/38 Same OK.

4/13/38 Same OK.

6/2/38 Starting to form trench wall. OK.

9/28/38 Trench wall work well along. Not to be amended.

Cement foundation in stairway. Final plan to follow. OK.

10/5/38 Not much done. 98

10/31/38 All work done except trench wall on rear side. OK.

3/8/39 Same. OK.