

City of Portland, Maine - Building or Use Permit Application 189 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 23 City Point Road <i>Parks Island</i>		Owner: John B. Faison	Phone: 212-255-2207	Permit No: 951316
Owner Address: 30 W. 15th Street #5S, NYC, NY	Leasee/Buyer's Name:	Phone:	Business Name:	PERMIT ISSUED DEC 18 1995 CITY OF PORTLAND
Contractor Name: Dale Freudenberger ✓	Address: P. O. Box 2263, Windham, ME	Phone: 655-3012		
Past Use: Single Family dwelling	Proposed Use: renovations to 2nd floor and roof after fire	COST OF WORK: \$50,000.00	PERMIT FEE: \$270.00	Zone: <i>IR2</i> CBL: <i>87-4-4</i> Zoning Approval: <i>OK 3/17/95</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan map <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Proposed Project Description: renovate 2nd floor rooms and roof	FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group <i>R3</i> Type <i>FB</i> <i>BOCA 93</i> Signature: <i>[Signature]</i>	Signature: _____ Date: _____	
Permit Taken By: Victoria A. Dover	Date Applied For: December 7, 1995			Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

PERMIT ISSUED WITH LETTER

DUMP PERMITS
00338/30-2104
00339/30-2195

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

[Signature] P. O. Box 2263, Windham, ME 12/7/95 655-3012
SIGNATURE OF APPLICANT Dale Freudenberger ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT *[Signature]*

PERMIT # _____ PORTLAND BUILDING PERMIT APPLICATION DATE 6/9/87 PERMIT ISSUED

JUL 13 1987

City Of Portland

I. GENERAL INFORMATION
 Location/address of construction City Point Road Peaks Island
 1. Owner's name Avner Eisenberg Tel. 766-3323
 Address same
 2. Lessee's name _____ Tel. _____
 Address _____
 3. Contractor's name David Newfeld Tel. 766-2064
 Address Brackett Avenue, Peaks Island 04108
 4. Is this a legally recorded lot? yes no _____

II. DESCRIPTION OF WORK:

to put on new sills, doubling roof rafters, rearranging door and windows, replacing floor
 send to #3

III. BUILDING DIMENSIONS: length 14 width 13 square footage 182 height 10 #stories 1

IV. ZONE FR-2 Street frontage _____ Zoning board approval no yes date _____
 Setbacks: front _____ back _____ side _____ side _____ Planning board approval no yes date _____

V. REVIEW REQUIRED: variance _____ other _____ Number of off-street parking spaces:
 site plan _____ subdivision _____ shore _____ floodplain mgmt _____ enclosed _____ outdoors _____

VI. FEES:
 base fee _____ other fees _____
 subdivision fee _____ late fee _____
 site plan review fee _____ TOTAL \$30.00

VII. DETAILS OF WORK

1. WATER SUPPLY: <input type="checkbox"/> public <input type="checkbox"/> private	7. ELECTRICAL: service entrance size # smoke detectors	8. CHIMNEY: # flues # fireplaces
2. SEWER: <input type="checkbox"/> public <input type="checkbox"/> private, type	9. FRAV: floor joists cutting joists studs	size _____ max. on center _____ rafters _____ wall studs _____
3. HEAT: type fuel	10. If 1-story building w/masonry walls: wall thickness height	11. BEDROOM WINDOWS height width sill height egress window? yes <input type="checkbox"/> no <input type="checkbox"/>
4. FOUNDATION: type thickness footing		
5. ROOF: type pitch covering load		
6. PLUMBING: SPRINKLER SYSTEM? yes <input type="checkbox"/> no <input type="checkbox"/>		
VIII. OFFICE USE: TAX MAP # _____ LOT # _____ VALUE/STRUCTURE _____ PERMIT EXPIRATION _____		IX. NEW OR PHASED SUBDIVISION REFERENCE: Name _____ Lot _____ Block _____
CODE: _____ If other, explain _____ Sectional Condominium Apartment		
X. PROPOSED USE: <u>114 - guest house</u>		
XI. PAST USE: <u>328 - workshop</u>		
XII. OWNERSHIP: PUBLIC <input checked="" type="checkbox"/> PRIVATE <input type="checkbox"/>		
XIII. EST. CONSTRUCTION COST: <u>2,000</u>		XIV. GR. SQ. FT. OF LOT BUILDING _____

COMPLETE XV AND XVI ONLY IF THE NUMBER OF UNITS WILL CHANGE

XV. RESIDENTIAL BUILDINGS ONLY: # NEW DWELLING UNITS WITH: _____ # EXISTING DWELLING UNITS WITH: _____	BEDROOMS: <u>1 BDRM</u> <u>2 BDRMS</u> <u>3 BDRMS</u>	XVI. # RESIDENTIAL UNITS: # NEW DWELLINGS _____ # EXISTING DWELLINGS _____ TOTAL RESIDENTIAL UNITS _____
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APPROVALS BY: _____ DATE _____
 BUILDING INSPECTION: PLAN EXAMINER _____
 ZONING: O.R. [Signature]
 C.E.O. _____
 FIRE DEPT. _____

MISCELLANEOUS
 Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical, and mechanicals.

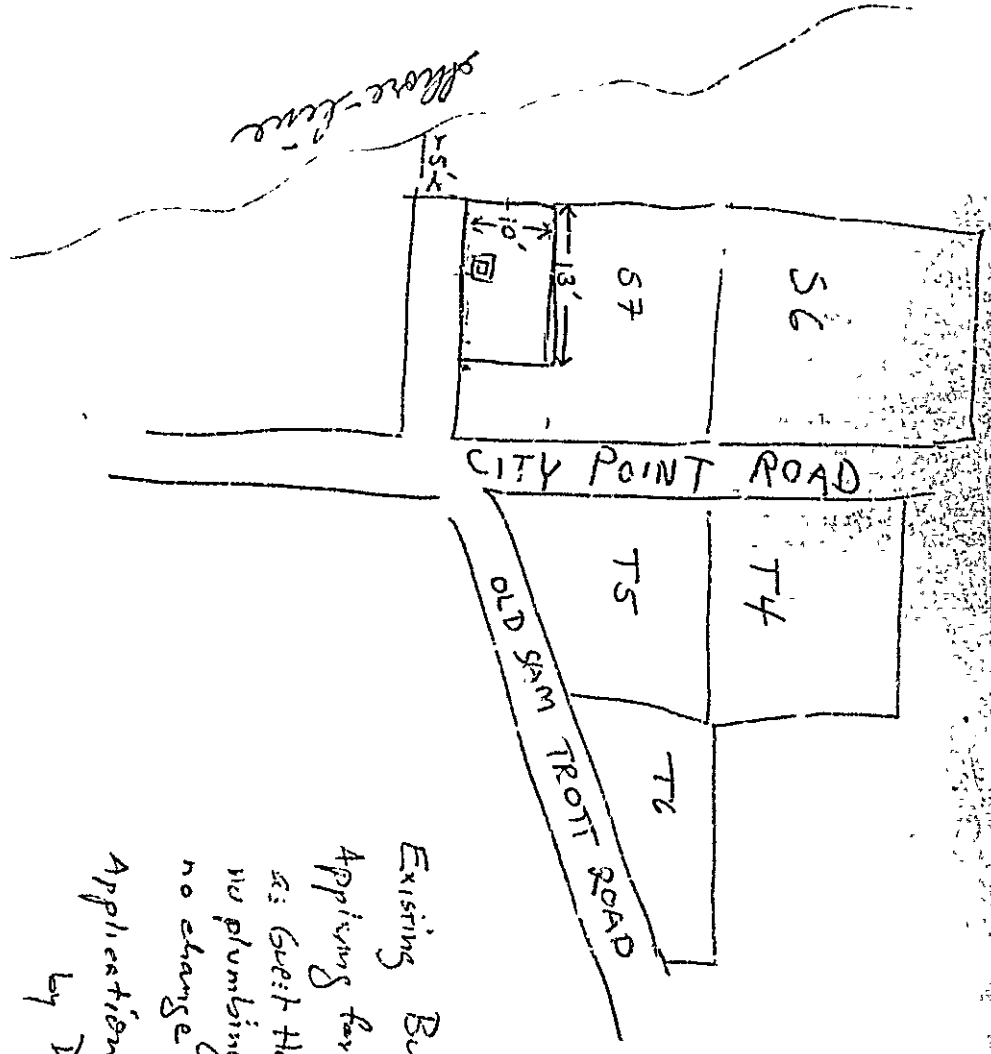
District No. <u>7</u>	XVII. SIGNATURE OF APPLICANT: <u>[Signature]</u> PHONE # <u>766-2064</u>
TYPE NAME OF ABOVE: <u>David Newfeld for Avner Eisenberg</u>	

White - GPCOG Green - Applicant Yellow - Assessor Pink - Office File Gold - Field Inspector

M.A. Addato

RECEIVED
JUL 10 1987

DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND



Existing Building
Applying for Reuse
as Guest House
no plumbing
no change in size
Application for Anna Eisenberg
by David Newfeld

S-7 City Point Road
Peaks Island

These are contiguous
lots on Peaks Island
Anna Eisenberg
City Point Road
Peaks Island, Me.
04108

87-S-7	3,608 #
87-S-6	3,890 #
87-S-5	3,032 #
87-S-4	4,100 #
87-S-3	
87-S-2	25,000 #
87-D-12-13-14	12,000 SF W/ley #
87-T-6	38,250 #

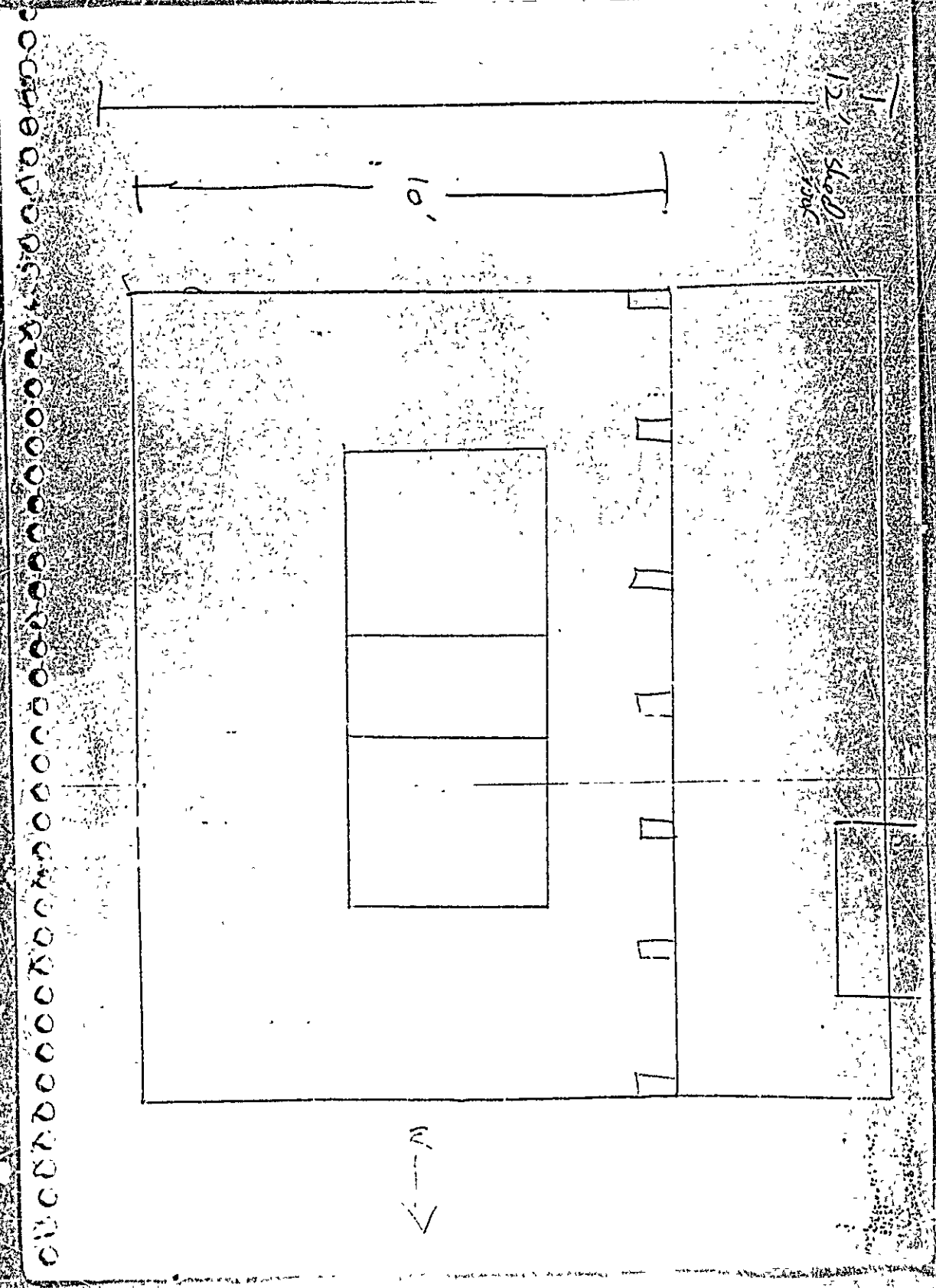
CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

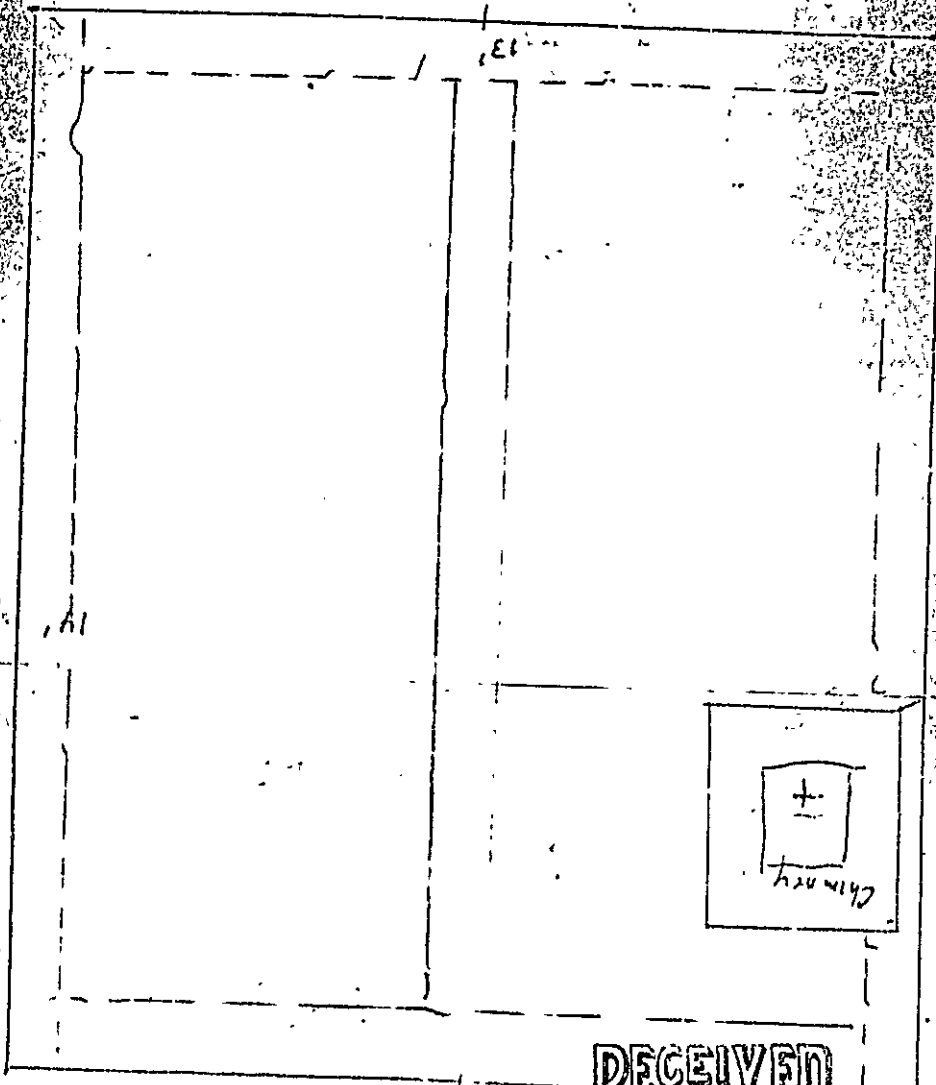
INFORMATION AS TO CERTIFICATES OF OCCUPANCY FOR USE OF PREMISES
and
APPLICATIONS THEREFOR

1. The Zoning Ordinance requires that a Certificate of Occupancy shall be procured from the Department of Building Inspection before any use but the raising of crops is commenced on any vacant land, and before any existing use of land, except the raising of crops, is changed to some other use.
2. Applications for Certificates of Occupancy for the use of open land, are to be filed at the Building Department, Room 113, City Hall, by giving the necessary information over the counter to the permit clerk who will make out the application in quadruplicate, and by filing with the application the Site Plan required by the Ordinance.
3. Besides the Site Plan (described below), it is necessary that the applicant be prepared to give the following information:
 - a. Location of property by street and number.
 - b. Owner's name, address and phone number.
 - c. Name, address, and phone number of lessee, if any.
 - d. Existing use, if any, and proposed use of open land involved.
 - e. Number of commercial vehicles to be parked, if any.
 - f. Removal or disturbing of trees on public streets proposed.
4. The Zoning Ordinance requires that a Site Plan be filed with each application. This plan is to be filed as a blueprint with all of the information on it printed from the original (or equivalent duplication method), is to be at a definite indicated scale, to bear the name and address of the maker, and to contain all pertinent information to show compliance with the law, including the following:
 - a. Dimension and shape of the lot;
 - b. Location and dimensions of all buildings and structures, existing and proposed.
 - c. Each parking space (minimum for passenger cars 8 feet by 18 feet), and each loading bay (minimum 14 feet by 50 feet, of which no part may encroach on public sidewalk or street)
 - d. All driveways and maneuvering spaces.
 - e. All vehicular entrances to and exits from the lot over public sidewalks and streets, both existing and proposed, including:
 - (1) Character of curb on public street—existing and proposed;
 - (2) Location and width of approaches and exits over public sidewalks, and character of "curb cuts" or other proposed demarcation.
 - f. Location of ALL trees on public sidewalks or streets along every street frontage of the property.
 - g. Indication of any such trees which are proposed to be removed or disturbed.
 - h. Where off street parking is proposed, (See Section 14 of Ordinance) show in addition to above:
 - (1) Material and depth of sub-grade, and character of surfacing or paving.
 - (2) Surface drainage facilities.
 - (3) Location, height and method of fastening guard curbs and bumper guards.
 - (4) Location, height and material of any fences.
5. Before application and site plan are filed, written approval on the plan of the City Traffic Engineer must be procured for location and width of approaches and exits for vehicles. If access for vehicles is available from more than one street, the additional written approval of the Planning Board is required on the plan.
6. If removal or disturbance of any trees on the public sidewalk or street is proposed, the written approval of the Director of Parks and Recreation must be secured on the site plan, before application and plan are filed.

12' 1" *Step*
10' 6" *Step*

10'





RECEIVED

JUN - 9 1987

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

31
↓



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

City Point Road

June 12, 1987

Mr. David Newfeld
Brackett Avenue
Peaks Island, Maine 04108

Dear Mr. Newfeld:

This is in reference to the application for a building permit for the renovations to the guest house of Mr. Avner Eisenberg on City Point Road Peaks Island in the IR-2 Zone. In order to issue a permit for these renovations, we will need a plot plan showing the location of the guest house on the lot and its relationship to the existing principal residence. We will hold up the issuance of this permit until we receive a plot plan.

Sincerely,

Warren J. Turner
Warren J. Turner
Zoning Enforcement Inspector

cc: P. Samuel Hofses, Chief, Inspection Services
Arthur Addato, Code Enforcement Officer

*Learn this is a fish shack
that is being converted to
a guest house - No plumbing &
No change in size.
Main house is across the
road*

PERMIT # 833 PORTLAND BUILDING PERMIT APPLICATION DATE 6/9/87 PERMIT ISSUED

I. GENERAL INFORMATION
 Location/address of construction City Point Bldg? Beaks Island
 1. Owner's name Anna Eisenberg Tel. 766-3323
 Address same
 2. Lessee's name _____ Tel. _____
 Address _____
 3. Contractor's name David Newfeld Tel. 766-2064
 Address Braxton Terrace Beaks Island 04106
 4. Is this a legally recorded lot? yes X no _____

City Of Portland

JUL 18 1987

II. DESCRIPTION OF WORK:

to put on new sills, doubling roof rafters, rearranging door and windows, replacing floor

send to #3

III. BUILDING DIMENSIONS: length 14 width 13 square footage 182 height 11/2 #stories 1
 IV. ZONE _____ Street frontage _____ Zoning board approval no yes date _____
 Setbacks: front _____ back _____ side _____ side _____ Planning board approval no yes date _____
 V. REVIEW REQUIRED: variance _____ other _____ Number of off-street parking spaces:
 site plan _____ subdivision _____ shore _____ floodplain mgmt _____ enclosed _____ outdoors _____
 VI. FEES:
 base fee _____ other fees _____
 subdivision fee _____ late fee _____
 site plan review fee _____ TOTAL \$30.00

VII. DETAILS OF WORK

1. WATER SUPPLY: <input type="checkbox"/> public <input type="checkbox"/> private	7. ELECTRICAL: service entrance size _____ # smoke detectors _____	8. CHIMNEY: # flues _____ material _____ # fireplaces _____
2. SEWER: <input type="checkbox"/> public <input type="checkbox"/> private, type _____	9. FRAMING: floor joists _____ size _____ max. on center _____ ceiling joists _____ rafters _____ studs _____ wall studs _____	
3. HEAT: type _____ fuel _____	10. If 1-story building w/masonry walls: _____ wall thickness _____ height _____	11. BEDROOM WINDOWS height _____ width _____ sill height _____ egress window? yes <input type="checkbox"/> no <input type="checkbox"/>
4. FOUNDATION: type _____ thickness _____ footing _____		
5. ROOF: type _____ pitch _____ covering _____ load _____		
6. PLUMBING- SPRINKLER SYSTEM? yes <input type="checkbox"/> no <input type="checkbox"/>		

VIII. OFFICE USE:
 TAX MAP # _____
 LOT # _____
 VALUE/STRUCTURE _____
 PERMIT EXPIRATION _____
 IX. NEW OR PHASED SUBDIVISION REFERENCE
 Name: _____
 Lot: _____
 Block: _____

CODE: _____ If other, explain _____ Seasonal Condominium Apartment
 X. PROPOSED USE: 114 - rental units
 XI. PAST USE: 12B - workshop
 XII. OWNERSHIP: PUBLIC PRIVATE
 XIII. EST. CONSTRUCTION COST: \$30,000
 XIV. GR. SQ. FT. OF LOT: _____ BUILDING: _____

COMPLETE XV AND XVI ONLY IF THE NUMBER OF UNITS WILL CHANGE

XV. RESIDENTIAL BUILDINGS ONLY: # NEW DWELLING UNITS WITH: # EXISTING DWELLING UNITS WITH: 1. BDRM. _____ 2. BDRM. _____ 3. BDRM. _____	XVI. RESIDENTIAL UNITS: # NEW DWELLINGS _____ # EXISTING DWELLINGS _____ TOTAL RESIDENTIAL UNITS _____
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APPROVALS BY: _____ DATE _____
 BUILDING INSPECTION - PLAN EXAMINER _____
 ZONING: _____
 C.E.O.: _____
 FIRE DEPT. _____
 MISCELLANEOUS
 Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical, and mechanicals.

District No. 7
 SIGNATURE OF APPLICANT _____ PHONE # _____
 TYPE NAME OF ABOVE DAVID NEWFELD BUILDING DEPT. 1-223-4

White - Log Green - Applicant - Yellow - Assessor - Pink - Office File - Gold - Field Inspector

87-1-4

Department of Human Services
 Division of Health Engineering
 (257) 289-3626

PLUMBING APPLICATION

PROPERTY ADDRESS

Town or Plantation: Pearls Island

Street: 39

Subdivision Lot: City Point Rd.

OWNER'S NAME

Last: ... First: ...

APPLICANT NAME

...

Mailing Address of Owner/Applicant (if different)

...

PORTLAND 5401 TOWN COPY

Date Permit Issued: 12-13-96

Local Plumbing Inspector Signature: [Signature]

Local Plumbing Inspector Title: ...

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: ... Date: ...

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the local plumbing rules.

Local Plumbing Inspector Signature: [Signature] Date Approved: 1-1-96

PERMIT INFORMATION

This Application is for:

1. NEW PLUMBING

2. RELOCATED PLUMBING

Type Of Structure To Be Served:

1. SINGLE FAMILY DWELLING

2. MODULAR OR MOBILE HOME

3. MULTIPLE FAMILY DWELLING

4. OTHER -- SPECIFY _____

Plumbing To Be Installed By:

1. MASTER PLUMBER

2. JIL BURNETT, AN

3. I.G.D. HOUSING DEALER / MECHANIC

4. PUBLIC UTILITY EMPLOYEE

5. PROPERTY OWNER

LICENSE # ...

Hook-Up / Relocation / Piping	Column 1	Column 2	Column 3
	Number	Type of Fixture	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system.		Hosebibb / Sillcock	Bath (or Shower)
		Floor Drain	Shower (Separate)
		Urinal	Sink
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Drinking Fountain	Wash Basin
		Indirect Waste	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc	Clothes Washer
Number of Hook-Ups & Relocations		Grease Separator	Dish Washer
OR TRANSFER FEE (\$6.00)		Dental Suction	Garbage Disposal
		Bidet	Laundry Tub
		Other: _____	Water Heater
		Fixtures (Subtotal) Column 2	Fixtures (Subtotal) Column 3
			Fixtures (Subtotal) Column 2
			Fixtures (Subtotal) Column 3
			Fixtures Fee
			Transfer Fee
			Hook-Up & Relocation Fee
			Transfer Fee

SEE PERMIT SCHEDULE FOR CALCULATING FEE