

ISLAND AVE., PEAKS ISLAND

87-S-2



APPLICATION FOR PERMIT

PERMIT
APR 10
CITY of PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, April 5, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ~~construct~~ ~~demolish~~ ~~install~~ the following building ~~structure~~ ~~work~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: 8 7-5-?

Location Island Avenue, Peaks Island Within Fire Limits? no Dist. No. _____

Owner's name and address Casco Bay Light and Power Co., Island Ave., P. I. Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address Owners Telephone _____

Architect _____ Specifications _____ Plans no. _____ No. of sheets _____

Proposed use of building _____ No. families _____

Last use Barn (storehouse) No. families _____

Material wood No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot Power Station Fee \$ 1.00

Estimated cost \$ _____

General Description of New Work

To demolish 1 1/2-story frame barn 15' x 20'.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO owners**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Casco Bay Light & Power Co.

APPROVED:

Signature of owner by: James W. O'Brien
meas

INSPECTION COPY

Permit No. 50/406

Location Inland Ave. Oaks Island

Owner Case's Daylight Power Co.

Date of permit 7/5/50

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

TIME FOR START

Given December 1st 1950

Work to be done

WADSWORTH, BOSTON & TUTTLE · ARCHITECTS

57 Exchange Street · Portland 3, Maine

Philip Shirley Wadsworth, A.I.A.
Royal Boston, Jr., A.I.A.
William Dana Tuttle, A.I.A.

December 19, 1945

87-5-2
Warren McDonald, Inspector of Buildings
City of Portland,
Maine

RE: Casco Bay Light & Power Co.,
Peaks Island, Maine

Dear Mr. McDonald:

This will acknowledge receipt of your check list of compliance on above captioned job.

Accompanying this is a revised set of drawings which shows definitely details of how the building will be built. I am taking up the comments in your check in the order in which they are given and numbering my replies to go with your comments.

(1) The building, as finally built, will definitely be a second class construction. The framing at the clere story, which is at present of wood, will be removed and that area of wall will be covered with corrugated asbestos supported on light steel framing and fastened through with metal clips. This clere story will be pierced with wooden sash which will be operative. The stuccoed areas at the openings on the water side will be composed of stucco on hollow terra cotta block, this block being tied to the construction by means of metal ties and strap anchors. This structure is clearly indicated on the drawings. Since the only wood portion of the building will be the roof structure and exterior doors and windows, I believe the building will definitely become second class.

(2) Existing wall, originally shown to be re-faced with 4" of brick bonded to old 8" wall, will be demolished and will be built new of 12" brick. Wall at other end of building where small existing one story structure projected will also be demolished and built new as above. In other words, all walls in the structure on the water side will be new starting from the line of the main building.

(3) Statement of Design accompanies this letter.

(4) I think the structural data you request is now completely clear on the plans.

(5) Exterior brick wall is not shown tied to framing because roof framing is all supported on steel beams supported on structural columns, with the exception of one pier. It will be possible to tie

WADSWORTH, BOSTON & TUTTLE · ARCHITECTS

-2-

*Columns
to meet 17' x 17'*

this framing to brick work if you wish it, although brick work is definitely tied into wall columns by means of brick fire-proofing carried around them and bonded to wall brick work. Roof will be tar and gravel. Structural steel connections will be bolted.

Eccentricity of load of crane rails on long H-columns has been considered.

An outline specification of the work will be written and a copy will be given to you.

Very truly yours,

Philip Wadsworth

WADSWORTH, BOSTON & TUTTLE

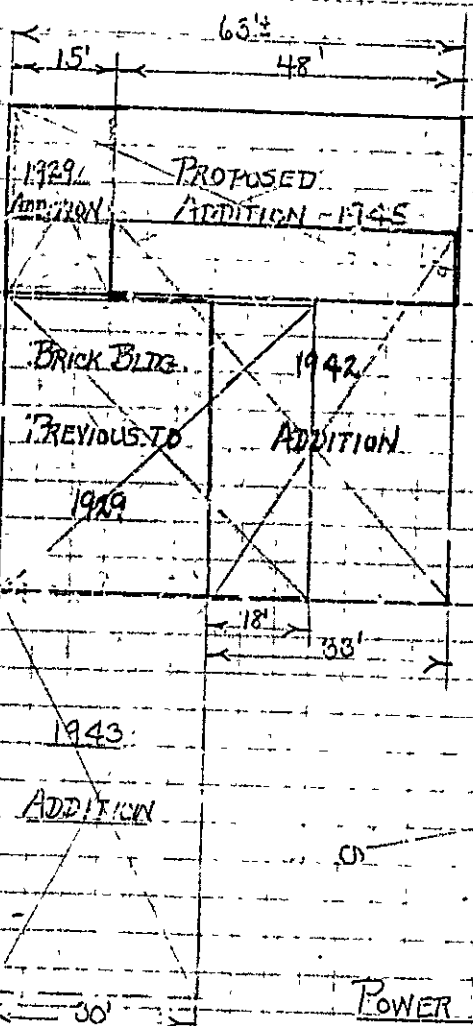
PSW/d

Enc.

C-4580

c.c. - Mr. Burgi

CASCO BAY



CITY POINT ROAD

POWER STATION

PEAKS ISLAND

ISLAND AVE

December 6, 1945

CITY OF PORTLAND DEPT. OF BUILDING INSPECTION

Check List of Compliance with Building Code and Zoning Ordinance Requirements

Job Location Island Avenue, Peaks Island Owner Casco Bay Light & Power Company
Assessors Lot No. 67-S-2, 3, 4

Contractor Owner Architect Wadsworth, Boston & Tuttle

References at left are to sections of Building Code where applicable. If plan maker disagrees with statements below, he should seek a conference by phone or in person at this office. If he agrees, plans should be revised or supplementary specifications issued and fresh copies furnished to this office with a letter of transmittal showing that contractor and owner have copies of revisions.

*Can
Struct
be
changed
to
1 1/2
story
high
drop
sides
down
about
17'*

1. Sec. 301g.1. Certain features of the construction compel classification of the building as Third Class (wooden frame). On that basis the enlarged area would exceed 5,000 square feet which is the maximum floor area under the circumstances, the building since it has more than 18-foot headroom having to be classified as two stories. Owners say that they will introduce double standard Class A fire doors (one on each side of the opening at the single doorway between the original building and an addition built in 1943, thus cutting the area down to about 4,000 square feet between fire wall and exterior walls. Please show this arrangement and types of doors. Owner says they must be "automatic-closing" either by note on the plan or by specifications.

2. Sec. 307b. Facing existing 8-inch brick wall with only 4-inch thickness to bring it up to required thickness on account of additional height is not allowable. Owners say they prefer to take the 6-inch wall down and build a new 12-inch wall to the entire height, the foundation being thick enough for that.

3. Sec. 104. Please furnish statement of design on revised plans. *Revised 12/10/45*
Structural. Information lacking as to how the high roof is supported. Rafters of high roof run parallel to 15-inch I-beam. What is intended by way of a beam running the other way to support the purlions beneath ridge of roof? What size and what spacing for purlions, and what is to tie the faces of the rafters together to offset the "kick" of this low pitch roof? If a beam is introduced parallel to the ridge, what will be its supports where the addition abuts the existing gable end?

4. Structural. At high roof, what is to be used for plate on outside brick wall to support and tie rafters? On the other side the pitch roof and dwarf wall would apparently be supported upon doubled 2x12's on a maximum of 15-foot span which is not adequate.

5. General Structure. (1) Show anchorage of top of westerly wall to roof framing. (2) Size of lintels over glass block and stucco panels; also beneath glass block walls to support them. (3) Presumably the existing lintels over openings in one-story portion now to be increased in height have been investigated and are capable of carrying the additional loads. (4) Spacing of 2x6 studs in stucco panel, and size and spacing of studs in frame wall supporting one side of high roof. (5) What kind of roofing? (6) Presumably structural steel connections are to be bolted or riveted. They could be welded if details of design are furnished and if the welding here done by a certified welder. There are none in Portland at present. (7) Capacity of traveling cranes not known, I presume full account has been taken of the eccentricity of load of crane rails upon long H-columns where not increased in brick work. (Above information furnished to architect only).

Warren McDonald

AP Island Ave., Peaks Island
Addition to building-1

December 3, 1944

Calco Bay Light & Power Company
Attn: Mr. Burgi
35 Exchange Street
Wadsworth, Boston & Tuttle
5th Exchange Street

subject: Building permit for construction of addition to the power plant of Calco Bay Light & Power Company on Island Avenue, Peaks Island (Assessors Map No. 87-S-1, 3, 4)

Gentlemen:

The permit is being issued herewith to the owner, subject to the following:

1. Our check shows that the area of the building after the addition has been constructed would be about 5500 square feet. Because of the frame construction in the phials on side walls and the wooden frame construction of the walls of the higher part of the building projecting above the roof, we are compelled to classify the building as Third Class Construction. The limit of area for such construction is 3000 square feet, we being unable to reckon on more than one street approach. In taking the matter up with Mr. Burgi and calling his attention to the fact that the one-story addition, built in 1943, if cut off by a fire wall from the balance of the structure, would reduce the area to about 4000 square feet thus bringing it within the limit, he said that they would protect the one doorway leading from the 1943 addition to the balance of the building by double (one on either side of the wall) standard Class A (labelled) fire doors, both to stand open normally and to be equipped with automatic-closing device. Mr. Burgi thought that they would probably use a rolling steel shutter on one side of the opening on account of the necessity for using floor roof.

2. A certain part of existing one-story wall on side opposite City Point Road, proposed to be made thicker by adding 4-inch thickness of new brick work. Section 307b8 of the Building Code requires that when a facing or lining is to be provided to make an existing wall up to the required thickness, a thickness of no less than 6 inches shall be provided. While taking the matter of area up with Mr. Burgi and knowing his need of getting started on the job, this question was raised, and he said that he would prefer to remove the 3-inch section of wall and build it up 12 inches thick from the foundation, the foundation being at least 12 inches thick at the present time.

3. A number of details as to compliance with the Building Code is being taken up directly with the architects with the thought that the work under the permit will not proceed above the foundations until they have furnished the answers to the questions by way of revision to the plans.

Very truly yours,

Inspector of Buildings

P.S. The discrepancy due to the fact that the addition is proposed to be a non-conforming use in the Apartment House Zone where the plant is located, has been met by order of the Public Utilities Commission exempting the work from the regulations of the zoning ordinance as provided in Section 84 of Chapter 80 of Revised Statutes of 1944.

VERNON F. WENT, PRESIDENT

HERMAN BURGI, JR., VICE PRESIDENT

JAMES W. COBURN, TREASURER

Casco Bay Light and Power Company

ELECTRICITY - - GAS

55 EXCHANGE STREET
PORTLAND 6, MAINE

Friday
November 30
1945

Re: U.#1823

Mr. Warren McDonald, Building Inspector
City Hall, Room 21
Portland 3, Maine

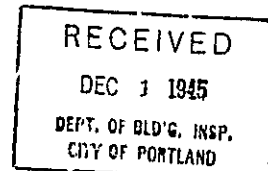
Dear Mr. McDonald:

I am enclosing a copy of the Certificate of Necessity which the Public Utilities Commission has given to the Casco Bay Light and Power Company, showing the necessity for extending its power station in order to accommodate the increased generating capacity required.

Very truly yours,

Herman Burgi, Jr.
Herman Burgi, Jr.
Vice President

HB:S
Enc.

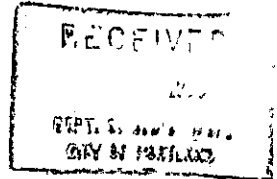


STATE OF MAINE

PUBLIC UTILITIES COMMISSION

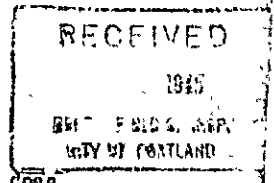
Casco Bay Light and Power Company -
Petition for construction of building
to house Generator on Peaks Island.

U.#1623

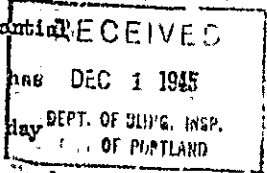


SOUMARD, Chairman; BOYLE and HILL, Commissioners.

APPEARANCE: Herman Burgl, Jr., 95 Exchange Street, Portland,
for Petitioner.



Casco Bay Light and Power Company is a public utility which does
an electric light and power business on seven islands in Casco Bay.
Establishments of both the U.S. Army and U.S. Navy are substantial
customers of the Company and at the present time the Company has
generating capacity of 1,301 KW. Its average load varies per day
between 600 and 870 KW and peaks within the last few months have been
as high as 1,000 KW.



At a hearing held at the offices of the Commission, November 27th,
after a notice to the interested parties, it appeared that in order to
insure continuous electric service to its customers, the Casco Bay Light
and Power Company should install a 1,000 KW Diesel Generator in order
to have sufficient capacity while the necessary maintenance and repairs
are being made to the present generators of the Company. The Company
has made arrangements to purchase a new Generator and in order to house
such a unit, with the auxiliary apparatus, it is necessary to add to
its Power Plant at Peaks Island, a building 17' x 34' x 23'.

Section 84 of Chapter 30 of the Revised Statutes of 1944, deals
with planning and zoning powers of municipalities. Peaks Island is
a part of the City of Portland which has a Zoning Ordinance effective
in 1935. The text to the last paragraph of Section 84 above referred to

1965:
"A building or land used or to be used by a public service corporation may be exempted in part or whole from regulations enacted under the provisions of this section provided that upon petition, the public utilities commission, after due notice and a public hearing, adjust such exemption to be reasonably necessary for the convenience or welfare of the public."

The provisions of the section as to notice and public hearing having been complied with, the Commission is satisfied from the evidence presented to it, that an exemption from the zoning ordinance of the City of Portland is reasonably necessary for the convenience and welfare of the public, insofar as the aforementioned building to house the new generator at the Company's plant on Peaks Island is concerned.

It is therefore,

ORDERED, ADJUDGED and DECREED

That the aforementioned building or land used or to be used by Casco Bay Light and Power Company, be exempt in whole from the regulations enacted by the City of Portland in effecting its Zoning Ordinance, so called.

Given under the hand and seal of the Public Utilities Commission, at Augusta, this 27th day of November, A.D. 1965.

19

| | | |
|--------------------------|---|------------------|
| <u>Frank E. Southard</u> | } | PUBLIC UTILITIES |
| <u>James J. Boyle</u> | | COMMISSION |
| <u>George E. Hill</u> | | OF MAINE |

A true copy.

Attest: [Signature]
Clerk



11/13/45

STATE OF MAINE
PUBLIC UTILITIES COMMISSION

Casco Bay Light and Power Company
Petitioner for construction of
building to house generator on
Peak's Island.

U. 1823

On petition of Casco Bay Light and Power Company to construct
a building to house a generator for supplying energy to its customers,
said building to be erected on Peak's Island, it is

ORDERED

that a public hearing be held at the offices of the Public Utilities
Commission, State House, in Augusta, on November 27, 1945 at 10:30
o'clock in the forenoon, standard time, and the Clerk of this Com-
mission is hereby

ORDERED

to give notice of said hearing to Casco Bay Light and Power Company,
by causing to be sent by registered mail to Herman Burgi, Jr.,
Vice President, 95 Exchange Street, Portland 6, Maine and to the
inhabitants of the City of Portland, by causing to be sent by registered
mail to the City Clerk of said City, a copy of this order, certified
by the Clerk of this Commission, both ten days at least before the date
of said hearing.

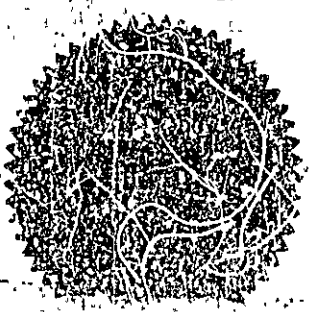
Dated at Augusta, this 13th day of November, A.D. 1945.

BY ORDER OF THE COMMISSION

Roy E. Jowers
Clerk

A true copy,

Attest: *[Signature]*
Clerk





(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
1730
DEC 8 1915

Class of Building or Type of Structure Second
Portland, Maine, November 21, 1915

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~any building~~ the following building ~~and~~ equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Name Island Avenue, Peaks Island Within Fire Limits? Dist. No.
Contractor's name and address Casco Bay Light & Power Company, Island Av., Peaks Island Telephone
Contractor's name and address Telephone
Architect Wadsworth Boston & Tuttle Specifications Plans Yes No. of sheets 3
Proposed use of building Power Plant No. families
Last use " " No. families
Material brick No. stories 1 Heat Style of roof Roofing
Other buildings on same lot Fee \$ 6.00
Estimated cost \$ 6000

General Description of New Work

To Construct one story brick addition 26' by 54' as per plans submitted

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories 1 solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Casco Bay Light & Power Co.

APPROVED:

Signature of owner By: Philip Wadsworth

PERFECTION COPY

INSPECTION NOT COMPLETED

Permit No. 45/1730

Location Island Ave, Pease Isl

Owner Casco Bay Sh & Power Co

Date of permit 12/3/45

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn

Cert. of Occupancy issued

NOTES

INSPECTION NOT COMPLETED

INSPECTION NOT COMPLETED

INSPECTION NOT COMPLETED

INSPECTION NOT COMPLETED

Memorandum from Department of Building Inspection, Portland, Maine
Island Ave., Peaks Island- Relocation of one story building by and for Casco Bay
Light and Power Co.-----3/9/44

To Owner:

As per Section 205-b-2 of the Building Code, no part of eaves or cornice
is permitted closer than 3 feet to the property line.

(Signed) Warren McDonald
Inspector of Buildings



(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT **PERMIT ISSUED**
0162

Class of Building or Type of Structure Third Class

Portland, Maine, March 9, 1944 **MAR 10 1944**

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~erect~~ erect the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Within Fire Limits? no Dist. No. _____
Corner City Point Rd.
 Owner's or Lessee's name and address Casco Bay Light & Power Co. Telephone 3-6438
95 Exchange St.
 Contractor's name and address Owner Telephone _____
 Architect _____ Plans filed 7.62 No. of sheets 1
 Proposed use of building Storehouse No. families _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 1 Year no Style of roof pitch Roofing asphalt
 Last use office No. families _____

General Description of New Work

To relocate building 33' x 20' on same property as shown on plan
 To demolish no story addition app. 5' x 20' on rear of building

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

**CERTIFICATE OF OULUPAPPA
 REQUIREMENT IS WAIVED**

Is any plumbing work involved in this work? _____
 Is any electrical work involved in this work? _____ Height average grade to top of plate _____
 Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? solid earth or rock? earth
 Material of foundation concrete piers Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys no Material of chimneys _____ of lining _____
 Kind of heat no Type of fuel _____ Is gas fitting involved? _____
 Framing lumber Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" C. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____
 If one story building with masonry wall, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work req. removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements, pertaining thereto are observed? yes
 Casco Bay Light & Power Co.

Signature of owner Herman Burdick

INSPECTION COPY

Permit No. 44/162

Location Island Ave. (2)

Owner Cases, Ben Light & Sons

Date of permit 9/14/44

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 5/22/45 OK

Term. of Occupancy issued None

Notes
1. Tank 43/62
2. Tank 43/60
3. Tank 43/62

| NO. | DESCRIPTION | DATE | STATUS |
|-----|-------------|------|--------|
| 1 | ... | ... | ... |
| 2 | ... | ... | ... |
| 3 | ... | ... | ... |
| 4 | ... | ... | ... |
| 5 | ... | ... | ... |
| 6 | ... | ... | ... |
| 7 | ... | ... | ... |
| 8 | ... | ... | ... |
| 9 | ... | ... | ... |
| 10 | ... | ... | ... |

City of New York

Department of Buildings

New York

INTER-OFFICE CORRESPONDENCE

CITY OF PORTLAND, MAINE

CORPORATION COUNSEL

August 27, 1943

Mr. Warren McDonald
Building Inspector
City Building
389 Congress Street
Portland 3, Maine

Dear Sir:

I have received a copy of the decree of the Public Utilities Commission granting the petition of the Casco Bay Light and Power Company for permission to construct a shop, warehouse and office adjacent to Power Plant on Peaks Island.

Under the terms of this decree you are authorized to issue a building permit for this building notwithstanding that it may conflict with the terms of our city zoning ordinance.

Very truly yours,

W. Mayo Payson
W. Mayo Payson
CORPORATION COUNSEL

WMP:G

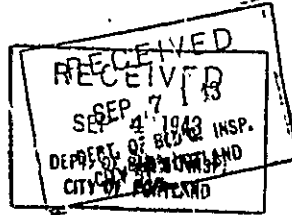
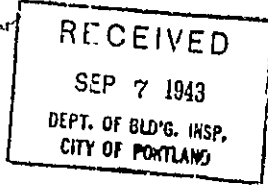
RECEIVED
AUG 30 1943
DEPT. OF MED. INSP.
CITY OF PORTLAND

Office of WADSWORTH & BOSTON ARCHITECTS

57 Exchange Street · Portland, Maine

Philip Shirley Wadsworth, A. I. A.
Royal Boston, A. I. A.

September 4, 1943.



Warren McDonald,
Building Inspector,
City Hall,
Portland, Maine.

Re: Casco Bay Light and
Power Company building.

Dear Mr. McDonald:

I have talked to Mr. Burgi since writing the letter which accompanied the drawings on the above captioned building.

Mr. Burgi would prefer that the 3-plys of roofing which are permitted by WPB should be installed without gravel to facilitate the addition of future roofing as mentioned in my letter.

If this meets with your approval, will you please inform us or indicate it in whatever conditions may accompany the permit.

Very truly yours,

Philip Shirley Wadsworth

WADSWORTH & BOSTON.

PSW:L

Rept. 3592D-I

September 7, 1926

Wadsworth & Beaton,
57 Exchange Street,
Portland, Maine

Subject: Building permit for addition to power
station of Casco Bay Light & Power Co. on Island
Ave., corner City Point Road, Peaks Island

Gentlemen:

Certificate of Public Convenience and Necessity from Public Utilities Commission having been approved by the Corporation Counsel of the City, thus authorizing me to issue the permit under the zoning law, building permit for the above work is granted herewith, and in accordance to the following in reply to your letter of September 3rd:

1. Under your statement of design it is not necessary to secure my approval upon reinforcement of the footings, but I shall appreciate and hope you will not neglect in the pressure of events to furnish the detailed information in suitable form to be attached to the plans so that the record in our files may be correct and complete.
2. Presumably the requirement of a nailing strip on top flange of steel beams for joints to bear upon is intended for the stiffening of the top or corrugation flange of the beam as well as for stiffening the wooden floor construction. If the owner is satisfied I shall not insist upon the introduction of the two-inch nail strip; but in view of the rather heavy loads designed for I feel that some equivalent measure ought to be taken to guard against any possible buckling of the top flanges. Perhaps a frequent lag bolt through the top flange up into a floor joist at frequent intervals or a wooden strip spiked to the underside of the joists along both edges of the top flanges will suffice. If the two inches of decreased headrocks of moment. In the latter case, however, to be of much use, the wooden strips ought to be at least two inches thick, of well seasoned lumber and placed snug against the steel.
3. If the end wall of the present building is in good condition, it is not clear in my mind that the four-inch reinforcement is required by the Building Code, but, of course, it is allowable. As a matter of fact a "liner" required to increase the thickness of a wall up to Code requirements is stipulated to be no less than eight inches thick. If bearing requirements can be taken care of by the existing wall in good condition, the added construction ought to tend to stiffen the existing wall rather than otherwise. If the four-inch reinforcement is to be used, I presume it will be "toothed-in" at frequent intervals.
4. The permit is issued based on having a section of the first floor open and the railing along the edge. If the plans for a floor of a lighter construction, raised or otherwise, materialize, please file a revised plan with an application for approved amendment to the permit now issued.
5. It seems evident that the roof covering of the addition could be straight Glass or roll roofing. On that basis I see no reason as far as the Code is concerned to later change the roof to 4-ply.

Very truly yours,

Inspector of Buildings

WGD/H

Nadsworth & Boston

September 7, 1945

P.S. Casco Bay Light & Power Company has a copy of this letter.

With oil of such a high flash point the raised threshold is certainly not required. While no doubt a good precaution for the owner in this poor cut installation, the Code does not require the fire resistive walls or fire door either. Nevertheless I hope they will provide these desirable protective features. If it is decided not to, please furnish revised plans accordingly with application for an approved amendment.

No objection to leaving gravel on new roofing provided the layer of felt exposed to the weather is of the type which bears on each roll the label of Underwriter's Laboratories Inc. identifying it as Class "C" roofing. One might suppose that the label Class A or Class B would mean better roofing; but both of the latter classes, if using rag felts are required to have coverings such as gravel.

Sept. 583D-

August 29, 1945

Waltham & Boston,
57 Exchange Street,
Portland, Maine

Subject: Application for building permit to
cover one-story and basement addition to
the power station of Gas, Ray Light & Power
Co., on Island Avenue, Falmouth Island, corner
of City Point Road

Gentlemen:

The certificate of public necessity, approved by our Corporation Counsel, has not yet been received. In the meantime the following questions arise, and will you be kind enough to revise the plan accordingly so that we may be in position to issue the permit when the approved certificate is at hand. I presume there are no written specifications except those on the plans, since none was filed.

On the first floor space outside of the office space is to be used for storage. On that basis please indicate on the plans the allowable live load per square foot upon which the design is based. Before the floor is put into use permanent signs are required posted on the walls showing the allowable live load per square foot of the floor.

Since the new stairs are evidently more than 40 inches wide, handrails are required on both sides, full length. I presume there is no doubt but that rise and treads satisfy the maximum and minimum of 8 1/2 for risers and 9 inches for treads.

I can discover no provision for daylight or ventilation of either toilet room; in fact there seems to be no door in the partition between the main floor and the locker room in which one toilet room is situated. Light and air for toilet rooms are not now regulated by the Building Code but are regulated by the State Plumbing Rules. I think the arrangements shown does not satisfy these rules, and it would be best to get the matter straightened out before the plumbing permits are applied for.

It is assumed that the oil to be stored in the oil storage room would have a flash point of more than 200 degrees Fahrenheit. If the oil would have a flash point lower than that, it would be an inflammable liquid, and the fire door and frame would have to comply with the Code for a standard Class C fire door (see 511-c-3.2(b)). Laboratories as approved for use in rooms and corridors, should be made either self-closing or automatic closing, and if the vapor fire is heavier than air the threshold of the door ought to be raised at least six inches above the level of the storage room floor.

Footings of foundation wall apparently not reinforced and extends beyond the ends of the wall more than 75 percent of the depth of footing (Section 308-c-3.3). The substantial load from the lally columns in the basement could hardly be distributed over the area of the footing which is two foot six inches square and only one foot thick unless the footing is reinforced. Floor joists shown to bear directly on top flange of steel beams, but wood nailor. (Section 511-c-3.2-(b)) No detail of situation where wooden posts supporting roof get their bearing, presumably they will be carried down to a bearing upon the steel beams and definitely fastened into position. No metal anchors shown from floor and roof joists to masonry walls as required by 511-c-3.2(c).

No indication as to framing of partitions or covering of them except an indication of sheathing (presumed to be wood) on one side of locker room partition.

Wrightworth & Boston—2

August 26, 1943

I assume the partitions are to be framed with at least 2x3 studs, set vertically, no more than 18 inches from center to center. No particular requirement as to covering these partitions except the oil storage room if oil has flash point less than 200 degrees Fahrenheit. If wooden sheathing is used, however, vertical 2x3 studs are still required unless the different framing allowed by Section 511-c-3.7 is applicable.

Is the present end wall of existing building to be removed either in basement or first story? Basement plan seems to indicate that it is not. First floor plan is indefinite.

Presumably the end area of first floor where no framing is shown is to be open to the basement. If so, a substantial railing (perhaps removable) should be provided the length of the wall.

I understand WFB has limited the roofing to 4-ply. That satisfies the Building Code but I presume the mopping is to be protected by gravel.

Very truly yours,

WLD/H

Inspector of Buildings

CC: Casco Pay Light & Bower Co.,
95 Exchange Street

WADSWORTH & BOSTON ARCHITECTS

Page 2.

The use of a nailer also weakens the beam to some extent. However, I have indicated a nailer thereon and will be glad to build it either way which you wish. Wooden posts supporting roof will rest directly on flanges of I beams and will be fastened by two floors being cut neatly around them. We will install blocking to adjacent floor joists if you wish. Priorities have been obtained for metal anchors from floor and roof joists to masonry walls in accordance with the building code and they will be installed.

6. All partitions will be framed of 2" x 4" studs spaces not more than 16" on centers. We shall sheath them on one side with tongued and grooved boarding and they will be sheathed on both sides at such a time as additional lumber is available.

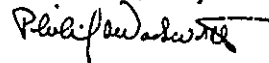
7. The present end wall of the existing building is to remain in place, the reinforcement of 4" of brick resting upon the existing foundation which projects 4". This has been noted on the drawings.

8. It is likely that the end of the first floor where no framing is shown will be floored over for light storage at a level somewhat above the level of the first floor. Details of this will be furnished you for your approval if this is done. We can not determine as yet whether we can do this at the present time until material is taken off and we see what our priorities will allow us. In the meantime a substantial railing having a 2" x 4" top rail and intermediate rail with adequate posts will be installed.

9. WPB has limited the roof to 3-ply. The top layer of felt will be mopped and protected with gravel. The additional layers of roofing to bring it up to a twenty year roof will be installed as soon as conditions permit.

We hope to start work on the project next week and would appreciate anything you can do to expedite the granting of a permit. I enclose a revised set of drawings for your consideration.

Very truly yours,



WADSWORTH & BOSTON.

PSW:L

Enclosure.

cc: Mr. Burgi.

Office of WADSWORTH & BOSTON · ARCHITECTS

57 Exchange Street · Portland, Maine

Philip Shirley Wadsworth, A. I. A.
Royal Boston, A. I. A.

September 3, 1943.

Rev. 2 9/4/43

Warren MacDonald,
Building Inspector,
City Hall,
Portland, Maine.

Subject: Application for building permit
to cover one-story and basement addition
to the power station of Casco Bay Light &
Power Co., on Island Avenue, Peaks Island,
corner of City Point Road.

Dear Mr. MacDonald:

This will acknowledge your letter of August 26 regarding the above captioned application.

I will answer the questions which you have asked in your letter in the order in which they come:

1. The first floor space outside of the office space is to be used for storage. The load for which the beams were figured is indicated on the first floor plan.
2. While the new stairs are more than 40" wide, a wooden chute will be hinged at the side of these stairs which will take 2" out of the apparent width of 3'6". This chute will be lowered for purposes of running articles to the basement by gravity. In its' stand-up position, the top of it will be at such a height that it will serve as a second hand rail. This chute will extend from the top of the first riser to the landing. The rise and run of the treads will satisfy the maximum and minimum of the Portland building code, viz. 8½ inches for risers and 9 inches for treads.
3. Windows have been added for ventilation of toilet rooms and these will be installed in accordance with the provisions of the state plumbing code.
4. The oil to be stored in the oil storage room will have a flash point of more than 300 degrees Fahrenheit. This oil is lubricating oil only for use in lubrication of the engines and generators of the power plant. All fuel oil is stored outside building in metal tanks. We would prefer not to put a curb at the door to this room if possible as fairly heavy drums of lubricating oil must be moved in. With the type of oil to be stored, I do not believe that a curb is necessary.
5. Footing of foundation wall has been changed so that the projection is not more than the 75 per cent of the depth of the footing. It is intended to reinforce this footing using second hand material but until this material is obtained we can not indicate what it will be on the drawings. The footings for the Lally columns in the basement will be reinforced with similar material in accordance with sound engineering practice. I will be glad to give you details of this reinforcement before it is installed for your approval. Joists were shown to bear through on the top flange of the steel beams without a wood nailer because of conditions of head. To my mind, this method of construction with adequate 2" blockwidth stiffening the joists is sounder construction than relying upon a 2" nailer with nails to hold the joists in place.



APPLICATION FOR PERMIT

APARTMENT HOUSE PERMIT ISSUED

Class of Building or Type of Structure Second Class

Portland, Maine: July 31, 1913 SEP 7 1913

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure—equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Feske Island Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address Cor. City Point Road _____

Contractor's name and address Owner Telephone _____

Architect Wadsworth & Beavan, 57 Exchange St. Plans filed yes No. of sheets 3

Proposed use of building Power Station No. families _____

Other buildings on same lot _____

Estimated cost \$ 2,000. Fee \$ 6.00

Description of Present Building to be Altered

Material brick No. stories 1 Heat _____ Style of roof flat Roofing T&G

Use Power Station No. families _____

General Description of New Work

To build one story and basement (basement of addition will be at same level as existing building on account of grade) brick addition app. 53' x 29' on southeast side of building

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Is any plumbing work involved in this work? _____

Is any electrical work involved in this work? _____ Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof flat Rise per foot _____ Roof covering T&G

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Framing lumber—Kind spruce Dressed or full size? dressed

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof

span over 8 feet: Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Philip Wadsworth Onsoo Bay Light & Power Co.

INSPECTION NOT COMPLETE

Permit No. 43/882

Location: Island Co. Sicks

Owner: Chas. Ray L.T. Co.

Date of permit 9/7/43

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

10/11/43 tanks 43/692
11/12/1069
11/1/62

NOTES

6/22/45. No roof tiles
on west wall. No
Widow's walk will have
other provisions.

Rept. 5443D-I

July 20, 1945

Subject: Building permit for installation
of two fuel oil tanks on Island Ave.,
corner City Point Road, Pecks Island

Casco Bay Light & Power Co.,
95 Exchange Street,
Portland, Maine

Attention: Mr. Burgi

Gentlemen:

The above permit is herewith, the decree of the Public Utilities Commission relating thereto, dated July 9, 1945, having authorized and ordered the issuance of this building permit, subject to the regulations of the City of Portland for such installation excepting the regulations of the Zoning Ordinance applying thereto, the tanks being proposed in an Apartment House Zone where, but for the above decree, the permit could not be issued.

As per my conversation with Mr. Burgi, the permit is issued with the following understandings:

1. The two tanks are to be spaced no less than five feet apart, instead of the three feet shown on the original drawing.
2. Both tanks will have a 4-inch vent to relieve any excessive internal pressure.
3. The thickness of the shells of the tanks is at least one-quarter of an inch, the material being steel, and the heads of the tanks are "dished".
4. Both tanks have been in use at other locations for a long time and have undoubtedly proven by actual use and have no doubt been tested to prove their ability to withstand the usual pressure with factor of safety without leakage or deformation.
5. The flanges of the pipe connections are of steel.

Very truly yours,

Mob/H

Inspector of Buildings

CC: Chief Sanborn

INTER-OFFICE CORRESPONDENCE

CITY OF PORTLAND, MAINE

CORPORATION COUNSEL

July 19, 1943

Mr. Warren McDonald
Building Inspector
City Building
389 Congress Street
Portland 3, Maine

Re: Public Utilities Commission

Casco Bay Light and Power Company - Petition for
authority to install Two - 20,000 Gallon, Fuel
Oil Storage Tanks at Peaks Island.

U. #176A

Dear Sir:

I have examined the decree of the Public Utilities Commission in the above entitled matter, dated July 9th, 1943, and find that the decree is in proper form and that under it you are authorized and instructed to issue the necessary permits for the construction of the two additional fuel oil storage tanks, subject to the regulations of the City of Portland for such installations excepting the regulations of the Zoning Ordinance.

Very truly yours,


W. Mayo Payson
CORPORATION COUNSEL

WMP:G



APARTMENT HOUSE ZONE APPLICATION FOR PERMIT

Permit No. 06272

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. Portland, Maine, July 2, 1943

The undersigned hereby apply with the Laws of the State of Maine and the following specifications: Building Code of the City of Portland, plans and specifications, if any, submitted herewith.

Class Building or Type of Structure Fuel Oil Tanks
Location Island Avenue, Portland
Owner's or Lessee's name and address Cor. City Point Road Within Fire Limits? NO Dist. No. _____
Contractor's name and address Galton Bay Light & Power Co., 95 Exchange St Telephone 2-6438
Architect Owner Telephone _____
Proposed use of building _____ Plans filed YES No. of sheets 1
Other buildings on same lot _____ No. families _____
Estimated cost \$ 1,000.

Description of Present Building to be Altered
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work
To install two 20,000 gallon tanks for fuel oil as per plan
Permit issued under orders of Public Utilities Commission dated July 9, 1943.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? _____
Size, front _____ depth _____ Height average grade to top of plate _____
No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation concrete piers Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing: Lumber—Kind _____ Dressed or full size? _____
Corr. posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" C. C. Girders 6x8 or larger. Bridging in every floor and flat roof
Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____ 2nd _____ 3rd _____ roof _____
On centers: 1st floor _____ 2nd _____ 3rd _____ roof _____
Maximum span: 1st floor _____ 2nd _____ 3rd _____ roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

ALL INFORMATION FURNISHED HEREON IS UNCLASSIFIED
DATE 11/19/01 BY SP-6/BJW/STW

No. cars now accommodated on same lot _____
Total number commercial cars to be accommodated _____ to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____
Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? NO
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES
Signature of owner: By Herman Berg
Inspector: _____

INSPECTION COPY

Galton Bay Light & Power Co.

INSPECTION-NOT COMPLETED

Permit No 43/292

Location Island Pk. Parks

Owner Island Pk. Light Parks

Date of permit 1/20/43

Notif. closing-in

Final closing-in

Final Inspn.

Cert. of Occupancy issued

1/23/1061
43/842

NOTES

FOR REPAIR

| No. | Description of Work | Inspected by | Date | Remarks |
|-----|--------------------------------|--------------|------|---------|
| 1 | General inspection of New York | | | |
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Warren McDonald,
Inspector of Buildings

Dear Sir: — Having full understanding of the application
of FEDERAL WAR PRODUCTION BOARD CONSERVATION ORDER L-41
to the construction work which we propose at Peaks Island
in the City of Portland, we desire that you issue the building
permit to cover that work.

CASCO BAY LIGHT & POWER CO.

By

Herman Burge

P-19-h. #13463.

A-1-C



THIS SIDE OF CARD IS FOR ADDRESS

Warren McDonald, Inspector of Buildings,
Room 21, City Hall,
Portland, Maine

VERNON F. WEBB, PRESIDENT

JAMES W. COBURN, TREASURER

CASCO BAY LIGHT AND POWER COMPANY
Casco Bay Light & Water Company

ELECTRICITY - - GAS

95 EXCHANGE STREET
PORTLAND, MAINE

September 3, 1942

File with application for application to City, memo 9/4/42

Mr. Warren McDonald, Building Inspector
City Hall
Portland, Maine

Dear Mr. McDonald:

Yesterday I was in Augusta and took up with Mr. Southard, Chairman of the Public Service Commission, the matter of issuing us a Certificate of Convenience and Necessity to enable us to construct the addition to our Power House at Peak's Island.

I enclose you, herewith, a copy of the Affidavit that we have forwarded to the Public Service Commission today.

Very truly yours,

CASCO BAY LIGHT AND POWER

By *James W. Coburn*
James W. Coburn
Treasurer

Enc.
JWC/DPJ

RECEIVED
SEP 4 1942
DEPT. OF E.L.G. W.P.
CITY OF PORTLAND

RECEIVED

SEP 4 1942

DEPT. OF S.D.C. W.P.
CITY OF PORTLAND

STATE OF MAINE
County of Cumberland

} ss.

Then personally appeared JAMES W. COBURN of Portland, in the County of Cumberland and State of Maine, to me known, who being duly sworn on oath deposed and said:

That he is the Treasurer of CASCO BAY LIGHT AND POWER COMPANY, a corporation duly organized and existing under the laws of the State of Maine;

That said Company does the electric light and power business on the following islands in Casco Bay:

Peak's,
Great Diamond,
Little Diamond,
Cushing's,
Long,
Great Chebague, and
Cliff;

That said Company supplies the Army at Great Diamond Island, feeding Ft. McKinley and Ft. Lyon with electric energy;

That the Navy is installing a Receiving Station now on Great Diamond Island which will require in the neighborhood of 150 KW, to be supplied by said Company;

That the Army also occupies Ft. Levett on Cushing's Island which is supplied with electric energy by said Company;

That the United States Engineers are constructing fortifications on Peak's Island and said Company is supplying electric energy to the construction plant, amounting to about 150 KW; and that after this construction is completed, it is expected that the Army will take in the neighborhood of 70 to 100 KW at this location, to be supplied by said Company;

That the Navy is installing an Oil Storage Depot on Long Island, for which said Company is now supplying temporary power for construction purposes, and for which later on, it is expected that said Company will supply from 50 to 100 KW of service;

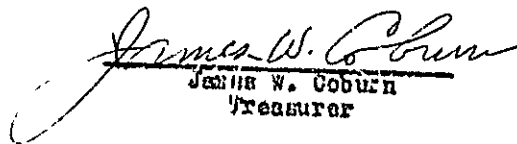
That because of the increased load conditions, it is now necessary for said Company to install a 521 KW, 750 HP Diesel engine;

That to house this 521 KW Diesel engine, it is necessary to enlarge the present Power House by building an addition thereto 34' x 42' x 19';

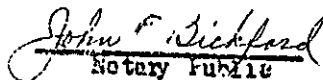
That the Zoning Ordinance of the City of Portland went into effect in 1930;

That the land owned and used by said Company is in the residential section under the Zoning Ordinance and that for the erection of the addition to the Power Plant by said Company, it is necessary to have a Certificate of Convenience and Necessity;

That with this Certificate, the City of Portland will give said Company the right to proceed with the addition to said Company's Power House on Peak's Island.


JAMES W. COBURN
Treasurer

Subscribed and sworn to before me by said
JAMES W. COBURN at Portland, Maine,
this third day of September, 1942.


Notary Public

Office of WADSWORTH & BOSTON ARCHITECTS

57 Exchange Street · Portland, Maine

Philip Shirley Wadsworth, A.I.A.
Royal Boston, A.I.A.

September 16th, 1942

Mr. Warren McDonald,
Inspector of Buildings,
City Hall,
Portland, Maine.

Dear Mr. McDonald:

It is proposed to build the roof on the alterations at Peaks Island for the Casco Bay Light and Power Company differently from what was indicated on the set of drawings which were submitted to you when asking for a permit.

Attached you will find a set of prints of the drawings which show the construction as it is finally proposed to erect it.

The roof rafters will run at right angles to the direction originally shown and will be supported on additional steel beams running onto the existing and new columns and on the wall towards Island Avenue and towards the water. The rafters are 2" x 10", 16" on centers, block-bridged once in their span and the greatest span is less than 14', so they are in conformity with the requirements of the code. Wooden nailers are bolted to the tops of I beams supporting these rafters and on the Island Avenue side they are framing on to a wooden plate which is bolted to the brickwork. On the other end of the rafter on the water side, they will be anchored to the masonry with steel anchors in strict conformity to the building code and where the rafters run parallel to the masonry they are anchored in the required manner.

Mr. Burgi has just told me that he has obtained the necessary permission from the Public Utilities Commission and I assume he will send a copy to you at once. Our Owners would like to start work immediately and would appreciate it if a permit could be issued as soon as is convenient for you.

Very truly yours,

Philip Shirley Wadsworth

WADSWORTH & BOSTON

PSW:JB
Encl.
C/C Mr. Burgi

Office of WADSWORTH & BOSTON ARCHITECTS

57 Exchange Street, Portland, Maine

Philip Shirley Wadsworth, A.I.A.
Royal Boston, A.I.A.

September 14th, 1942

*Philip Shirley Wadsworth
A.I.A.
9/14/42*

Mr. Warren McDonald,
Inspector of Buildings,
Dept. of Building Inspection,
City Hall,
Portland, Maine.

Dear Mr. McDonald:

Re: rept. 2154D-1

This will acknowledge your letter of September 11th regarding the addition to the power house of the Casco Bay Light and Power Company, Island Avenue, Peaks Island.

I have gone over the drawings and have made all of the changes which you suggest in your letter.

I felt and still feel that the 8" wall mentioned in your third paragraph is adequate provided the reinforced pilasters were built. I regarded this as a 12" wall with panels. However, we will remove the existing portion of the wall as you suggest and will build that entire wall 12" thick.

anchors in accordance with the building code had already been ordered from Nequier Jones Company and will be installed as indicated in a note on the drawings. The 2" x 10" rafters on the 17' span originally indicated at 18" spacing have been changed to 14" spacing. I am anxious not to go to 12" rafters as this would probably have to be of fir. I believe that the 14" spacing will be somewhat better as our bridging will be more effective.

I have indicated that the removable panels in the side and end toward the bay will be anchored with steel reinforcing rods 2' long built into the piers and between the angles forming the lintel and also into the 8" removable portion. These dowels are indicated to be spaced not more than 2' on centers.

The structural steel beams supporting the 8" exterior wall are indicated and noted to be wrapped and fire-proofed with at least 2" of concrete.

I trust that these revisions will meet your approval and a permit can be issued promptly.

PSW:JB
C/C Mr. Burgi, Geo. F. West Co.

Very truly yours,
Philip Shirley Wadsworth
WADSWORTH & BOSTON

Rept. 2154D-I

September 11, 1942

Radsworth & Bost
57 Exchange Street,
Portland, Maine

Subject: Addition to Power House of
Casco Bay Light and Power Company, Island
Avenue, Peaks Island

Gentlemen:

The Corporation Counsel also that I am unable to issue the building permit for this work until the certificate of public necessity has been issued by the Public Utilities Commission. I believe the public hearing is on September 12th, so if the petition is successful, no doubt the certificate will be forthcoming the early part of next week.

In the meantime we have been examining the plans and find a few details which do not seem to satisfy the Building Code. As soon as the certificate is received or evidence that it has been issued I am willing to issue the building permit without waiting for revised plans as to the details mentioned below. However, I hope you will realize that I am responsible for having the plans in our file to show the work as actually built and in compliance with the Building Code, and will as soon as possible furnish revised plans by way of blueprints with all of the information printed from the original on them.

It is my belief that the eight-inch non-bearing exterior walls of the addition on the side toward Island Avenue do not satisfy the requirements of the Code, even though four-inch pilasters have been introduced, the unsupported vertical height of the walls being about 14 feet 6 inches. I realize that this would mean removing the one story section of the eight-inch wall of the existing building which is to be extended upwards; also that you have introduced the four-inch pilasters in an effort to stiffen these enclosure walls. I doubt if the pilasters are heavy enough and I do not believe they receive sufficient support from the roof construction to count them as sufficiently stiffening the eight-inch wall at this height.

In connection with the anchorage of this same wall to the roof, the detail of section BB shows that the roof ^{boards} are to be cut off at the inside face of the wall and do not continue through and fasten to the bolted plate. In such a case I think the requirements of the Building Code for metal anchors would have to be complied with, which may be found in the last sentence of Section 511-c-3.2-(c).

The 2x10 roof joists on the higher part of the building, of spruce or hemlock, dressed, being good for about 1050 pounds on the 17 foot span while the theoretical load on these joists is about 1200 pounds.

I presume the removable panels in side and end toward the bay will be anchored at some manner to the 12-inch wall and the lintel.

The structural steel beams supporting the eight-inch exterior wall of the clerestory of the addition are required to be fireproofed, and material and method

Wadsworth & Boston-----2

September 11, 1942

of fireproofing should be shown on the plan. See Section 301-c-3 of the Building Code and Section 302-d-2 and 3.

Very truly yours,

W McD/H

Inspector of Buildings

CC: Casco Bay Light & Power Co.
95 Exchange Street

Attention Mr. Burgl, Jr.



APARTMENT HOUSE PERMIT ISSUED APPLICATION FOR PERMIT

Permit No. 59

Class of Building or Type of Structure Second Class SEP 18 1942

Portland, Maine, September 1, 1942

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Off Island Avenue, Peaks Island Within Fire Limits? no Dist. No. _____
 Owner's or Lessee's name and address Casco Bay Light & Power Co., 95 Exchange St. Telephone _____
 Contractor's name and address Owner Telephone _____
 Architect Hedsworth & Boston, 57 Exchange St. 3-8471 Plans filed yes No. of sheets? Spec.
 Proposed use of building Power Plant No. families _____
 Other buildings on same lot _____
 Estimated cost \$ 17,000. Fee 6.00

Description of Present Building to be Altered

Material brick No. stories 1 Heat _____ Style of roof flat Roofing T&O
 Last use Power Plant No. families _____

General Description of New Work

To build one story brick addition app. 35' x 50' on easterly side of building as per plans

Certificate of Public Necessity from Public Utilities Commission filed in Office of City Clerk 9/17/42

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____
 Is any electrical work involved in this work? _____ Height average grade to top of plate _____
 Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing lumber—Kin' _____ Dressed or full size? _____
 Corner posts _____ s _____ Girt or ledger board? _____ Size _____
 Material columns _____ orders _____ Size _____ Max. on centers _____
 Studs (outside) _____ carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

By Gasco Bay Light & Power Co.
Hedsworth & Boston

ION COPY

[Handwritten signature]

[Handwritten number] 21540

INSPECTION NOT COMPLETED P

Permit No 12/1069

Location Off Island on Pecker

Owner Casco Bay Light Tower Co

Date of permit 9/18/42

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

W. T. Bacon NOTES

Outlook 43/929
Fuel Outlooks 43/692
A/C 43/232

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W. MAYO PAYSON
CORPORATION COUNSEL



CITY OF PORTLAND, MAINE
LEGAL DEPARTMENT

August 21, 1942

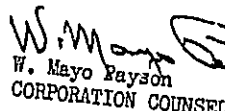
Mr. Warren McDonald
Inspector of Buildings
City Building
Portland, Maine

Re: Casco Bay Light &
Power Company fuel
oil storage tank at
Peaks Island

Dear Sir:

I have examined the decree of the Public Utilities Commission in connection with this matter and that decree is a proper finding of convenience and necessity and directs the exemption of this storage tank from the terms of our zoning ordinance. It is, therefore, proper to issue the permit, notwithstanding the provisions of the zoning ordinance applicable thereto.

Very truly yours,


W. Mayo Payson
CORPORATION COUNSEL

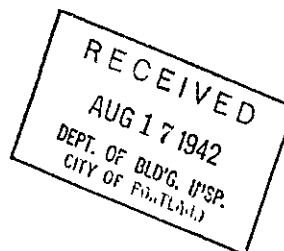
WMP:G



CASCO BAY LIGHT AND POWER COMPANY

95 Exchange Street
Portland, Maine

August 13, 1942



Mr. A. Edwin Smith,
City Clerk
City Hall
Portland, Maine

Dear Ed:

I am enclosing you, herewith, for your information, copy of the Affidavit that we are filing with the Public Utilities Commission as requested by the Chairman, Frank Southard.

This Affidavit is to be used at the hearing, to be held at Augusta on August 19.

I think that this Affidavit sets forth the urgent need of this tank and the reason why we are applying for permission to erect it.

If you desire any further information in this matter, kindly advise me.

Very truly yours,

CASCO BAY LIGHT AND POWER CO.

By s/ James W. Coburn

Treasurer

D.P.J.

Enc. - Affidavit
JWC/EPJ

C
O
P
Y

CASCO BAY LIGHT AND POWER COMPANY
95 Exchange Street
Portland, Maine

STATE OF MAINE
County of Cumberland } ss.

Then personally appeared JAMES W. COBURN of Portland, in the County of Cumberland and State of Maine, to me known, who being duly sworn on oath deposed and said:

That he is the Treasurer of CASCO BAY LIGHT AND POWER COMPANY, a corporation duly organized and existing under the laws of the State of Maine;

That said Company does the electric light and power business on the following islands in Casco Bay:

Peaks,
Great Diamond,
Little Diamond,
Cushing's,
Long,
Great Chebeague, and
Cliff;

That said Company supplies the Army at Great Diamond Island, feeding Ft. McKinley and Ft. Lyon with electric energy;

That the Navy is installing a Receiving Station now on Great Diamond Island which will require in the neighborhood of 150KW, to be supplied by said Company;

That the Army also occupies Ft. Levett on Cushing's Island which is supplied with electric energy by said Company;

That the United States Engineers are constructing fortifications on Peak's Island and said Company is supplying electric energy to the construction plant, amounting to about 150 KW; and that after this construction is completed, it is expected that the Army will take in the neighborhood of 70 to 100 KW at this location, to be supplied by said Company;

That the Navy is installing an Oil Storage Depot on Long Island, for which said Company is now supplying temporary power for construction purposes, and for which later on, it is expected that said Company will supply from 50 to 100 KW of service;

That it is very necessary for said Company to have local storage of Diesel Fuel Oil at its Plant on Peak's Island, and that said Company gets its oil from the mainland by means of a barge of 5000 gallons carrying capacity, which barge has to beach out and then pump the oil into its storage tanks;

That during the period from December to April, due to ice conditions and stormy weather, it is not feasible to transport oil in this manner, and, therefore, said Company has always planned to have sufficient storage of oil on Peak's Island to carry it through these months;

That because of the increased load conditions experienced, it is now necessary for said Company to increase the amount of fuel oil storage on Peak's Island; and said Company proposes to install a 20' in diameter by 25' high tank which said Company purchased from the Socony-Vacuum Oil Company, which tank is being taken down at its present location at Newcastle, Maine, and re-erected on said Company's land at Peak's Island;

That this tank has a capacity of approximately 60,000 gallons and will be installed in accordance with the requirements of the City of Portland;

That in the past said Company used from 6,000 to 8,000 gallons of fuel oil per month, but under present conditions said Company is using in the neighborhood of 12,000 gallons per month;

That with the new Navy load and other load coming on, which said Company did not have through the past winter, it is estimated that said Company will require about 16,000 gallons of fuel oil per month;

That said Company should have a minimum of 60,000 gallons of oil on hand on December first of any year;

That said Company's present storage capacity is 42,000 gallons, and that with the proposed 60,000 gallons additional storage, said Company would have a capacity of 100,000 gallons;

That in 1929 said Company purchased the so-called Trott land which adjoins the land on which said Company's Generating Plant is located; that the house which was on the Trott land was razed within the next year and since then there have been no structures of any kind on this land;

That the Zoning Ordinance of the City of Portland went into effect in 1938;

That the land owned and used by said Company is in the residential section under the Zoning Ordinance and that for the erection of a fuel oil storage tank by said Company, it is necessary to have a Certificate of Convenience and Necessity, especially so where this land has not been in use for the purpose of storing oil prior to the enactment of the Zoning Ordinance;

That with this Certificate, the City of Portland will give said Company the right to proceed with the installation of this storage tank.

s/ James W. Coburn
Treasurer

Subscribed and sworn to before me by said
JAMES W. COBURN at Portland, Maine,
this thirteenth day of August, 1942.

s/ John E. Bickford
Notary Public

For Mr. McDonald

C
O
P
Y

95 Exchange St.
Portland, Maine

Monday
August 10
1942

Rec'd 8/10/42
WMD

Public Utilities Commission
State House
Augusta, Maine

Attention of Mr. Frank E. Southard, Chairman

Gentlemen:

I called you this morning with reference to a Certificate of Convenience and Necessity which the City of Portland would like to have us get in order to install a 60,000 gallon fuel oil storage tank on our land at Peaks Island. The City asked us to get this under Section 141, Chapter 5 of the Enabling Act of the Revised Statutes.

The Casco Bay Light and Power Company does the electric light and power business on the following Islands in Casco Bay: Peaks, Great Diamond, Little Diamond, Cushing's, Long, Great Chebeague and Cliff. The Company supplies the Army at Great Diamond, feeding Fort McKinley and Fort Lyon with electric energy. The Navy is installing a Receiving Station now on this Island, which will require in the neighborhood of 150 KW. The Army also has Fort Levett on Cushing's Island, which has no supply. On Peaks Island the United States Engineers are constructing fortifications, for which this Company is supplying electric energy to the construction plant, amounting to about 150 KW. After this construction is completed, it is expected that the Army will take in the neighborhood of 70 to 100 KW at this location. The Navy is installing an Oil Storage Depot on Long Island, for which we are now supplying temporary power for construction purposes, and for which later on it is expected that the Company will supply from 50 to 100 KW of service.

It is very necessary for the Casco Bay Light and Power Company to have local storage of diesel fuel oil at its Plant. The Company gets its oil from the mainland by means of a barge of 5000 gallons carrying capacity, which it has to beach out and then pump the oil into its storage tanks. During the period from December to April, due to ice conditions and stormy weather, it is not feasible to transport oil in this manner, and, therefore, the Company has always planned to have sufficient storage of oil on the Island to carry it through these months. Because of the increased load conditions experienced, it is now necessary for this Company to increase the amount of storage on Peaks Island. The Company proposes to install a 20' diameter by 25' high tank which it will purchase from the Socony-Vacuum Oil Company- taking

August 10, 1942

it down at its present location at Newcastle, Maine, and re-erecting it on the Company's land at Peaks Island. This tank has a capacity of approximately 60,000 gallons and will be installed in accordance with the requirements of the City of Portland.

In the past the Casco Bay Light and Power Company used from 6,000 to 8,000 gallons of fuel oil per month. Under present conditions, we are using in the neighborhood of 12,000 gallons per month. With the new Navy load and other load coming on, which we did not have through the past winter, the estimate is that we will require about 16,000 gallons of fuel oil per month. The Company should have a minimum of 60,000 gallons of oil on hand on December 1 of any year. Our present storage capacity is 42,000 gallons and with the proposed 60,000 gallons additional storage it would give the Company a capacity of 100,000 gallons.

In 1929 the Company purchased the so-called Trott land which adjoins the land on which our Generating Plant is located. The house which was on the Trott land was razed within the next year and since then there has been nothing on this land. The Zoning Ordinance of the City of Portland went into effect in 1938. The land owned and used by the Casco Bay Light and Power Company is in the residential section under the Zoning Ordinance, and for the erection of a fuel oil storage tank by the utility it is necessary to have a Certificate of Convenience and Necessity, especially so where this land has not been in use for the purpose of storing oil prior to the enactment of the Zoning Ordinance. With this Certificate, the City of Portland will give us the right to proceed with the installation of this storage tank.

Therefore, the Casco Bay Light and Power Company prays that the Maine Public Utilities Commission grant to it a Certificate of Convenience and Necessity for the installation of the 20' by 25' oil storage tank of approximately 60,000 gallons capacity, for the storage of diesel fuel oil having a flash point of 150 to 190°F.

We are enclosing a blueprint showing the location of this tank.

Very truly yours,

CASCO BAY LIGHT AND POWER COMPANY

By

Herman Burgi, Jr.
Vice President
Portland Office

HB:S
Enc.



(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

PERMIT NO. 10829

Class of Building or Type of Structure Fuel Oil Storage AUG 21 1942

Portland, Maine, August 3, 1942

To the INSPECTOR OF BUILDINGS, PORTLAND, ME:

The undersigned hereby applies for a permit to ~~erect~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address Casco Bay Light & Power Co., Peaks Island Telephone 3-5132

Contractor's name and address Osner Telephone _____

Architect _____ Plans filed yes No. of sheets 1

Proposed use of building _____ No. families _____

Other buildings on same lot _____

Estimated cost \$ 3700. Fee \$ 1.50

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To install one 60,000 gallon tank (vertical) for storage of fuel oil, new installation, as per plan - dike to be provided as required by Building Code

Approved by Public Utilities Commission

Storage applied for _____

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVER

Is any plumbing work involved in this work? _____

Is any electrical work involved in this work? _____ Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" C. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

Signature of owner Osner Casco Bay Light & Power Co.

INSPECTION _____

CHIEF OF FIRE DEPT.

Permit No 42) 929 P

Location Island Ave. Peaks

Owner Casco Bay Lt. & Power Co.

Date of permit 8/21/45

Notif. closing-in

Inspn. closing-in

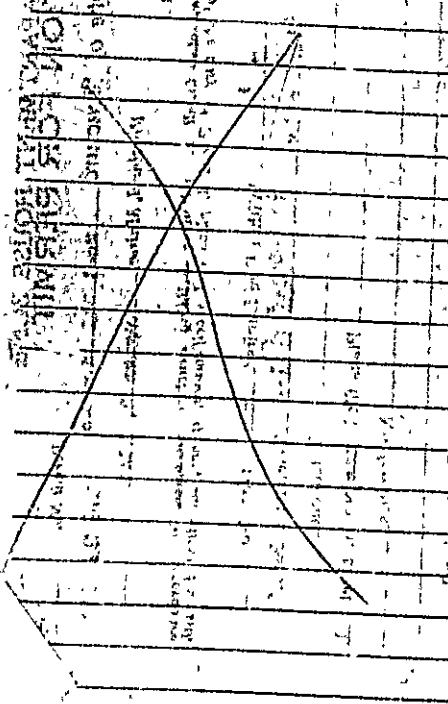
Final Notif.

Final Inspn. 1/25/46

Cert. of Occupancy issued

NOTES

Permit 42) 929



| Inspection of | Inspected by | Date | Remarks |
|---------------|--------------|------|---------|
| Foundation | | | |
| Structure | | | |
| Interior | | | |
| Exterior | | | |
| Plumbing | | | |
| Electrical | | | |
| Mechanical | | | |
| Sanitary | | | |
| Fire | | | |
| Other | | | |

Chief of Inspection Office

Inspection of Building



Permit No. **PERMIT ISSUED**
APPLICATION FOR PERMIT TO REPAIR BUILDING

Third Class Building

SEP 5 1938

Portland, Maine, September 5, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to repair the following described building in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location City Point Rd., Park Island Ward 12.2 Within fire limits? no Dist. No. _____

Owner's name and address Casco Bay Light & Water Co., Park Island Telephone _____

Contractor's name and address Owner Telephone _____

Use of building Dwelling

No. stories 14 Height _____ ft., Gross area _____ sq. ft., Style of roof pitch

Type of present roof covering wooden shingles

General Description of New Work

To cover entire roof

If Roof Covering is to be Repaired or Renewed:

When last repaired? _____, Area then repaired _____ sq. ft.

Are repairs or renewal due to damage by fire? no If so, what area damaged? _____ sq. ft.

Area of roof to be repaired now? entire _____ sq. ft.

Type of roofing to be used Asphalt roofing No. plies _____

Trade name and grade of roof covering to be used Class C Uhd. Lab.

Estimated cost \$ _____ Fee \$.50

Signature of owner By: Jacob W. Colman
Truman

INSPECTION COPY



APPLICATION FOR PERMIT TO REPAIR

NO. 131
DAMAGED

Third Class Building

Portland, Maine, September 1, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to repair the following described building in accordance with the
Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Off Island Ave., Peaks Island Ward Isl. 2 Within fire limits? no Dist. No. _____
Owner's name and address Casco Bay Light & Water Co., Island Ave., Peaks Telephone _____
Contractor's name and address Owner Telephone _____
Use of building Barn
No. stories 1 1/2 Height _____ ft., Gross area _____ sq. ft., Style of roof pitch
Type of present roof covering wooden shingles

General Description of New Work

To cover entire roof

If Roof Covering is to be Repaired or Renewed

When last repaired? _____, Area then repaired _____ sq. ft.
Are repairs or renewal due to damage by fire? no If so, what area damaged? _____ sq. ft.
Area of roof to be repaired now? entire _____ sq. ft.
Type of roofing to be used Asphalt roofin. _____ No. plies _____
Trade name and grade of roof covering to be used Class C Und. Lab.
Estimated cost \$ _____ Fee \$.50

Casco Bay Light & Water Co.

Signature of owner By

Jas. W. Coburn
Pres

INSPECTION COPY



APPLICATION FOR PERMIT

PERMIT ISSUED
0410

Class of Building or Type of Structure Third Class

APR 20 1934

Portland, Maine, April 18, 1934

To INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter or repair the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Ward 1A2 Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address Casco Bay Light & Water Co. Telephone _____

Contractor's name and address T. J. Ross, Elizabeth St. Peaks Telephone 62

Architect's name and address _____

Proposed use of building _____ No. families _____

Other buildings on same lot _____

Plans filed as part of this application? no No. of sheets _____

Estimated cost \$ _____ Fee \$ _____

Description of Present Building to be Altered

Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____

Last use dwelling house No. families 1

General Description of New Work

To demolish building _____

It is understood that this permit does not include installation of heating apparatus which is to be taken separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes Casco Bay Light & Water Co.

Signature of owner By Robert J. Ross

INSPECTION COPY

1665 B

Ward 212 Permit No. 24/410

Location Inland Ave. Peaks

Owner Casco Bay Light & Water Co.

Date of permit 4/20/34

Notif. closing-in

Inspn. closing-in 87

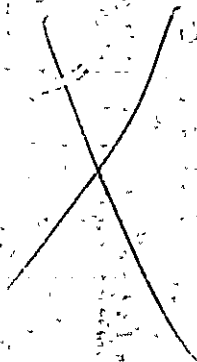
Final Notif. 8

Final Inspn. 8/3/34 2

Cert. of Occupancy issued none

NOTES

5/17/34 - work of
demolition started
but not yet com-
pleted. A.J.
8/3/34 - Building de-
molished. A.J.



Labco Bag Right Form Co. Perchall

Present volume of material

$$26 \times 40 \times 24 = 24,960$$

$$14.5 \times 17 \times 40 = 9,860$$

$$\begin{array}{r} 34,820 \\ \hline 6,960 \end{array}$$

Per Addon

$$25 \times 14 \times 14 = 4,900 \text{ PK}$$

Mr. Colburn says no increase
in gas machine
run 10/2/74



(A) APARTMENT HOUSE ZONE

2267

Permit No.

183021

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Oct 26 1926

Portland, Maine, October 23, 1926

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Off Island Ave. Peaks Ward 1 Within Fire Limits? Yes Dist. No. _____
 Owner's or Lessee's name and address Casco Bay Light & Water Co. 120 Exchange St. Telephone F 866
 Contractor's name and address Antonio Cipriano, Peaks Island Telephone _____
 Architect's name and address John P. Thomas
 Proposed use of building Gas House No. families _____
 Other buildings on same lot _____

Description of Present Building to be Altered

Material Brick No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Last use Electric generating plant No. families _____

General Description of New Work

To Build one story brick addition, 26'4" x 15' 4" for gas house
as per plans submitted

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation Concrete Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof Flat Roof covering Tar and gravel 4 or 5 ply
 No. of chimneys no Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Distance, heater to chimney _____
 If oil burner, name and model _____
 Capacity and location of oil tanks _____
 Is gas fitting involved? _____ Size of service _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor Concrete, 2nd _____, 3rd _____, roof 2x8
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof 16'
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 13'
 Is one story building with masonry walls, thickness of walls? 12" height? 14'

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Plans filed as part of this application? yes No. sheets 4
 Estimated cost \$ 1860 Fee \$ 3.75

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes
 Signature of owner Herman Bung...
 Casco Bay Light & Water Co.

ORIGINAL

7915

Ward 1 Permit No. 28/2267

Location Off Island Ave. Peaks

Owner Casco Bay Light & Water Co.

Date of permit 10/25/28

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

10/25/28

Division for Inspection

No further work to be done after 10/25/28. In case of change of plans, notify the Division of Inspection.

Division for Inspection

City of San Francisco

10/25/28

10/25/28



YOU!
 are responsible for ownership and detail must be correct, complete and legible.
 with the law, which requires a separate application required for every building.
 know the requirements. Plans must be filed with this application.
READ! This Application and
 Get All Details BEFORE Commencing Work.
Failure To Do So May Prove EXPENSIVE!

Application for Permit for Alterations, etc.

Portland, Me., APR 11 29 1925

To the

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Description of Present Bldg.

Location Island Ave, Peaks Ward 1 in fire-limit no
 Name of Owner or Lessee, Peaks Island Corp Address Peaks Island
 " " Contractor, Antonio Cippiano " Arcadia Street
 " " Architect, " "
 Material of Building is brick Style of Roof, flat Material of Roofing, T & G
 Size of Building is feet long; feet wide. No. of Stories,
 Cellar Wall is constructed of is inches wide on bottom and tapers to inches on top.
 Underpinning is is inches thick; is feet in height.
 Height of Building is inches thick; is feet in height.
 What was Building last used for? Power Station No. of Families?
 What will Building now be used for? Power Station

Detail of Proposed Work

Build brick addition one story high 43x18 feet of brick wall not
 more than 10 feet high with flat tar & gravel roof
 all to comply with the building ordinance

Estimated Cost \$ 1200.

If Extended On Any Side

Size of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk?
 No. of Stories high?; Style of Roof?; Material of Roofing?
 Of what material will the Extension be built? Foundation?
 If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.
 How will the extension be occupied? How connected with Main Building?

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?
 No. of feet high from level of ground to highest part of Roof to be?
 How many feet will the External Walls be increased in height? Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.
 Size of the opening? How protected?
 How will the remaining portion of the wall be supported?

Signature of Owner or Authorized Representative

Peaks Island Corporation
 By: Jas. W. Colman
 Treas.

Address

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK