

BRACKETT AVE., PEAKS ISLAND 87-II-37



# APPLICATION FOR PERMIT

**PERMIT ISSUED**

B.O.C.A. USE GROUP .....  
B.O.C.A. TYPE OF CONSTRUCTION .....

MAR 29 1976  
0195

ZONING LOCATION A-3 PORTLAND, MAINE, March 26, 1976

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION .... 87-II-37 Brackett Ave., P.I. ..... Fire District #1  #2

1. Owner's name and address Dorothy Curran same Telephone .....

2. Lessee's name and address ..... Telephone .....

3. Contractor's name and address Walter Crandall 323 Broadway S.P. Telephone 767-3857

4. Architect ..... Specifications ..... Plans ..... No. of sheets .....

Proposed use of building dwelling ..... No. families .....

Last use ..... No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractual cost \$ 5,000 ..... Fee \$ 20.00 .....

FIELD INSPECTOR—Mr. Smith .....

This application is for: @ 775-5451

Dwelling ..... Ext. 234

Garage .....

Masonry Bldg. ....

Metal Bldg. ....

Alterations .....

Demolitions .....

Change of Use .....

Other .....

**GENERAL DESCRIPTION**  
To construct addition to existing dwelling 12'x20' as per plans

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1  2  3  4   
Other: .....

### DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ..... 2nd ..... 3rd ..... roof .....

On centers: 1st floor ..... 2nd ..... 3rd ..... roof .....

Maximum span: 1st floor ..... 2nd ..... 3rd ..... roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

### IF A GARAGE

No. cars now accommodated on same lot ....., to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY: DATE

BUILDING INSPECTION—PLAN EXAMINER .....

ZONING: O.R. M.C.W. 3/29/76

BUILDING CODE: O.R. E.P. 3/29/76

Fire Dept.: .....

Health Dept.: .....

Others: .....

MISCELLANEOUS

Will work require disturbing of any tree on a public street? .....

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes .....

Signature of Applicant Walter Crandall Phone # .....

Type Name of above Walter Crandall 1  2  3  4

Other .....

and Address .....

FIELD INSPECTOR'S COPY

NOTES

6/22/86 - Wood Shop *PH*



Permit No. 76/0195  
Location 87-II-32 Buckle Ave., P. 11  
Owner Orally Ruane  
Date of permit 3/22/74  
Approved \_\_\_\_\_

Service

11/11/39

PERMIT NUMBER 10153

87/11/39 PERMIT TO INSTALL PLUMBING

Address: 5th St. both sides of Public School

Date Issued: 8-2-61

Installation For:

PORTLAND PLUMBING INSPECTOR

Owner of Bldg.: Portland P. S.

By: J. P. Welch

Owner's Address: 5th St. Public Sch. No. 1

APPROVED FIRST INSPECTION

Number: Donald G. Brundell Date: 5-25-61

Date: 8-3-61

Table header: NEW / REP'L. PROPOSED INSTALLATIONS NUMBER FEE

By: J. P. Welch

SINKS 1 3.00

APPROVED FINAL INSPECTION

LAVATORIES 1 2.00

Date: 8-3-61

TOILETS 1 2.00

By: JOSEPH P. WELCH

BATH TUBS

TYPE OF BUILDING

SHOWERS

- COMMERCIAL
- RESIDENTIAL
- SINGLE
- MULTI FAMILY
- NEW CONSTRUCTION
- REMODELIN

DRAINS 1 2.00

HOT WATER TANKS 3

TANKLESS WATER HEATERS

GARBAGE GRINDERS 1 2.50

SEPTIC TANKS

HOUSE SEWERS

ROOF LEADERS (conn. to house drain)

Total 10.00

SM 12-33

PORTLAND HEALTH DEPT.

PLUMBING INSPECTION

File in Bldg. 10153  
8-3-61 out



P3 RESIDENCE ZONE PERMIT ISSUED

APPLICATION FOR PERMIT Third Class

APR 10 1961 0317

CITY of PORTLAND

Class of Building or Type of Structure Portland, Maine, April 7, 1961

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Brackett Ave, Peaks Island Within Fire Limits? Dist. No. Telephone
Owner's name and address Mrs. Dorothy Curran, Peaks Island former owner Donald Grandall Telephone
Lessee's name and address 307 1/2 Rt. Curran, Peaks Island Telephone
Contractor's name and address Specifications Plans yes No. of sheets 1
Architect No. families 1
Proposed use of building Dwelling No. families 1
Last use (garage) Style of roof Roofing
Material frame No. stories 1 Heat
Other buildings on same lot Transfer of fee-- Fee \$ 5.00
Estimated cost \$2,000 paid 10-29-54

General Description of New Work

To change garage 20' x 22' to 1-family dwelling and make alterations. To erect partitions for rooms, 2x4 studs, 16" on centers, covered with plasterboard. 2x6 ceiling timbers, 24" on centers, 12' span, covered with plasterboard. To change two garage doors to single house door and two windows. To change window to door on lefthand side of building. To cut in two windows in proposed kitchen, one window to be 3' wide with 4x4 header. To cut in window in proposed bathroom. There will be sets of wooden steps, one outside of side door and one outside of front door. No platforms.

Permit Issued with Memo 3/30/61

appeal sustained

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Is connection to be made to public sewer? no If not, what is proposed for sewage? septic tank
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate 11' Height average grade to highest point of roof 16'
Size, front depth 11' No. stories 1 solid or filled land? earth or rock?
Material of foundation concrete at least 4" below grade or to ledge no
Kind of roof 1 1/2" thickness, top 15" bottom 15" cellar Asphalt Class C Und. Label
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat stove fuel oil
Framing Lumber-Kind Dressed or full size? Corner posts 4x4 Sills 4x10
Size Girder 6x6 Columns under girders iron posts Size 4" Max. on centers 7'
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. 2x8
Joists and rafters: 1st floor 2x8, 2nd, 3rd, roof 2x8
On centers: 1st floor 24", 2nd, 3rd, roof 24"
Maximum span: 1st floor 10', 2nd, 3rd, roof height?
If one story building with masonry walls, thickness of walls?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Mrs. Dorothy Curvan

APPROVED:

J. E. W. W/Memo

by: Dorothy E. Curvan

INSPECTION COPY

Signature of owner





(COPY)



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION Brackett Ave, Peaks Island

Issued to Mrs. Dorothy Curran  
Peaks Island, Maine

Date of Issue August 13, 1962

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 61/317, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY  
Single family dwelling

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

(Date)

Inspector

*Carl Smith*

*Albert J. Sears*  
Inspector of Buildings

Notice: This certificate identifies law 1 use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Memorandum from Department of Building Inspection, Portland, Maine

AP Brackett Ave. Peaks Island(87-II-37)

April 10, 1961

Mrs. Dorothy E. Curran  
57 Exchange Street

Dear Mrs. Curran:

Building permit for alterations to former 2-car garage, 20'x22' to change its use to a single family dwelling at the above named location is being issued subject to compliance with conditions of the recent zoning appeal, and in accordance with the following:

1. Chimney flue lining is to extend full length of chimney and a cast iron cleanout door is to be provided at not over 1 foot above chimney foundation.
2. The main house girder is to be supported by Lally Columns at not over 8 feet on centers.

If a furnace is to be installed then a separate permit will be required for this installation. This permit must be taken out by the actual installing contractor.

Very truly yours,

Gerard W. Hawberry

P.S. Please notify this office when work is completed so that inspection can be made and a certificate of occupancy issued.



*Granted 3/30/61  
61/20*

DATE: March 30, 1961

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF DOROTHY E. CURRAN

AT BRACKETT AVENUE

Public Hearing on the above appeal was held before the Board of Appeals.

BOARD OF APPEALS

VOTE

Franklin G. Hinckley,  
Ralph L. Young  
Frederick B. Nelson

Yes  
S  
S  
S

No  
(  
(  
(

Record of Hearing:

No opposition.

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

MISCELLANEOUS APPEAL

March 23, 1961

Lot No. 87-II-37

Dorothy E. Curran, owner of property at Brackett Ave. P.I. (Assessors'), under the provisions of Section 24 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals to permit: Alterations to former two-car garage 20 feet by 22 feet to change its use to a single family dwelling at this location. This permit is presently not issuable because of non-compliance with the following requirements of Sec. 4-B applying to the R-3 Residence Zone in which the property is located: (1) The area of the lot on which the building is located is only 3600 square feet instead of the minimum lot area of 6500 square feet specified. (2) The area of lot per family is to be only 3600 square feet instead of the 6500 square feet specified. (3) The lot width is only 40 feet instead of the 65 feet required. (4) The width of one side yard is only about 6 feet instead of the minimum width of 8 feet specified.

LEGAL BASIS OF APPEAL: Such permit may be granted only if the Board of Appeals finds that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

Dorothy E. Curran  
APPELLANT

DECISION

After public hearing held April 30, 1961, the Board of Appeals finds that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

It is, therefore, determined that such permit may be issued.

Franklin N. Hindley  
George W. Roberts  
Arthur J. Strong  
BOARD OF APPEALS

March 27, 1968

Mrs. Dorothy S. Curran  
57 Exchange Street  
Portland, Maine

Dear Mrs. Curran:

March 30, 1961,

CITY OF PORTLAND, MAINE  
BOARD OF APPEALS

March 27, 1961

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Thursday, March 30, 1961, at 4:00 P.M. to hear the appeal of Dorothy E. Curran requesting an exception to the Zoning Ordinance to permit alterations for former two-car garage 20 feet by 22 feet to change its use to a single family dwelling on Brackett Avenue, Peaks Island (Assessor's lot No. 87-11-37).

This permit is presently not issued because of non-compliance with the following requirements of Section 4, applying to the R-3 Residence Zone in which the property is located: (1) The area of the lot on which the building is located is only 3400 square feet instead of the minimum lot area of 6500 square feet specified. (2) The area of lot per family is to be only 3600 square feet instead of the 6500 feet required. (3) The lot width is only 40 feet instead of the 65 feet required. (4) The width of one side yard is only about 6 feet instead of the minimum width of 8 feet specified.

All persons interested either for or against this appeal will be heard at the above time and place.

BOARD OF APPEALS

Franklin G. Hinckley

Chairman

cc: Donald C. Endal - Brackett Ave. P.I.  
Marion L. Emerson - Bowdoin St

March 14, 1961

Mrs. Dorothy E. Curran  
57 Exchange Street  
Portland, Maine

Dear Mrs. Curran:

Your letter of March 10, 1961 addressed to Mr. Ralph L. Young, a member of the Zoning Appeal Board, has been referred to this office.

We have had this matter checked with the Building Inspector and enclose herewith his letter of certification so that this matter may be properly presented to the Board of Appeals. If you will call at this office, Room 208, City Building, we will be glad to assist you further by preparing the necessary appeal papers for your signature.

The Board of Appeals may not initiate any hearings and, therefore, the procedure outlined above will be necessary before a decision can be rendered in this case.

If you wish to process your appeal rights, we might add that, if you will call at this office within the next week or ten days, it will be possible for this case to be heard by the Board of Appeals on Thursday, March 30, 1961 at 4:00 p.m. in the Council Chamber, City Hall, at which time you should plan to be in attendance.

Very truly yours,

Barnett I. Shur  
Corporation Counsel

BIS:M  
Enclosure

ALBERT J. SEARS  
INSPECTOR OF BUILDINGS

CITY OF PORTLAND, MAINE  
Department of Building Inspection

AP-Brackett Ave., Peaks Island (Assessors' Lot No. 87-II-37)

March 14, 1961

C  
O  
P  
Y  
Mrs. Dorothy E. Curran  
57 Exchange Street

cc to: Corporation Counsel ✓

Dear Mrs. Curran:

Building permit for alterations to former two-car garage 20 feet by 22 feet to change its use to a single family dwelling at the above named location is not issuable under the Zoning Ordinance because of non-compliance with the following requirements of Section 4-B applying to the R-3 Residence Zone in which the property is located.

1. The area of the lot in which the building is located is only 3600 square feet instead of the minimum lot area of 6500 square feet specified.
2. The area of lot per family is to be only 3600 square feet instead of the 6500 square feet required.
3. The lot width is only 40 feet instead of the 65 feet required.
4. The width of one side yard is only about 6 feet instead of the minimum width of 8 feet specified.

I understand that you would like to exercise your appeal rights concerning these discrepancies. Accordingly I am certifying the case to the Corporation Counsel, to whose office in Room 208, City Hall, you should go to file the appeal. This certification letter is being written in order to enable you to get your problems before the Board of Appeals. If the appeal is sustained, it will be necessary before a permit can be issued for considerable information to be furnished as to your plans and the present condition of the building. The long drawn out negotiations in relation to the building and the fact that a great deal of the alteration work needed to make the conversion was probably done several years ago without a permit, raises a question as to the status of the building under the Building Code. It is useless, however, to go into that until disposition of the appeal is known.

Very truly yours,

Albert J. Sears  
Director of Building Inspection

AJS:m

# The Employers' Group

OF INSURANCE COMPANIES

CAMPBELL, PAYSON & NOYES  
STATE AGENTS  
MAIL ADDRESS: BOX 527, PEARL STREET STATION  
57 EXCHANGE STREET, PORTLAND 6, MAINE

EMPLOYERS' LIABILITY Insurance Corporation, Ltd.  
AMERICAN EMPLOYERS' Insurance Company  
THE EMPLOYERS' FIRE Insurance Company  
THE HALIFAX Insurance Company of Massachusetts

Peaks Island, Maine  
March 10, 1961

Mr. Ralph L. Young  
Zoning Appeal Board  
City Hall  
Portland, Maine

Dear Sir:

Several years ago I purchased a building from my sister and brother-in-law which had formerly been a garage. My brother-in-law built the garage himself, and it was built according to specifications. This property is on Peaks Island, and is on the site that formerly was a Green House which was owned by Ed Rounds. The building is built on a good foundation with a four foot cellar.

My brother-in-law was going to take care of the work for me, and I sent him up for the permits. I paid \$5.00 and got a receipt, but there was some question which I never really understood. I am not going into detail on this, as the enclosed letter is self-explanatory.

I am a Secretary at Campbell, Payson & Noyes and work for Mr. Milton W. Stover and Roger F. Woodman. Mr. Stover took this matter up with Mr. Sears, as he is a personal friend of his, and he said the only thing I could do would be to write a letter to the Board of Appeals, and see if you could study the situation and if the situation warrants it let me get my permit. I figure the time has come when I have got to know once for all whether I can finish it up or not.

At this point I really need the home. I have invested quite a bit of money in the place, and so far have nothing, \$2,750 to be exact. I bought all new fixtures, lumber, piping, etc. The fixtures are still sitting there after about five years. The building is only 20 x 22, and I guess my problem is not enough land. The Board of Health approved it for the septic tank which, incidentally, is just sitting there in the ground. It is such a small place, it is hard to believe that it could have caused so much trouble.

I am 51 years of age. I work all the time and live alone. I don't believe I would ever overflow the septic tank. I expect to be working for some time to come, but would like to have this little place if I ever get through working, and it does seem too bad that I have paid out so much money in rent all these years because I just didn't know exactly what to do about this place.



The EMPLOYERS' GROUP MAN IS THE MAN WITH THE PLAN



*The Employers' Group*  
OF INSURANCE COMPANIES

CAMPBELL, PAYSON & NOYES  
STATE AGENTS  
MAIL ADDRESS: BOX 327, PEARL STREET STATION  
57 EXCHANGE STREET, PORTLAND 6, MAINE

THE EMPLOYERS' LIABILITY Insurance Corporation, Ltd.  
AMERICAN EMPLOYERS' Insurance Company  
THE EMPLOYERS' FIRE Insurance Company  
THE HALIFAX Insurance Company of Massachusetts

I have been wanting to do this for a long time. I would very much appreciate your checking on this and letting me hear from you. Thank you very much.

Very truly yours,

*Dorothy C. Curran*

*my writing  
change*

*mine*



The EMPLOYERS' GROUP MAX IS THE MAN  
*with the Plan*

WARREN McDONALD  
INSPECTOR OF BUILDINGS

On reply refer  
to file

FU

CITY OF PORTLAND MAINE

Department of Building Inspection

Reg. Mail (Mr. Crandall's copy)  
Return Receipt

November 21, 1957

12, 10/57

AP Brackett Ave. Peaks Island (Assessors' Lot No. 87-11-37)---Proposed change  
of garage to single family dwelling

Mr. Donald Crandall  
Brackett Ave.  
Peaks Island, Me.  
Mrs. Dorothy Curran  
Luther St.  
Peaks Island, Me.

Dear Mrs. Curran and Mr. Crandall:

At long last time has been found to examine the complicated situation with relation to the garage on Mrs. Curran's land on Brackett Ave. (Assessors' Lot No. 87-11-37).

Whether or not any of the physical changes, listed on the application for the permit, were done before the application for the permit was filed on October 29, 1954, is not known; but now, although the permit has not been issued for reasons which should be obvious to all, we find that a great deal of the work has been done.

This, of course, is in violation of the Building Code. While we do not want to be abrupt or unnecessarily severe, Mr. Crandall's copy of this letter is being sent by registered mail, as directed by Section 109 of the Building Code (copy enclosed), and he is hereby required to make clear before December 10, 1957, how he proposes to make good the violation. It is realized, of course, that you will have to work together to work out a solution, especially in view of the application of the Zoning Ordinance as explained later on. Nevertheless, the entire matter has been in uncertainty too long, and we shall have to insist that the entire situation be brought to a right conclusion at the earliest possible date.

While not made clear on the application for the permit, the garage probably once went with the dwelling house on the next lot. It appears that Mrs. Curran's lot, not many years ago, was set out from the larger lot where the dwelling house is, and the remainder of the dwelling house lot is now in Mr. Crandall's name.

The physical alterations and the change in use from garage to dwelling of course, be authorized by a building permit. After the work has been done in compliance with both Building Code and Zoning Ordinance, a certificate of compliance from this department is required before the building may be occupied lawfully as a dwelling house. However, the building permit cannot be issued under the provisions of the Building Code, which became effective early last June for the following reasons:

Mr. Donald Crandall  
Mrs. Dorothy Curran

November 25, 1957

Mr. Curran's lot has an area of only 3600 square feet, a width of 40 feet and a frontage on Breakfast Ave. of 40 feet. Instead of the minimum lot area of 6500 square feet, the minimum width of 63 feet and the minimum frontage on the street of 50 feet stipulated by Section A-3, B-1, and C-1 of the Ordinance applying in the R-1 Residential Zone where the property is located.

According to Mr. Crandall's site plan, the space between the right hand side of the proposed dwelling (as one faces the building from the street) and the side lot line on that side is only six feet instead of the minimum of eight feet stipulated by Section A-3.

There would be only 3600 square feet of land instead of the 6500 square feet set as minimum area for each family by Section A-3, and the area of 3600 square feet is far short of the minimum of 7600 square feet required by Section 18 of the Ordinance in cases where the septic tank sewage disposal system is necessary.

It appears that the only possible way of overcoming these zoning discrepancies would be by resort to the Zoning Board of Appeal. If Mrs. Curran desires to follow this course, it would be well to notify me quickly so that a certification letter may be sent and thus approach a solution of the matter, which Mr. Crandall is supposed to have ready for us by December 10.

Our records show no conclusive answer to our letter of November 3, 1954 to both of you. It is suggested that Mr. Crandall examine this letter, and give us in writing and by plan the needed information before December 10.

As regards the area of lot required for sewage disposal, the Health Department approved the lot size on the strength of percolation tests, but whether or not they knew that the area of the lot is so small, is not known. It may be that the Health Department assumed that the former garage and the dwelling were on land of the same ownership. If Mrs. Curran desires to file the zoning appeal, their attitude toward the situation will all come out.

Very truly yours,

Warren McDonald  
Inspector of Buildings

W/cn/b



R3 RESIDENCE ZONE  
APPLICATION FOR PERMIT  
Third Class

Class of Building or Type of Structure \_\_\_\_\_

Portland, Maine, \_\_\_\_\_

April 7, 1961

PERMIT ISSUED  
00317  
APR 10 1961  
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

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Location Brackett Ave, Peaks Island (87-11-37) Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
 Owner's name and address Mrs. Dorothy Curran, Peaks Island Telephone \_\_\_\_\_  
 Lessee's name and address former owner Donald Crandall Telephone \_\_\_\_\_  
 Contractor's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
 Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans yes No. of sheets 1  
 Proposed use of building Dwelling No. families 1  
 Last use \_\_\_\_\_ No. families \_\_\_\_\_  
 Material frame No. stories 1 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Other buildings on same lot \_\_\_\_\_ Transfer of fee— Fee \$ 5.00  
 Estimated cost \$ 2,000 paid 10-29-54

General Description of New Work

To change garage 20' x 22' to 1-family dwelling and make alterations.  
 To erect partitions for rooms, 2x4 studs, 16" on centers, covered with plasterboard.  
 2x6 ceiling timbers, 24" on centers, 12' span, covered with plasterboard.  
 To change two garage doors to single house door and two windows.  
 To change window to door on lefthand side of building. To cut in two windows in proposed kitchen, one window to be 3' wide with 4x4 header. To cut in window in proposed bathroom.  
 There will be sets of wooden steps, one outside of side door and one outside of front door. No platforms.

Issued sustained 3-30-61

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes  
 Is connection to be made to public sewer? no If not, what is proposed for sewage? septic tank  
 Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
 Height average grade to top of plate 11' Height average grade to highest point of roof 16'  
 Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation concrete at least 6" below grade or ledge \_\_\_\_\_ Thickness, top 15" bottom 15" cellar no  
 Kind of roof hdp Rise per foot \_\_\_\_\_ Roof covering Asphalt Class C Und. Label  
 No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat stove fuel oil  
 Framing Lumber—KJnd. \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts 4x4 Sills 4x10  
 Size Girder 6x6 Columns under girders iron posts Size 4" Max. on centers 7'  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet 2x8  
 Joists and rafters: 1st floor 2x8, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x8  
 On centers: 1st floor 24", 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 24"  
 Maximum span: 1st floor 10', 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

Miscellaneous

Will work require disturbing of any tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mrs. Dorothy Curran

APPROVED:

CS 301

FILE COPY

Signature of owner

by: Dorothy E. Curran



(A) APARTMENT HOUSE ZONE

R3 RESIDENCE ZONE APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Oct. 29, 1954

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair or demolish the following building ~~located at~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specification:

Location Brackett Ave., Peaks Island Within Fire Limits? no Dist. No. 38 Telephone 2-0117
Owner's name and address Mrs. Dorothy Curran, Peaks Island Telephone 3-6739
Lessee's name and address (former owner Donald Crandall) Telephone 3-6739
Contractor's name and address Donald Crandall, Peaks Island
Architect Donald Crandall Specifications Plans yes No. of sheets 1
Proposed use of building dwelling house No. families 1
Last use garage No. families 1
Material wood No. stories 1 Heat Style of roof Roofing Roofing
Other buildings on same lot 2,000. Appeal sustained 3/20/01 Fee \$ 5.00
Estimated cost \$ 2,000. General Description of New Work

To change garage 20' x 22' to 1-family dwelling house and make alterations.
To erect partitions for rooms, 2x4 studs, 16" on centers, covered with plasterboard.
2x6 ceiling timbers, 24" on centers, 12' span, covered with plasterboard.
To change two garage doors to single house door and two windows.
To change window to door on lefthand side of building. To cut in two windows in proposed kitchen, one window to be 3' wide with 4x4 header To cut in window in proposed bathroom.
There will be sets of wooden steps, one outside of side door and one outside of front door. No platforms.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Donald Crandall existing garage

Details of New Work
Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Is connection to be made to public sewer? no If not, what is proposed for sewage? septic tank
Has septic tank notice been sent? yes Form notice sent? yes
Height average grade to top of plate 11' Height average grade to highest point of roof 16'
Size, front depth at least 4' No. stories solid or filled land? earth or rock? earth or rock?
Material of foundation concrete Thickness, top 15" bottom 15" cellar no
Material of underpinning concrete Height Thickness
Kind of roof hip Rise per foot Roof covering Asphalt Class C Und Lab
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat stove fuel oil
Framing lumber—Kind Dressed or full size? Thickness Size
Corner posts 4x4 Sills 4x10 Girt or ledger board? Size
Girders yes Size 6x6 Columns under girders iron posts Size 4" Max. on centers 7'
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x8, 2nd 2x8, 3rd 2x8, roof 2x8
On centers: 1st floor 24", 2nd 24", 3rd 24", roof 24"
Maximum span: 1st floor 10', 2nd 10', 3rd 10', roof height?
If one story building with masonry walls, thickness of walls? height?

If a Garage
No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

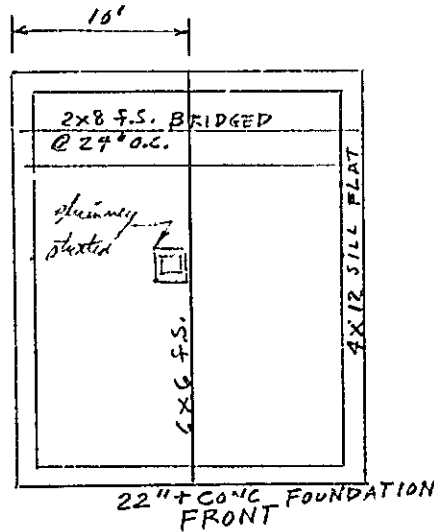
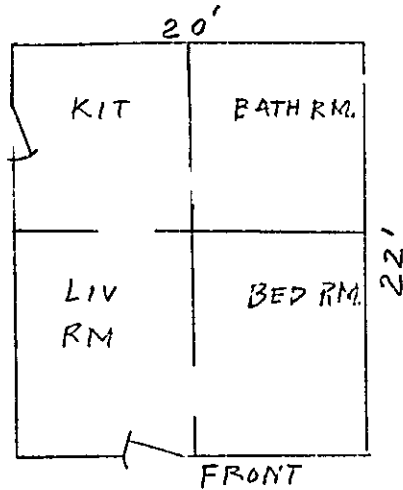
Miscellaneous
Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Mrs. Dorothy Curran

APPROVED:
Signature of owner by Donald Crandall
INSPECTION COPY



- Blakes Island  
87-II-37

4/5/61



$$2 \times 8 @ 24" O.C. span 9' \quad \frac{1241 \#}{9 \times 2} = 69 \# / ft^2$$

$$\text{Minder } 6 \times 6 \text{ F.S. } S = bh^3/6 = 6 \times 36/6 = 36 \text{ in}^3$$

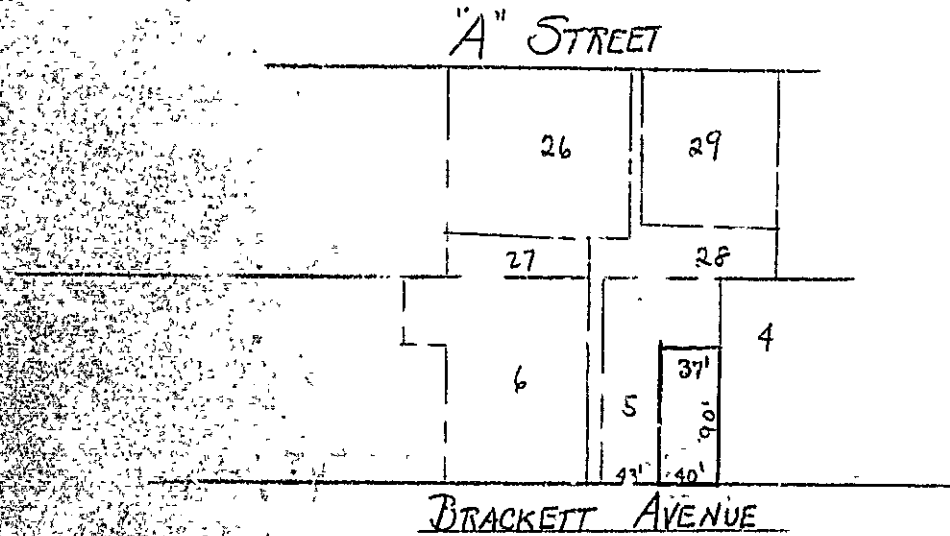
$$\text{try } 8' \text{ span. } W = 85 \# / L = \frac{8(36)/100}{8 \times 12} = 3300 \#$$

$$\frac{3300 \#}{8 \times 9} = 46 \# \quad \text{falling short over } 8' \text{ O.C. N.E.M.}$$



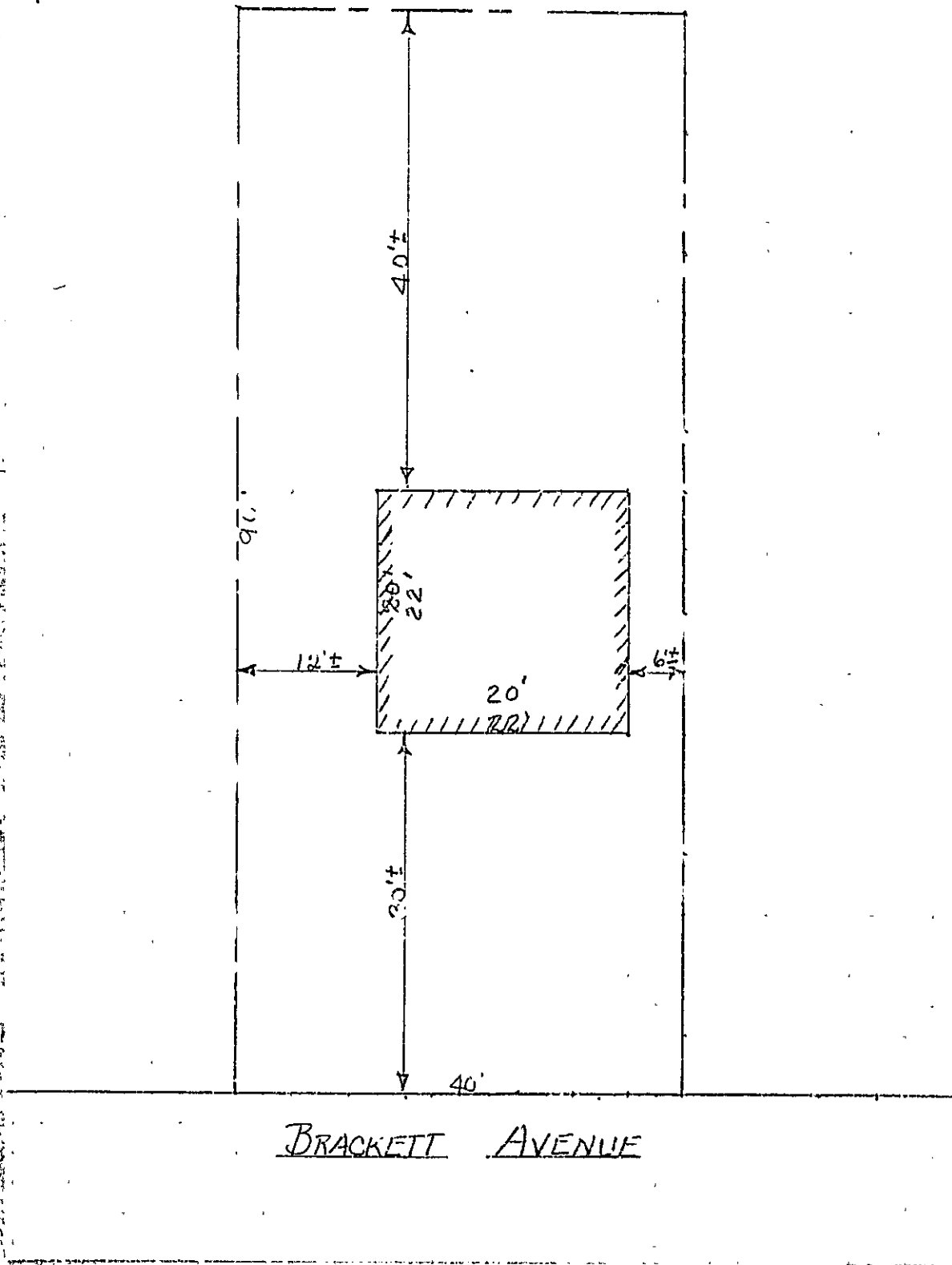
PEAKS ISLAND  
87

3/14/61 - THIS LOT WAS SET  
OFF FROM LOT 87-II-5  
ABOUT 1952 AND RECORDED  
THAT YEAR.



R-3 ZONE REQ. (SECT. 19-P) - (FOR DWELLING)  
REAR YARD - 15' (40', 50' O.K.)  
FRONT YARD - 20' (30', 50' O.K.)  
? LOT AREA - 6500<sup>sq</sup> ft. BUT ALSO CONTROLLED BY SEPTIC TANK REQ  
? AREA PER FAMILY - 6500<sup>sq</sup> ft. (3600<sup>sq</sup> ft. SO NOT O.K.)  
? LOT WIDTH - 65' (40', 50' NOT O.K.)  
? LOT FRONTAGE - 40' (40' SO O.K.)  
SEPTIC TANK REQUIREMENTS - SECT. 19-N - ON ISLANDS  
ON SUCH VARIATION AS PERMITTED BY HEALTH OFFICER  
IS PERMISSIBLE.

? SIDE YARD - 8' (6', 50' NOT O.K.)



AP-Brackett Ave., Peaks Island (Assessors' Lot No. 87-II-37)

March 14, 1961.

Mrs. Dorothy E. Curran  
57 Exchange Street

cc to: Corporation Counsel

Dear Mrs. Curran:

Building permit for alterations to former two-car garage 20 feet by 22 feet to change its use to a single family dwelling at the above named location is not issuable under the Zoning Ordinance because of non-compliance with the following requirements of Section 4-B applying to the R-3 Residence Zone in which the property is located.

1. The area of the lot in which the building is located is only 3600 square feet instead of the minimum lot area of 6500 square feet specified.
2. The area of lot per family is to be only 3600 square feet instead of the 6500 square feet required.
3. The lot width is only 40 feet instead of the 65 feet required.
4. The width of one side yard is only about 6 feet instead of the minimum width of 8 feet specified.

I understand that you would like to exercise your appeal rights concerning these discrepancies. Accordingly I am certifying the case to the Corporation Counsel, to whose office in Room 208, City Hall, you should go to file the appeal. This certification letter is being written in order to enable you to get your problems before the Board of Appeals. If the appeal is sustained, it will be necessary before a permit can be issued for considerable information to be furnished as to your plans and the present condition of the building. The long drawn out negotiations in relation to the building and the fact that a great deal of the alteration work needed to make the conversion was probably done several years ago without a permit, raises a question as to the status of the building under the Building Code. It is useless, however, to go into that until disposition of the appeal is known.

Very truly yours,

Albert J. Sears  
Director of Building Inspection

AJS:m

DELIVERING  
EMPLOYEE



Deliver ONLY to addressee



Show address where delivered

Received from the Postmaster the Registered or Insured Article, the number  
of which appears on the face of this return receipt.

1 *X* *Gerald Randall Brockton*  
(Signature or name of addressee)

2 *87-11-5*  
(Signature of addressee's agent - Agent should enter addressee's name in Line ONE above)

Date of delivery *11/26/57* 19 *57*

Form 3811  
Rev. 4-54

Post Office Department  
OFFICIAL BUSINESS

PENALTY FOR PRIVATE USE TO AVOID PAYMENT OF POSTAGE, 50c  
(G.P.O.)



Return to Dept. of Building Inspection  
Street and Number of Post Office Box, City Hall - Room 110  
(NAME OF SENDER)

REGISTERED ARTICLE

No. 2819

INSURED PARCEL

No.

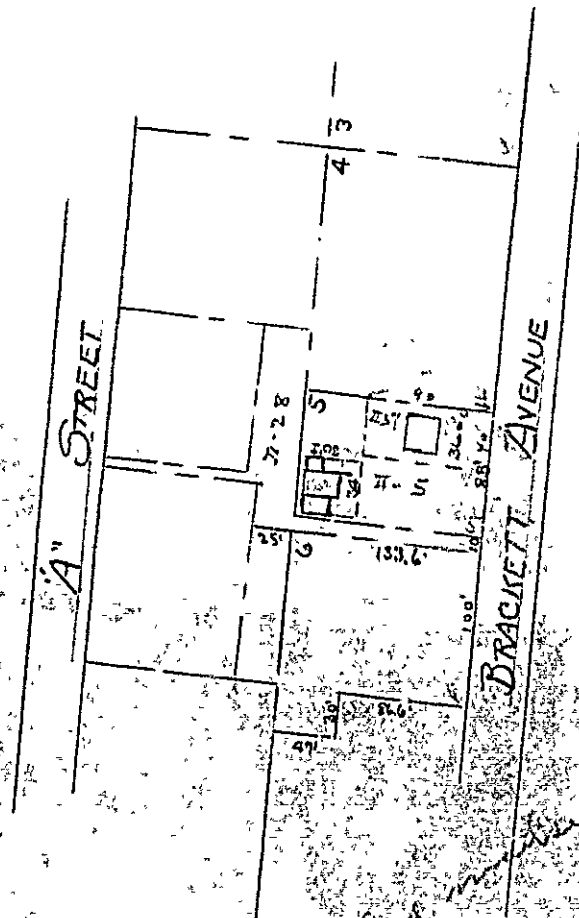
PORTLAND,

MAINE

Boothby & Curran owners 87-II-37

87-II

E. S. Round Hair owners 87-II-28



Rear entrance

Reg. Mail (Mr. Grandall's copy)  
Return Receipt

November 25, 1957

WMcD 12/10/57

AP Brackett Ave, Peaks Island (Assessors' Lot No. 87-II-37)--Proposed change  
of garage to single family dwelling

Mr. Donald Grandall  
Brackett Ave.  
Peaks Island, Me.  
Mrs. Dorothy Curran  
Luther St.  
Peaks Island, Me.

Dear Mrs. Curran and Mr. Grandall:

At long last time has been found to examine the complicated situation with relation to the garage on Mrs. Curran's land on Brackett Ave. (Assessors' Lot No. 87-II-37).

Whether or not any of the physical changes, listed on the application for the permit, were done before the application for the permit was filed on October 29, 1954, is not known; but now, although the permit has not been issued for reasons which should be obvious to all, we find that a great deal of the work has been done.

This, of course, is in violation of the Building Code. While we do not want to seem abrupt or unnecessarily severe, Mr. Grandall's copy of this letter is being sent by registered mail, as directed by Section 109 of the Building Code (copy enclosed), and he is hereby required to make clear before December 10, 1957, how he proposes to make good the violation. It is realized, of course, that you will have to work together to work out a solution, especially in view of the application of the Zoning Ordinance as explained hereon. Nevertheless, the entire matter has been in uncertainty too long, and we shall have to insist that the entire situation be brought to a right conclusion at the earliest possible date.

While not made clear on the application for the permit, the garage probably once went with the dwelling house on the next lot. It appears that Mrs. Curran's lot, not many years ago, was set out from the larger lot where the dwelling house is, and the remainder of the dwelling house lot is now in Mr. Grandall's name.

The physical alterations and the change in use from garage to dwelling must, of course, be authorized by a building permit. After the work has been completed in compliance with both Building Code and Zoning Ordinance, a certificate of occupancy from this department is required before the building may be occupied lawfully as a dwelling house. However, the building permit cannot be issued under the Zoning Ordinance, which became effective early last June for the following reasons:



Mr. Donald Crandall  
Mrs. Dorothy Curran

November 25, 1957

- 2
- Mrs. Curran's lot has an area of only 3600 square feet, a width of 40 feet and a frontage on Brackett Ave. of 40 feet instead of the minimum lot area of 6500 square feet, the minimum width of 65 feet and the minimum frontage on the street of 50 feet stipulated by Section 4B4, B10, and B11 of the Ordinance applying in the R-3 Residence Zone where the property is located.
  - according to Mr. Crandall's site plan, the space between the right hand side of the proposed dwelling (as one faces the building from the street) and the side lot line on that side is only six feet instead of the minimum of eight feet stipulated by Section 4B2.
  - there would be only 3600 square feet of land instead of the 6500 square feet set as minimum area for each family by Section 4B9; and the area of 3600 square feet is far short of the minimum of 7000 square feet required by Section 1B of the Ordinance in cases where the septic tank sewage disposal system is necessary.

It appears that the only possible way of overcoming these zoning discrepancies would be by resort to the Zoning Board of Appeal. If Mrs. Curran desires to follow this course, it would be well to notify me quickly so that a certification letter may be sent and thus approach a solution of the matter, which Mr. Crandall is supposed to have ready for us by December 10.

Our records show no conclusive answer to our letter of November 3, 1954 to both of you. It is suggested that Mr. Crandall examine this letter, and give us in writing and by plan the needed information before December 10.

As regards the area of lot required for sewage disposal, the Health Department approved the lot once on the strength of percolation tests, but whether or not they knew that the area of the lot is so small, is not known. It may be that the Health Department assumed that the former garage and the dwelling were on land of the same ownership. If Mrs. Curran desires to file the zoning appeal, their attitude toward the situation will all come out.

Very truly yours,

Warren McDonald  
Inspector of Buildings.

WHcD/B

64

November 3, 1954

AF--Brackett Ave., Peaks Island (Assessors Lot No. 87-II-5)

Contractor--Mr. Donald Crandall  
Peaks Island

Owner--Mrs. Dorothy Curran  
Peaks Island

We are unable to issue a permit for converting the existing garage at the above location to a single family dwelling because insufficient information has been furnished for us to check the proposition against Zoning Ordinance and Building Code requirements. Information is needed as follows:

1. Location plan furnished does not show distance from existing building to right hand side lot line as one stands in the street facing it. There is some indication that a new lot line is to be set up. If so, its exact location needs to be indicated and the distances from both of the existing buildings to it and all other lot lines accurately shown.

2. It is not clear from the framing given on location plan whether reference is made to existing construction or to proposed construction in each case or whether it is a combination of both. Definite information is needed as to the existing foundation, sills, size and spacing of floor timbers, size and supports (including distance between them) of girders, size and spacing of studding in wall and size and spacing of rafters. Then if any of these details are sub-standard for dwelling house construction, indication should be made as what is proposed to provide compliance with Building Code requirements.

From what information we have, it looks questionable as to whether the present location of the garage is such as to meet requirements of the Zoning Ordinance for a dwelling house in the Apartment House Zone where the property is located. However, we are unable to determine this until an accurate plot plan has been furnished.

AJS/B

Farren McDonald  
Inspector of Buildings

THE *Employers' Group*

INSURANCE COMPANIES

THE EMPLOYERS' LIABILITY ASSURANCE CORPORATION LTD  
THE EMPLOYERS' FIRE INSURANCE COMPANY,  
AMERICAN EMPLOYERS' INSURANCE COMPANY,  
THE HALIFAX INSURANCE COMPANY OF MASSACHUSETTS



CAMPELL, PAYSON & NOYES, State Agts.  
MAIL ADDRESS BOX 527, PEARL STREET STATION  
57 EXCHANGE STREET, PORTLAND 8, MAINE

THE EMPLOYERS GROUP MAN IS THE MAN WITH THE PLAN

March 14, 1957

Mr. Warren McDonald  
Building Inspector  
City Hall  
Portland, Maine

*Per: P is see what you  
can find out about  
this unit 3/15/57*

Dear Mr. McDonald:

I think you probably have on file my original request for building permit. I purchased a garage from my brother-in-law, Don Crandall, about four years ago. He went after the permit at that time, but there was some question about it, and I never could seem to persuade Don to go up and straighten it out. I sure tried. I know he is a very busy man, and I didn't actually need the house until now.

He was up to see you last Fall about it, and I guess you told him that it would be necessary to get the soil tested by the Board of Health for the septic tank before permit could be issued. Mr. Christianson was down last Monday and tested the soil for me and OK'd it. Does that mean that I can now get this thing straightened out? I really do need the house very badly now.

You can call me here at the office and let me know where I stand on this matter.

Very truly yours,

*Grochy E. Curran*

RECEIVED  
MAR 15 1957  
DEPT. OF ALD'G. INSP.  
CITY OF PORTLAND

AP Brackett Ave.,  
Peaks Island

October 29, 1954

Copy to: Health Director

Mrs. Dorothy Curran  
Peaks Island, Maine

Mr. Donald Crandall,  
Peaks Island, Maine

Dear Mrs. Curran and Mr. Crandall:

Application today by Mr. Crandall to change use of garage to dwelling at Brackett Ave., Peaks Island for Mrs. Curran indicates that no connection is possible to a public sewer, and that sewage disposal is proposed by septic tank.

The Building Code directs, where connection to a public sewer is not possible, that the proposed method of sewage disposal must be approved by the Health Officer before any building permit is issued.

That the Health Department may be aware of the proposed method of sewage disposal, you should explain, by plan or otherwise, the details and location of the septic tank system, including nature of the soil where overflow lines will be located, to Sanitary Engineer Norman Winch.

Very truly yours,

Inspector of Buildings

WMcD/H

AP Brackett Ave., Peaks Island

October 3, 1956

Mrs. Dorothy Curran  
Peaks Island,  
Maine

Dear Mrs. Curran:

Application by Mr. Donald Crandall to change garage to dwelling house at Brackett Ave., Peaks Island for you indicates that no connection is possible to a public sewer, and that sewage disposal is proposed by septic tank.

The Building Code directs, where connection to a public sewer is not possible, that the proposed method of sewage disposal must be approved by the Health Officer before any building permit is issued.

That the Health Department may be aware of the proposed method of sewage disposal, you should explain, by plan or otherwise, the details and location of the septic tank system, including nature of the soil where overflow lines will be located, to Sanitary Engineer Norman L. Litch.

Very truly yours,

H  
Inspector of Buildings

SEPTIC TANKS  
Request for approval of:

CITY OF PORTLAND, MAINE

Department of Building Inspection

October 3, 1956

Location - Brackett Ave., Peaks Island  
Owner - Mrs. Dorothy Curran  
Contractor - Donald Grandall  
Type Bldg. - Dwelling house

To the Health Director:

Application for building permit identified as above has been filed in this office; indicating that a septic tank installation is proposed, as a means of sewage disposal. Applicant represents that connection to a public sewer is not feasible.

Your approval as to the method of sewage disposal is requested before a building permit is issued, therefore will you complete and return the appended report as expeditiously as possible.

Inspector of Buildings

Attachment:  
Copy of this notice

\*\*\*\*\*

Proposed sewage disposal method is ~~is not~~ approved.

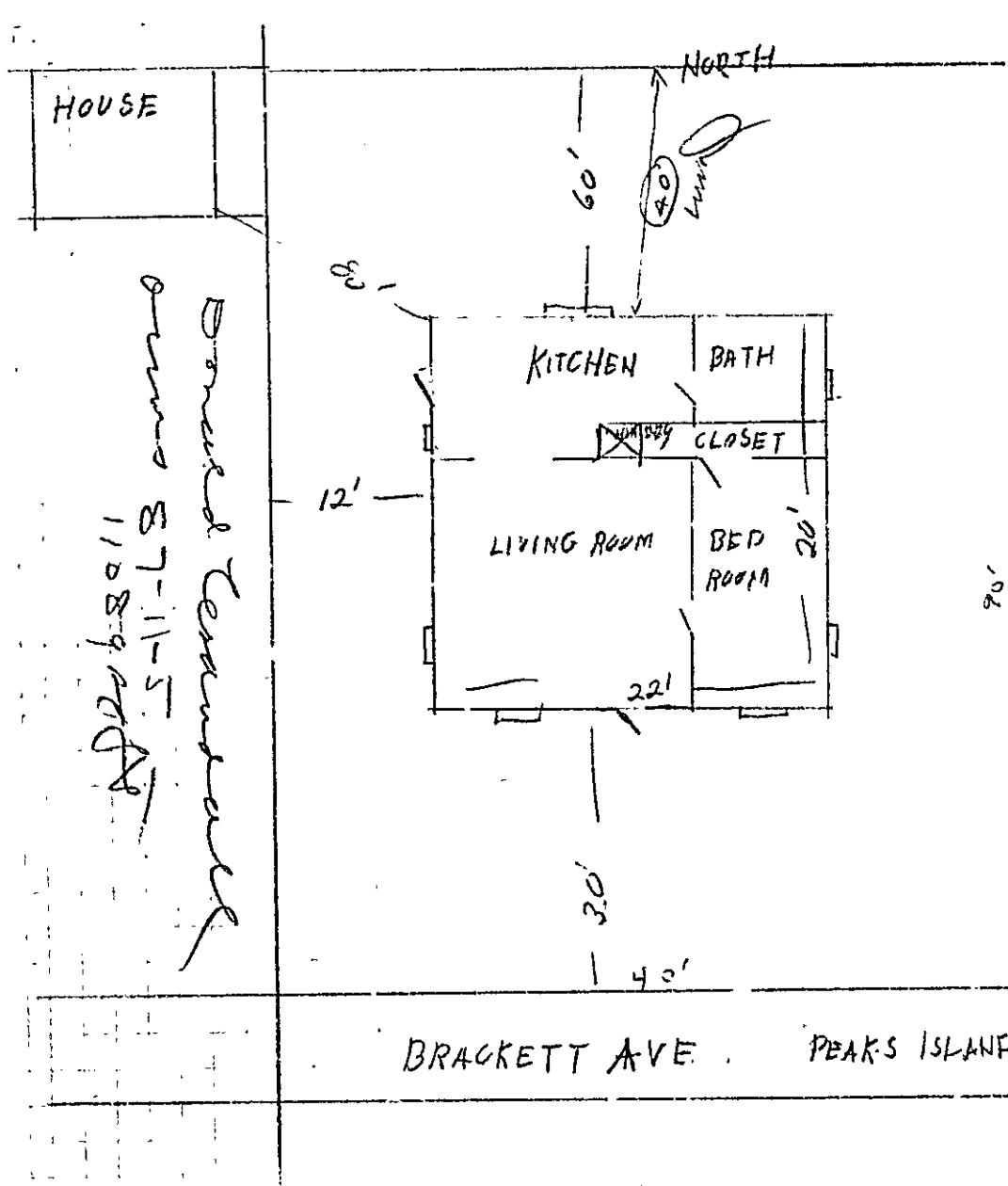
Remarks: Percolation test made 11 March 57 was  
Satisfactory 11 in trench.

Edward W. Colby  
Health Director

Date. 11 Mar 57 *EW*

8/2/57 Mr. Winch says this is still approved  
3/14/61 - Mr. Winch says that he is still willing to approve septic tank at this location - *AD*  
11/1/57

RECEIVED  
MAR 11 1957  
DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND



*Donald Tenenback*  
 87-11-5  
 11089078

STUD 2X4-16" C  
 SUMMER BEAM 6X6  
 FLOOR TIMBERS 2X8X16" C  
 PLATE 4X4  
 CORNER POSTS 4X4  
 HIP ROOF 2X8 RAFTERS 2' C  
 CONCRETE FOUNDATION  
 ASPHALT SHINGLES  
 " SIDING  
 NEW CHIMNEY  
 TOILET  
 Studs in outside walls  
 are 2X4, 16" o.c.