

CENTRAL AVENUE
97-88-4

PLANK ISLAND



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 247

APR 7 1981

ZONING LOCATION PORTLAND, MAINE, ... April 6, 1981

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 87-BB-4 Central Ave. Peaks Is. Fire District #1 [] #2 []
1. Owner's name and address ... Eleanor Sullivan ... same ... Telephone ...
2. Lessee's name and address ... Telephone ...
3. Contractor's name and address ... Robert McTigue ... Island Ave. Peaks ... Telephone 766-3339
4. Architect ... Specifications ... Plans ... No. of sheets ...
Proposed use of building ... dwelling ... No. families ... A ...
Last use ... No. families ...
Material ... No. stories ... Heat ... Style of roof ... Roofing ...
Other buildings on same lot ...
Estimated contractual cost \$. 4,000. Fee \$. 19.00

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451 To install foundation under existing dwelling
Dwelling Ext. 234 will be 4' below grade. (22'x40')
Garage
Masonry Bldg. Stamp of Special Conditions
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [] 2 [] 3 [x] 4 []
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... Is any electrical work involved in this work? ...
Is connection to be made to public sewer? ... If not, what is proposed for sewage? ...
Has septic tank notice been sent? ... Form notice sent? ...
Height average grade to top of plate ... Height average grade to highest point of roof ...
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS
Will work require disturbing of any tree on a public street? ..
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ... Y.P.P.

Signature of Applicant Robert McTigue Phone #
Type Name of above ... Robert McTigue 1 [] 2 [] 3 [] 4 []

Other
and Address

FIELD INSPECTOR'S COPY

7

NOTES

5-29-81 - House shored up. Foundation
work in progress OK. CC
5-24-81 - W, P / O, G - CC
8-26-81 - W, P / SAT. OK. CC
11-23-81 - Complete. CC

Permit No. 81/247

Location 87th St & Central Ave

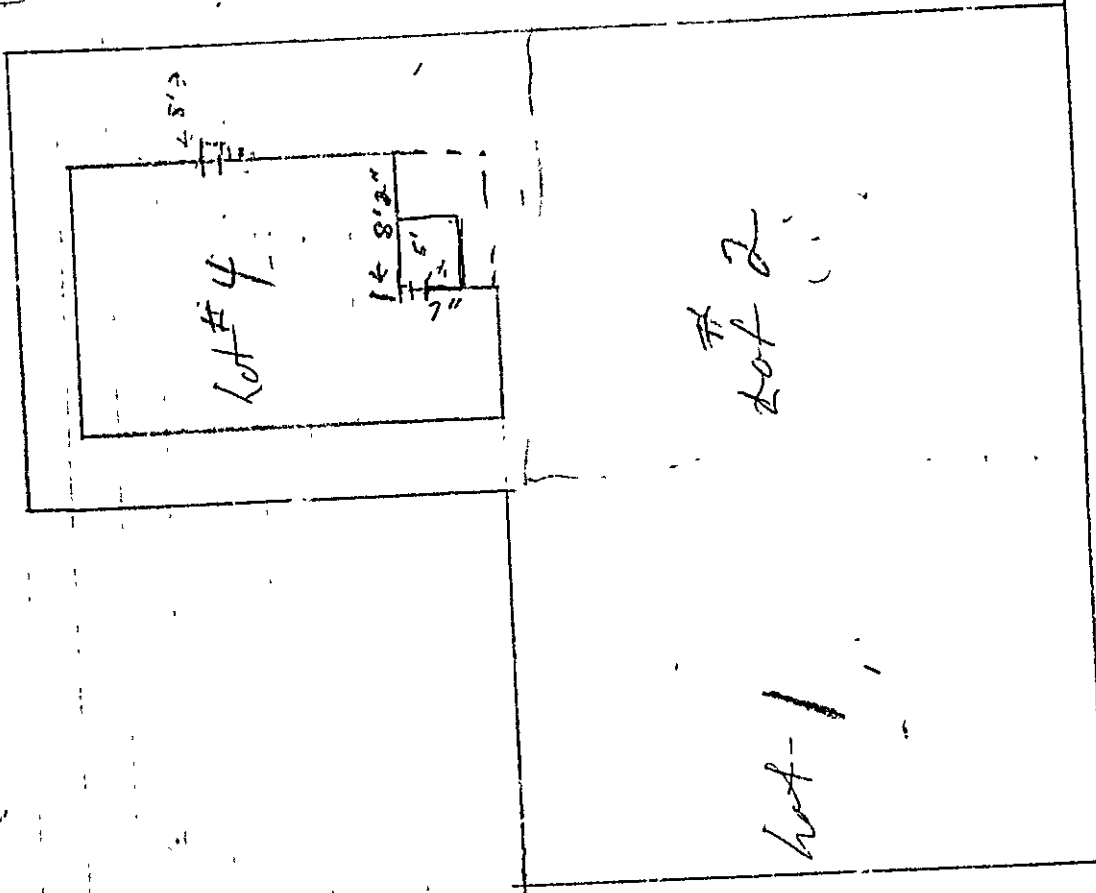
Owner William Sullivan

Date of permit 5-6-81

Approved 7-7-81

[Signature]

← CENTRAL AVE →



RECEIVED
MAY 17 1974
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

LEDGWOOD RD (



APPLICATION FOR PERMIT

PERMIT ISSUED

MAY 30 1974

B.O.C.A. USE GROUP

00444

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION

PORTLAND, MAINE, May 17, 1974

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Law of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 87-BB-4 Central Ave., Peaks Island Fire District #1 #2

1. Owner's name and address Robert McTigue, Central Ave., Peaks Is. Telephone

2. Lessee's name and address

3. Contractor's name and address Frank Davis, Luther St., Peaks Is. Telephone 766-2011

4. Architect

Specifications Plans No. of sheets 1

Proposed use of building additional porch, not enclosed No. families

Last use dwelling No. families 1

Material No. stories 1 Heat

Style of roof

Roofing

Other buildings on same lot

Estimated contractual cost \$ 550.00 Fee \$ 5.00

FIELD INSPECTOR—Mr. Cartwright

This application is for: @ 775-5451

Dwelling Ext. 234

Garage

Masonry Bldg.

Metal Bldg.

Alterations

Demolitions

Change of Use

Other addition

GENERAL DESCRIPTION

To Construct a 8'2"x7' porch, not enclosed, as per plans

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? NO

Is any electrical work involved in this work? NO

Is connection to be made to public sewer? NO

If not, what is proposed for sewage?

Has septic tank notice been sent?

Form notice sent?

Height average grade to top of plate 10

Height average grade to highest point of roof 10

Size, front depth

solid or filled land? earth or rock?

Material of foundation 9" SAND Thickness, top bottom cellar

Kind of roof SHED Rise per foot 4" Roof covering CLAS-C SH

No. of chimneys NO Material of chimneys

Kind of heat

Framing Lumber—Kind H Dressed or full size? D Corner posts 4x4 Sills 4x6

Size Girder

Columns under girders

Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet

Joists and rafters: 1st floor 2x6 2nd

3rd roof 2x6

On centers: 1st floor 16" 2nd

3rd roof 16"

Maximum span: 1st floor 7' 2nd

3rd roof 7'

If one story building with masonry walls, thickness of walls?

height?

IF A GARAGE

No. cars now accommodated on same lot

to be accommodated

number commercial cars to be accommodated

Will automobile-repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

BUILDING INSPECTION—PLAN EXAMINER

ZONING: OK 5/17/74

BUILDING CODE: OK 2/8 5/20/74

Fire Dept.:

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of Applicant

Phone #

Type Name of above Frank Davis

Other Frank Davis

and Address Peaks Island, Me

FIELD INSPECTOR'S COPY

PERMIT ISSUED

00000

NOTES

1105-125-74 Completed

Me

~~Large handwritten scribble~~

Approved

Date of permit

5/20/74

Owner

Robert McTigue

Location

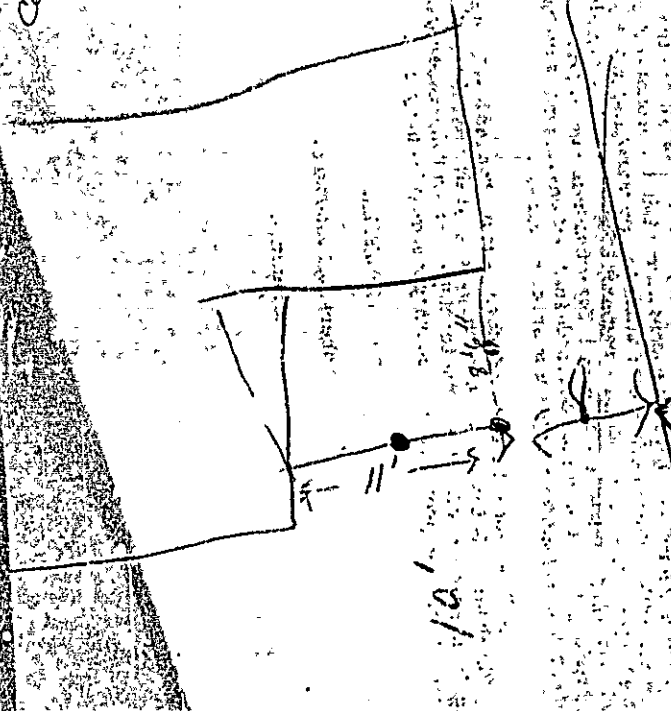
81-88-4 Austin Ave, Falls ISL

Permit No.

74/444

Nelson

87-00-4
Central Ave.



Central Ave, Pecks



(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, April 27, 1948

PERMIT ISSUED
00599
APR 28 1948
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE:

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Central Avenue, Peaks Island Within Fire Limits? no Dist. No. _____
Owner's name and address Mildred G. Cox, Central Ave., Peaks Island Telephone Peaks 58-4
Lessee's name and address _____ Telephone _____
Contractor's name and address Arthur Brackett, Torrington Pt., Peaks Island Telephone _____
Architect _____ Specifications _____ Plans no No. of sheets _____
Proposed use of building Dwelling and store No. families 1
Last use _____ " _____ No. families 1
Material frame _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 200. Fee \$ 1.00

General Description of New Work

To construct 8'6" x 11' piazza on front side of building - 10' from street line and 8'10" from side property line.

5.5 x 4.25 = 23.4
23.4 x 4.5 = 105.3
4 x 4 = 16
own 57-133-4 on Central Ave.
87-EE-2
87-133-5 on Lodgepole Rd

M. Cox says no other work now intended
4/28/48
NOTIFICATION BEFORE LATHING OR CLOSING-IN IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. Mildred G. Cox

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate 12' Height average grade to highest point of roof 15'
Size, front _____ depth _____ at least 4' below grade or to ledge No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation concrete posts _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof shad-flat Rise per foot 3" Roof covering asphalt roofing Class C Und. Lab.
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind hemlock 6" upright _____ Dressed or full size? dressed
Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
Girders _____ Size _____ Column under girders _____ Size _____ Max. on centers _____
Stud (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x6 _____, 2nd _____, 3rd _____, roof 2x6
O. centers: 1st floor 18" _____, 2nd _____, 3rd _____, roof 18"
Maximum span: 1st floor 8'6" _____, 2nd _____, 3rd _____, roof 8'6"
If one story building with masonry walls, thickness of walls? _____ height? _____

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

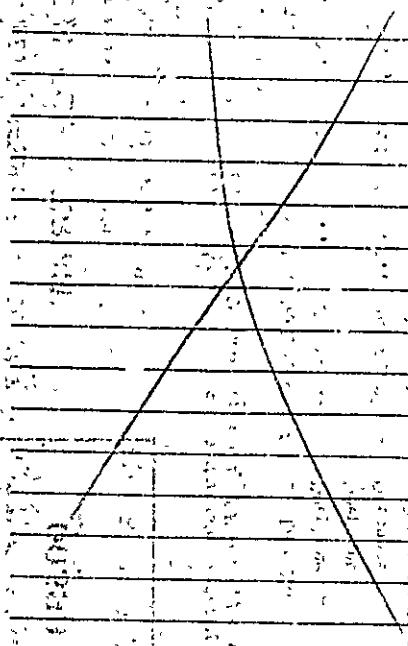
Mildred G. Cox
by J. K. C.

Signature of owner

INSPECTION COPY

Permit No. 48/599
Location Central ave Wash D.C.
Owner Mildred C. Cook
Date of permit 4/28/48
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 6/22/48. csl
Cert. of Occupancy issued None

NOTES



AP Central Avenue, Peaks
Island (Mildred C. Cox)-I

March 26, 1948

Mrs. Mildred C. Cox
Central Avenue
Peaks Island, Maine
Mr. Arthur Brackett
Torrington Point
Peaks Island, Maine

Subject: Building permit for alterations
of dwelling house on Central Avenue,
Peaks Island owned by Mildred C. Cox,
by way of removing an existing large
plauza and constructing new open front
porch with steps.

Dear Madam & Sir:

The building permit is issued to cover an open porch with roof only.
If an enclosure for this porch either now or in the future were contemplated,
some difficulties might arise under the zoning Ordinance because the front
of the porch will be only 4' from the street line of Central Avenue, according
to the application.

The size of sills for the new porch is not given, but the minimum pro-
vided by the Building Code is solid oak—not a sill built up to this minimum
dimension. The cedar posts indicated for foundation are required to extend no
less than 1' below the finished grade of the ground or to ledge if ledge is
encountered at a less depth.

While the span of the rafters will apparently be less than 3', a member
of suitable ^{size} should be provided from corner posts to the building or from cor-
ner posts to corner post to care for the support at the outer ends of the raf-
ters.

Very truly yours,

Inspector of Buildings

WCD/S



(A)

INT HOUSE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, March 23, 1943

PERMIT ISSUED

00347

MAR 26 1944

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~reconstruct~~ ~~demolish~~ ~~or~~ ~~remove~~ ~~or~~ ~~change~~ all the following building ~~work~~ ~~or~~ ~~work~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Central Avenue, Peaks Island Within Fire Limits? no Dist. No. _____
Owner's name and address Mildred C. Cox, Central Avenue, Peaks Island Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Arthur Brackett, Torrington Point, Peaks Island Telephone _____
Architect _____ Telephone _____
Proposed use of building Dwelling house Specifications _____ Plans _____ No. of sheets _____
Last use _____ " _____ No. families 1
Material wood No. stories 1 1/2 Heat _____ Style of roof _____ No. families 1
Other buildings on same lot _____ Roofing _____
Estimated cost \$ 200 Roofing _____

General Description of New Work

Fee \$ 1.00

To remove entire piazza (front and two sides 8' wide).
To construct 5' x 5' open porch with roof on front of building with steps to enter from side.
New porch will be 4' from street line, piazza demolished was about 12" from street line.

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.
John Cox, Central Ave., Peaks Island

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation cedar posts Thickness, top _____ bottom _____ cellar _____
Kind of underpinning _____ Height _____ Thickness _____
Pitch _____ Rise per foot 5 1/2 Roof covering Asphalt Class C Uld. Ldn.
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber - Kind present knoplok _____ Dressed or full size? dressed
Corner posts 2x4 Sills _____ Girt or ledger board? _____
Girders _____ Size _____ Column under girders _____ Size _____
Studs (outside walls and _____ Partition partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. Max. on centers _____
Joists and rafters: 1st no. _____ 2nd _____ 3rd _____
On centers: 1st floor _____ 2nd _____ 3rd _____
Maximum span: 1st floor _____ 2nd _____ 3rd _____
If one story building with masonry walls to _____ W. ls? _____ height? _____
No. cars now accommodated on same lot _____ to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mildred C. Cox

Signature of owner John H. Cox

APPROVED:

INSPECTION COPY

Signature of owner b7:

Permit No. 48/347

Location Central Ave, Rock Hill.

Owner Mildred C. Coe

Date of Permit 3/26/48

Notif. closing-in

Inspn. closing-in

Final-Notif.

Final Inspn. 6/22/48

Cert. of Occupancy issued Permit

NOTES

~~Notes section with a large handwritten 'X' over it.~~

Disturbance, Peck, 1967

John's Cor 6/2/67

Beam in place

45
40
5600
1120

2nd floor	5 m	Seed	
10 x 14 x 40 =	5600	1120	167
10 x 14 x 8 =			2
			15256

Partition

18 x 10 x 8 = 640

Roof

10 x 14 x 40 = 5600

9776

10 x 14 x 10 = 1400

10 x 14 x 10 = 1400

11200

3160

3160

4200 = 7360

14860

4 x 8 spines full size good for 1 x 7.82 = 3128

more plan 4 x 8 on 5' span

Half of above load = 7180

OK $21.90 \times 3 \times 1.5 = 538.50$; $\frac{538.50}{11.0} = 48.95 \text{ mg/s}$

OK 3590
 0730
4 x 8 F.S. = 42.7

The posts go down to center girders and land over or nearly over posts beneath center girders under the



APPLICATION FOR PERMIT

Permit No. 0781

Class of Building or Type of Structure Third Class

Portland, Maine, May 26, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications; if any, submitted herewith and the following specifications:

Location Island Ave., Peaks Island Ward 1st Within Fire Limits? No Dist. No. _____
Owner's or Lessee's name and address John H. Cox, Peaks Island Telephone 8003
Contractor's name and address George Jordan, Peaks Island Telephone _____
Architect _____ Plans filed _____ No. of sheets _____
Proposed use of building Store and apartment No. families _____
Other buildings on same lot _____
Estimated cost \$ 250 Fee \$ 25

Description of Present Building to be Altered

Material frame No. stories 2 Heat _____ Style of roof _____ Roofing _____
Last use Store and apartment No. families _____

General Description of New Work

To cut in 10' opening in bearing partition between stores to make one large store.
To provide 4x8 spruce header over opening.
To change one front door to window.

Posts under 10' x 8' to be three in number (see rec'd 6/2/37) - all three posts to be carried through first floor and rest on existing center girder over or nearly over existing posts beneath center girder under building.

REPLACEMENT OF LATH OR CLADDING IS NEEDED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

spruce full size Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat stove Type of fuel oil Is gas fitting involved? _____
Corner posts? _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-15' O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one sto. building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner John H. Cox

INSPECTION COPY

447-201

Ward Del. 2 Permit No. 37761
 Central Beach Del
 Owner John H. Cox
 Date 6/2/37 187
 Closing-in OB
 Inspn. closing-in H
 Final Notif.
 Final Inspn. 11/8/37 OB
 Cert. of Occupancy issued. None

NOTES

~~6/27/37 this store is to be
 on 4th floor. The second
 floor is to be a restaurant
 to be run by the proprietor
 on the second floor with main
 kitchen & bar on the first
 floor. The kitchen & bar
 on the first floor is closed
 until a permit is obtained
 for a restaurant to open
 the second floor kitchen
 to be used as a bar with
 main kitchen & bar on the
 first floor.~~

to put in first in center
 of span as called for or
 determine same
 definitely local
 behavior in this new
 4x8 spruce header

6/24/37 Mr. Jordan said
 he has shed a 4x12 HP
 header for header over
 the opening. This work
 is all closed in so could
 not check without
 taking out total
 load of 14360
 14360 x 2 =
 28720

6/27/37 Mr. Cox told Mr.
 Donald he would put
 in an eave first after
 July 4th call.

7/14/37 Mr. Cox will
 get part in next week.
 7/23/37 Mr. Donald told
 Mr. Cox he would have
 until Oct 1st to put
 this part in.

8/20/37 Paid for work
 9/27/37 Done
 10/22/37 Part not in
 part in by Nov 1st
 11/8/37 Center post
 has been put in