

CENTRAL AVENUE
87-25-3

PEAKS ISLAND

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APARTMENT HOUSE ZONE APPLICATION FOR PERMIT

PERMIT ISSUED
00049
JAN 11 1946

Class of Building or Type of Structure Chimney

Portland, Maine, January 10, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ ~~repair~~ ~~domestically~~ ~~erect~~ the following building ~~located~~ ~~at~~ ~~the~~ ~~following~~ ~~address~~ ~~in~~ accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Central Avenue, Peaks Island Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Henry Hanheide, Central Avenue, Peaks Island Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address George Young, Willow Street, Peaks Island Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building Dwelling house No. families 1
 Last use _____ " " _____ No. families 1
 Material wood No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot none Fee \$.50
 Estimated cost \$ 50

INSPECTION NOT COMPLETE General Description of New Work

37-33-3

To build outside chimney

The brickwork of the chimney is to be corbelled so as to pass through the outside wall or the building at the point where the smokepipe enters so as to obviate the need of carrying the smokepipe through the outside wall.

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys 1 Material of chimneys brick of living tile Kind of heat stove fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

Henry Hanheide

Signature of owner by: George Young

INSPECTION COPY

Permit No. 46/49

Location Central ave, Peaks Isl.

Owner Henry Henkeide

Date of permit 1/11/46

Notif. closing-in

Inspn. closing-in

Final Notif

Final Inspn

Cert. of Occupancy issued

NOTES
46/1077
46/1456 2/7/46. Work started.
11/6

(INSPECTION NOT COMPLETED)



(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED

1456
OCT 24 1945

Class of Building or Type of Structure Third Class

Portland, Maine, October 1, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. Plan and new information 10/8/45

The undersigned hereby applies for a permit to ~~erect~~ alter ~~and~~ ~~add~~ ~~to~~ ~~the~~ ~~existing~~ ~~structure~~ ~~and~~ ~~all~~ ~~the~~ ~~equipment~~ ~~thereon~~ ~~and~~ ~~all~~ ~~the~~ ~~contents~~ ~~thereof~~ ~~and~~ ~~the~~ ~~use~~ ~~of~~ ~~the~~ ~~same~~ ~~and~~ ~~for~~ ~~the~~ ~~purpose~~ ~~of~~ ~~the~~ ~~same~~ ~~as~~ ~~set~~ ~~forth~~ ~~in~~ ~~the~~ ~~plans~~ ~~and~~ ~~specifications~~ ~~submitted~~ ~~herewith~~ ~~and~~ ~~the~~ ~~following~~ ~~specifications~~:

Location Central Avenue, Peaks Island 27-BB-3. Within Fire Limits? no Dist. No. _____
Owner's name and address Henry Banheide, Central Ave., Peaks Island Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Fred Stephenson, Elizabeth Rd., Peaks Island Telephone 250
Architect _____ Specifications _____ Plans Yes No. of sheets 1
Proposed use of building Dwelling No. families 1
Last use _____ No. families 1
Material Frame No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____ Fee \$ 1.00
Estimated cost \$ 450.00 1.00 add.

INSPECTION NOT COMPLETED

General Description of New Work

- To relocate existing stairs from first to second floor, as per plan.
- To remove existing 8' bearing partition to enlarge existing room.
- To construct 3x5 front piazza and to cut in new door to lead onto same - close up existing door.
- To enlarge two existing windows, first floor, to 40"x61" and to cut in new window in front of building 40" x 61" - 4x6 header.
- To raise roof 2' of one story addition on front of building. This for purpose of straightening out ceiling of living room.
- To enlarge existing aw window, first floor, in kitchen.
- To construct 3'x9' bay window as per plan
- To construct 7'x22' piazza on rear of building - 7'x10' to be enclosed, as per plan

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? no ~~yes~~ Is any electrical work involved in this work? no
Height average grade to top of plate 11' 10" Height average grade to highest point of roof 13' 12"
Size, front _____ depth _____ No. stories 1 solid or filled land? solid earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof pitch Rise per foot 6" Roof covering asphalt roofing Class U Gnd. Lab.
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber Kind hemlock Dressed or full size? dressed
Corner posts 4x6 Sills _____ Girt or ledger board? _____ Size _____
Girders _____ size _____ Columns under girders _____ size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof 2x4
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 18"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated. _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED

Henry Banheide

Signature of owner Fred Stephenson

INSPECTION COPY

Permit No. 45/1456

Location Central ave. Peabody

Owner Henry Hande

Date of permit 10/24/45

Notif. closing-in

Inspn. closing-in

Final Notif

Final Inspn

Cert. of Occupancy issued

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NOTES
Lee Carter

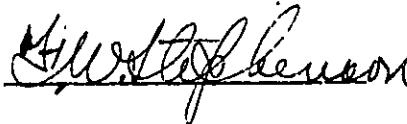
Upper plate progressing
slab work done

INSPECTION NOT COMPLETE

June 12, 1946

I hereby acknowledge receipt of two sheets of plans
filed with building permit 45/1456,--one date October 1, 1945,
and the other October 23, 1945, from the Department of Building
Inspection.

These will be returned as soon as blueprinted.



Henry Hanheide job
Central Avenue, Peaks Island

Alterations, Central Ave. (2788-3) Peaks Island
Dwelling House

10-16-46

Henry Hambride, Central Ave, Owner
Fred Stephenson, Elizabeth Rd, Peaks, Conto. Tel 250

This house evidently has been a year round house and does not appear to be greatly out of level or plumb. However, little can be seen as to its construction since it is closed in.

The structural changes caused by the proposed work really call for a much better plan, with various details and sections to be shown. Since this is practically hopeless I will try to bring out the major questionable points to be covered by a letter.

A clear and correct location plan should be filed showing the rear and side line distances for the proposed piazza and garage. Sedgwick Rd. is the rear line of this property and is not shown at all on the plan filed.

Permit 45/1160 called for the demolishing of a 9'x12' storeroom. Instead, this has been moved to another location (plans filed does mention this but it means little) to be converted into a garage. Both the present location and structural condition are questionable.

Dwelling - There is not room between the first floor and ground to readily go under for any ventilation. This floor appears firm and is not involved in the structural changes.

The application calls for removing an 8' bearing partition. It is actually over 15' and is so called for on the plan. The 4x6 str. girders called for is probably a 6" T. member of course. When all is said and done
—over—

can come upon it here. The concrete piers
and 6" x 6" uprights at each end are O.K.
The general construction involved in
this change should be definitely decided
before work is started. In a very recent
talk with Mr. Stephenson I found he
plans to let the second floor 2x6's in
against the web and bear on the bottom
flange of the 6" I. I told him this could
not be done. You see the 6's are right
fastened to the I and piers. This same
is not needed, and if used is likely to
lock chimney against the general light
construction.

When the stairs are removed new 2x6"
floor joists are to be used. These should be
lapped so that the increased span will
not decrease the theoretical load on the
present joists.

The section of roof to be raised is a 5' x 9"
one story addition extending the full
width, Central Ave. side. The vertical end of
the rafters will be raised about 21" and
roof probably will be flat. The 2x4
16' x 8' joist about work out but the
method of extending the outside wall
up should be specified.

All wood against, or close to the new
fireplace and chimney (formed by separate
piers) should be removed.

The new bay window construction
appears O.K. as long as that the concrete
piers either set on ledge or go 4' below
grade.

No construction is given for the new
open porch on the side ("upper floor") and
it is shown overlapping the new bay front
floor. On the elevation marked "East View"

Alteration Swirling Central Cor. Pct.

10-16-45

③

Henry Has. Laid, owner

10

the porch is shown at the second floor level
apparently on an addition that does
not appear on the plan view. The
East view seems to be the West side
looking East

Poor porch framing is o.k. except for
the roof and the 4x6 sill under the
included portion

Central Ave., Pecks Island
Assessors Lot No. 87-BB-5-1

October 24, 1945

Mr. Fred Stephenson
Elizabeth Rd., Pecks Island
Mr. Henry Hanheide
Central Ave., Pecks Island

Subject: Building permit for alterations in the
dwelling of Henry Hanheide on Central Avenue,
Pecks Island (Assessors Lot No. 87-BB-5-1)

Gentlemen:

After my conversation with Mr. Stephenson over the telephone about the above job on Tuesday afternoon, I went over the proposition with our inspector, Mr. Hamilton, who has been down to the Island on the job, and I have decided to issue the permit without further ado, subject to the following:

1. It is understood that all concrete piers for foundations will extend at least four feet below the surface of the ground or to ledge, if ledge should be encountered at a less depth, and will extend at least six inches above the ground, and that posts, sills or whatever is supported upon the piers will be anchored to the piers by means of metal dowels or equivalent.
2. There is some sort of balcony shown on one side of the building over a one story roof. We were unable to figure out where that is to go or how it is to be supported, so that particular feature is not included in the permit.
3. Where the stairway is to be re-located, it is necessary to frame and cross in the wall of the present stair. I believe you intend to take out a whole section of the second floor and provide new floor joists in this area. I believe these joists are 2x4 at present in the second floor and it was Mr. Hamilton's recollection that the spans of the new joists would be about 14 feet. That is too long ordinarily for 2x4 floor joist, but I suppose there is little use making the floor where the stair will be any stronger than the existing second floor, and if the existing second floor is framed that way, there will be no objection to filling in in the same degree. Presumably there is already a ceiling in the first story, so that there would be no weight on the second floor framing than at present.
4. Mr. Hamilton says that you had planned to support the floor joists on the new steel beam which Mr. Elliott designed by resting the joists on the sloping bottom flange of the steel beam. The Building Code provides: "In no case shall a joist or rafter rest upon the sloping surface or the bottom flange of a metal beam." Not understanding fully what the situation will be like, I cannot advise definitely as to how you can support these joists on the steel beam. It may be possible to get the steel beam lower, provide a wooden nailing strip on top and spike the floor joists to it, and then top the beam if it would be exposed in the room.
5. Where the roof of the one story addition on the front of the building is to be raised two feet, the question arises as to how this is to be accomplished. Obviously it cannot be done by just cutting in short studs on top of the present plate. I suppose you mean to put in new sills no less than 2x4 no more than 16 inches from center to center extending from sill to underside of new doubled 2x4 plate. It may be leaving the old studs in place if that is desired.

October 24, 1945

6. All woodwork against or closer than one inch to the new fireplace and chimney or closer than two inches to the back of the fire place should be removed so that these openings will exist and that the space between the masonry and the wooden framing suitably firestopped with incombustible material.

7. Mr. Hamilton says that the framing of the rear porch works out all right except for the "roofs" and the 4x6 sill under the enclosed portion. I am unable to find that detail on your plan and perhaps you are in doubt; you can straighten up the matter out with him. Presumably the sill proposition could be cleared up either by making the sill larger or by spacing the posts closer together.

8. After examining the location plan which you left at the office on Tuesday, I find that you have indicated the proposed porch as to be seven feet from Ledgeswood Road. If you are sure that you are measuring to the correct line of Ledgeswood Road, this ought to be sufficient on the basis that if you were facing a non-dwelling on Ledgeswood Road, you would only have to set back five feet from the line of the rear. On this basis no appeal would be necessary as I talked over the phone, but you should be absolutely sure that you have the correct line of Ledgeswood Road as we do not want to get the porch all built and then find that the owner is in difficulties because he doesn't have room enough.

9. I do not know whether Mr. Stephenson is involved in this particular detail or not, but it appears that a permit was issued earlier this year to cover demolition of a five feet by twelve foot structure on this lot. Instead of demolishing it, our inspector reports that the building has been moved to another location and either has been or is to be converted into a garage. He says that both the location and either the proposed building and the structural condition of the building are questionable as to being acceptable under Zoning Ordinance and Building Code. The owner should refer this matter up separately from this particular permit now being issued and either get a permit to do with the small building what he wants or else to demolish and demolish it as was covered in the first place.

Very truly yours,

Inspector of Buildings

Wich 5

10. In issuing a building permit in this fashion with uncertainty as to the details, it must be evident that the building permit does not give any right to do construction in a contrary to the laws of the city. In case of doubt about any details, it would be better to advise before you do them as I do not wish any more than either of you finding part of the work done in a manner that has to be removed.

12 Central Ave., Pezka Island
Assessors No. 87-BP-5,

October 20, 1946

Mr. Fred W. Stephenson
Elizabeth Rd., Pezka Island
Mr. Henry Schaidt
Central Ave., Pezka Island

Subject: Application for building permit to
make alterations in the dwelling house owned
by Mrs. Henry Hannah on Central Ave., Pezka
Island (Assessors Lot No. 57)

Gentlemen:

I am uncertain as to how to interpret the plan filed here Oct. 12. I
cannot issue a permit without clearer information. We have tried to understand
the proposition, and the Inspector from this office has taken time to examine the
plan in detail. There are so many questions, however, that there will be no
time to go over the plan with you in person, but I have written a length letter to
clarify the situation.

The law requires us to issue licenses that the work proposed
will comply with both zoning Ordinance and Building Code, before a building permit is
issued. In the details of the plan, the details are, in some cases, very familiar to you, but
the details which we have to check against the laws are many and unless we can
get a clear plan, it is next to impossible to check them.

Just for one case we have to check on the location of the proposed piazza and
the proposed garage with relation to the property lines and with relation to the loca-
tion of the garage Road, before we can be sure that these locations comply with the
Zoning Law. Therefore, an accurate location plan showing location of the dwelling
and especially the proposed piazza and garage from all property lines (including the
lines of the streets or right-of-ways) is necessary. Until you can file such a plan,
we cannot see how we can make any progress at all.

As to the actual structural alterations in the dwelling, we shall try to
afford to you, but the proposition is a check it, but you would be glad to have
of the permit in measure if you would employ someone who can do the work in
the usual way. In other words, structural changes so that the work can be checked
with further trip to the Island.

Very truly yours,

Inspector of Buildings

encl



APPLICATION FOR PERMIT

Class of Building or Type of Structure third

Portland, Maine, Sept. 19, 1945

1160
357 09172

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: Great City Log. Peaks

Location Central Ave Within Fire Limits? no Dist. No. _____
 Owner's name and address Henry Hanheide Central Ave. Telephone _____
 Lessee's name and address Thomas Golden and Albert Hart Peaks Island Telephone P.I. 233
 Contractor's name and address _____ Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building Dwelling No. families _____
 Last use dwelling No. families _____
 Material frame No. stories 1 1/2 Heat _____ Style of roof pitch Roofing _____
 Other buildings on same lot no
 Estimated cost \$ _____ Fee \$.50

General Description of New Work

To demolish storeroom 9' x 12' and open piazza 7' x 26'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes Thomas Golden

INSPECTION COPY

Signature of owner

Henry Hanheide 110370

Permit No 45/1160

Location Central ave, Rahndol.

Owner Henry Handbeide

Date of permit 7/19/45

Notif. closing-in _____

Inspn. closing-in _____

Final Notif. _____

Final insp _____

Cert. of Occupancy issued _____

NOTES

~~Blank lined area with a large handwritten 'X' drawn across it.~~

Memorandum from Department of Building Inspection, Portland, Maine
Central Ave., Peaks Island(Henry Handi)-Construction of stone fireplace for Henry Handi by
George Keening, Builder-----9/8/48

To Owner and Builder:

I understand there will be no connections to the chimney flue than the proposed fireplace.

Please note special requirements as to thickness of walls of stone fireplaces in Section 303-s of the Building Code(Page 89)

CJ Mr. Henry Handi,
Central Ave.,
Peaks Island

(Signed) Warren McDonald
Inspector of Buildings



(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED

10857
SEP 8 1945

Class of Building or Type of Structure Third Class

Portland, Maine, September 8, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~not alter~~ ~~reconstruct~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Central Ave., Peaks Island *Permit issued with amendment*
 Within Fire Limits? no Dist. No. _____
 Owner's name and address Henry Handi, Central Ave., Peaks Island Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address George Keening, Willow St., So. Portland Telephone 89
 Architect _____ Specifications _____ Plans no. _____ No. of sheets _____
 Proposed use of building Dwelling No. families 1
 Last use _____ No. families 1
 Material frame No. stories 1 1/2 Height _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 100. Fee \$ 50

General Description of New Work

To construct stone fireplace connected to existing chimney.

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

former owner Littlejohn

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Site, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Henry Handi

Signature of owner _____

By _____

INSPECTION COPY

Permit No 45/1087

Location Central Ave., Peabody Del.

Owner Henry Hand's

Date of permit 9/8/45

Notif. closing-in

Ins. pn. closing-in

Final Notif.

Final Inspn 2/7/46 C.R.B.

Cert. of Occupancy issued None

48/49
46/1456

NOTES

12" thick

2" Plumb

18" in front

18" thick

8"

Work made just as noted,
according to Plan Revision.

OK



APPLICATION FOR PERMIT PERMIT ISSUED

Class of Building or Type of Structure Third Class 1851

Portland, Maine, October 27, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Central Ave., Peaks Island Within Fire Limits? Yes Dist. No. _____

Owner's name and address Mrs. Clifton Littlejohn, Peaks Island Telephone _____

Contractor's name and address F. W. Stephenson, Peaks Island Telephone 68-3

Architect _____ Plans filed no No. of sheets _____

Proposed use of building Dwelling No. families _____

Other buildings on _____

Estimated cost \$ _____ Fee \$.50

Description of Present Building to be Altered:

Material frame No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use Dwelling No. families _____

General Description of New Work

To cover entire roof of dwelling.

To demolish 1 story rear piazza.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering Asphalt roofing Class C Un4. Lab.

No. of chimneys _____ Material of chimneys _____ Loft lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Framing Lumber - Kind _____ Dressed or Full Size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" C C Girders 6x8 or larger Bridging in every floor and flat roof

span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____ 2nd _____ 3rd _____ roof _____

On centers: 1st floor _____ 2nd _____ 3rd _____ roof _____

Maximum span: 1st floor _____ 2nd _____ 3rd _____ roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto

are observed? yes

Signature of owner F. W. Stephenson

INSPECTION COPY

375107

Permit No. 38/1851

Location Central Ave, Becks Del.

Owner Mrs. Clifton Littlejohn

Date of permit 10/27/38

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 3/2/39, O.B.

Cert. of Occupancy issued None

