

86-A-7-10 Seashore Ave., Peaks
Island



APPLICATION FOR PERMIT
 DEPARTMENT OF BUILDING INSPECTIONS SERVICES
 ELECTRICAL INSTALLATIONS

86-A-7 to 10 Seashore Ave.

Date Nov. 29, 1986
 Receipt and Permit number AJ492

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: Lot * & 11 Seashore Ave. Peaks Island, Me.
 OWNER'S NAME: Howard Heller - same ADDRESS: _____

OUTLETS: (number of)
 Lights 31-60
 Receptacles _____
 Switches _____
 Plugmold _____ (number of feet)
 TOTAL _____ FEES _____

FIXTURES: (number of)
 Incandescent _____
 Fluorescent _____ (Do not include strip fluorescent)
 TOTAL _____
 Strip Fluorescent, in feet _____

SERVICES:
 Permanent, total amperes 200
 Temporary _____ FEES 3.00

METERS: (number of) 1 FEES .50

MOTORS: (number of)
 Fractional _____
 1 HP or over _____

RESIDENTIAL HEATING:
 Oil or Gas (number of units) _____
 Electric (number of rooms) 1 FEES 1.00

COMMERCIAL OR INDUSTRIAL HEATING:
 Oil or Gas (by a main boiler) _____
 Oil or Gas (by separate units) _____
 Electric (total number of kws) _____

APPLIANCES: (number of)
 Ranges 1 Water Heaters 1
 Cook Tops _____ Disposals _____
 Wall Ovens _____ Dishwashers 1
 Dryers 1 Compactors _____
 Fans _____ Others (denote) _____
 TOTAL _____ FEES 6.00

MISCELLANEOUS: (number of)
 Branch Panels _____
 Transformers _____
 Air Conditioners _____
 Signs _____
 Fire/Burglar Alarms _____
 Circus, Fairs, etc. _____
 Alterations to wires _____
 Repairs after fire _____
 Heavy Duty, 220v outlets _____
 Emergency Lights, battery _____
 Emergency Generators _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE:
 FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE:
 FOR PERFORMING WORK WITHOUT A PERMIT (304-9)
 TOTAL AMOUNT DUE: 15.50

INSPECTION:
 Will be ready on _____, 19____; or Will Call x

CONTRACTOR'S NAME: Denny Landry
 ADDRESS: Summer St. Yarmouth, Me.
 TEL: 846-9080

MASTER LICENSE NO.: 3328
 LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR:
Denny Landry

INSPECTOR'S COPY

ELECTRICAL INSTALLATIONS—

Peaks Island

Permit Number 1992

Location Lot 11 Seashore Ave. Peaks Island

Owner Howard Heller

Date of Permit 11-29-76

Final Inspection 4-20-77

By Inspector Herbert

Permit Application Register Page No. B1

INSPECTIONS: Service ✓ by Herbert
 Service called in _____
 Closing-in _____ by _____
 PROGRESS INSPECTIONS: 3-23-77 major work
4-20-77 _____

CODE COMPLIANCE COMPLETED
 DATE 4-20-77

DATE:	REMARKS:
	<i>NO WORK ON WIRE</i>
	<i>SERVICE</i>
	<i>FRONT BOX and for CLOSET LT.</i>
	<i>META BOX and for KIT and WRENCH</i>
	<i>NEEDS MORE OUTLET WORK</i>
<u>4-20-77</u>	<i>IN PROGRESS</i>

PERMIT TO INSTALL PLUMBING

PERMIT NUMBER **0523**

Address Lot 86-A 7 to 10 Sea Shore Ave. Pkalsl.
 Installation For _____
 Owner of Bldg Howard U. Haller
 Owner's Address 1235 Congress St. Date 11-16-76
 Plumber: Casey & Jackson - Pks Isl.

Date Issued **11-16-76**
 Portland Plumbing Inspector
 By **ERNOLD R. GOODWIN**

App. First Insp.
 Date _____
 By _____
 App. Final Insp.
ERNOLD R. GOODWIN
 CHIEF PLUMBING INSPECTOR

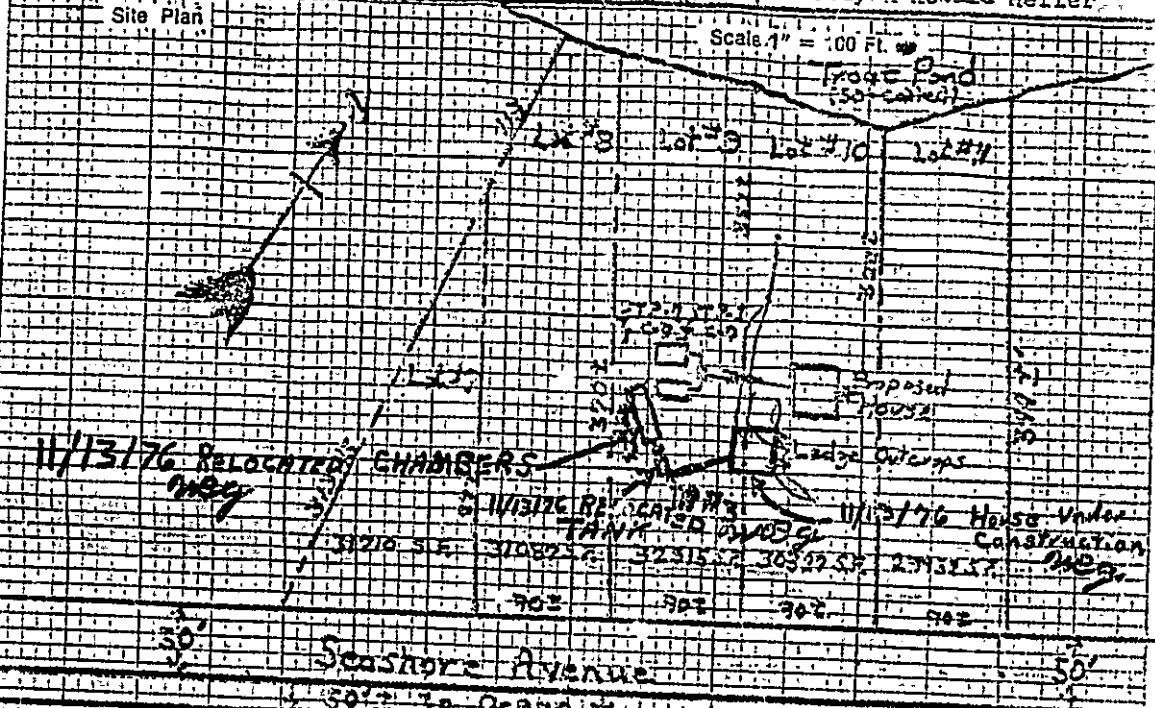
- Type of Bldg.
- Commercial
 - Residential
 - Single
 - Multi Family
 - New Construction
 - Remodeling

NEW	REPL.		NO	FEE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS FLOOR SURFACE		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS	1	25.60
		HOUSE SEWERS		
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
		base fee		3.00
		TOTAL		29.00

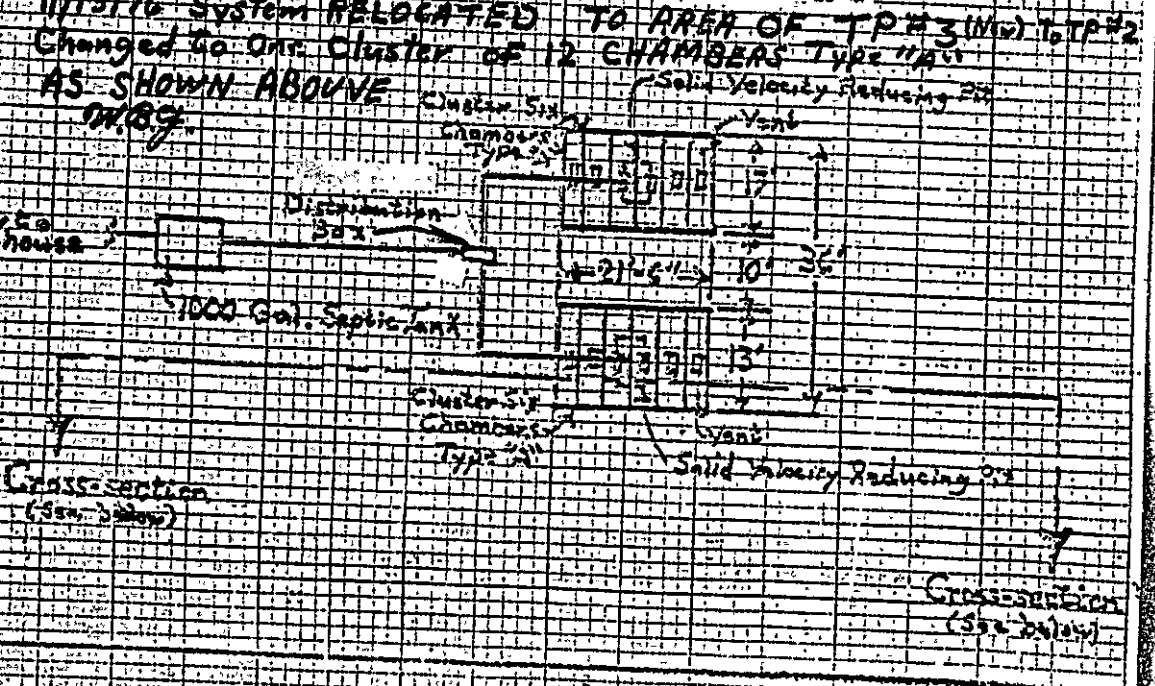
Building and Inspection Services Dept.; Plumbing Inspection

APPLICATION FOR PRIVATE SEWAGE DISPOSAL PERMIT
(For systems disposing of less than 2000 gallons per day)

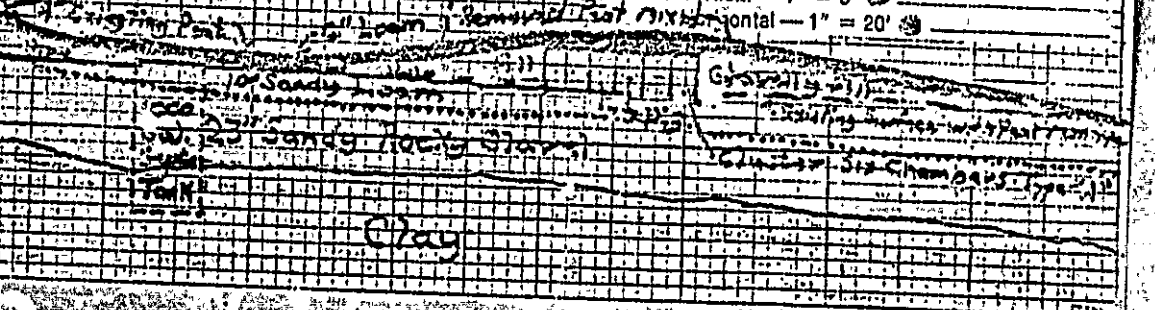
Town **Portland-Peaks Isl.** Street, Road, etc. **Seashore Ave.** if on water body, give name **Seashore Sound** Owner of property **Betty & Howard Keller**



Private Sewage Disposal Plan Scale 1" = 20"



Subsurface Absorption Area Cross-section Scale: Vertical - 1" = 5' Horizontal - 1" = 20'



I certify that all the information submitted to be true and correct; and I understand that issuance of a permit is based upon the information and plans submitted by the applicant. I also understand that any falsification of this information is reason to deny a permit to install a private sewage disposal system and that the permit is valid for a period of one year from the date of permit issuance. I understand that no guarantee is intended or implied in reason of any denial or approval given by the Administrative Authority or its agents.

Signature Required _____
Date: _____
Applicant: **K**
Owner: _____

MAINE DEPARTMENT OF HEALTH AND WELFARE
 APPLICATION FOR PRIVATE SEWAGE DISPOSAL PERMIT (For systems discharging of less than 2000 gallons per day) This is NOT a permit, this form when completed must be presented to the Local Planning Director to obtain a permit Page 1 of 2

Town: **Portland** Street, Road, etc.: **392 Shore Ave.** Permit No.: **0523** Date: **11/16/76**

Owner of property: **Howard H. Heller** Owner's address: **1235 Congress St., Portland** Size of lot: **62,842 Sq. Ft.**

Name & type of establishment, if other than private home: **None**

Name of applicant: **Mr. Howard Heller** Is lot zoned? **Yes** Type of zoning: **R-3**

Applicant's address: **1235 Congress Street** Tel. No.: **778-0317** If you plan to use a previous subdivision approval in lieu of site investigation, please submit one of the following:
 Copy of the subdivision's soils report
 Soils report from a State Agency

Applicant's signature: **Howard Heller** Date: **11/16/76** Subdivision name: **Ocean Hill Subdivision** Lot No.: **9-10**

The water supply for this property is: City well, Private well, Spring, Surface water, Other

SITE INVESTIGATION Show location of pits and/or borings on sketch on page 2 and refer to completed sample form and Chapter 4 of the Code, II

Pit or Boring	Soil Profile No.	Soil Profile No.	Soil Profile No.	Soil Profile No.
<input checked="" type="checkbox"/> Pit	<input type="checkbox"/> Boring	<input type="checkbox"/> Pit	<input type="checkbox"/> Boring	<input type="checkbox"/> Pit
1st strata: Sandy Loam	1st strata: Sandy Loam	1st strata: Sandy Loam	1st strata: Sandy Loam	1st strata: Sandy Loam
2nd strata: Sandy Rocky Gravel	2nd strata: Sandy Rocky Gravel	2nd strata: Sandy Rocky Gravel	2nd strata: Sandy Rocky Gravel	2nd strata: Sandy Rocky Gravel
3rd strata: Clay	3rd strata: Clay	3rd strata: Sandy Rocky Gravel	3rd strata: Sandy Rocky Gravel	3rd strata: Sandy Rocky Gravel
Total Depth of observation hole: 60"	Total Depth of observation hole: 68"	Total Depth of observation hole: 60"	Total Depth of observation hole: 60"	Total Depth of observation hole: 60"
Max. Ground water table: None Evident	Max. Ground water table: None Evident	Max. Ground water table: 50"	Max. Ground water table: None Evident	Max. Ground water table: None Evident
Impervious layer: None Evident	Impervious layer: None Evident	Impervious layer: None Evident	Impervious layer: None Evident	Impervious layer: None Evident
Bedrock: None Evident	Bedrock: None Evident	Bedrock: None Evident	Bedrock: None Evident	Bedrock: None Evident
Surface slope: 0.5%	Surface slope: 0.5%	Surface slope: 0.5%	Surface slope: 0.5%	Surface slope: 0.5%
Soil Group & Condition: C-7	Soil Group & Condition: C-7	Soil Group & Condition: 5-B	Soil Group & Condition: 5-B	Soil Group & Condition: 5-B

On **11-15-76** (date), a site investigation for this project was completed. I supervised this soil evaluation and certify that the results following type and size of private sewage disposal system, if also recommended on page 2.

Signature: **William B. Goodwin**
 Registration/Certification Number: **1111**
 Date signed: **August 30, 1975**

PRIVATE SEWAGE DISPOSAL SYSTEM PROPOSED Show location of system and details on sketches on page 2, and refer to completed sample form

SYSTEM	TREATMENT TANK	SUBSURFACE ABSORPTION AREA		SITE MODIFICATION
		Type	SIZE	
<input checked="" type="checkbox"/> COMBINED SYSTEM	<input checked="" type="checkbox"/> Septic Tank	<input type="checkbox"/> Trench System	<input type="checkbox"/> Very Small	Fill to 30" required; <input type="checkbox"/> 12" not required
<input type="checkbox"/> SEPARATED SYSTEM	<input type="checkbox"/> Concrete	<input type="checkbox"/> Band System	<input type="checkbox"/> Small	Fill will be 12" inches deep
<input type="checkbox"/> Open Pit	<input type="checkbox"/> Metal	<input type="checkbox"/> Ground System	<input type="checkbox"/> Medium Large	<input checked="" type="checkbox"/> A Distribution Box is required
<input type="checkbox"/> Open Pit	<input type="checkbox"/> Other	<input type="checkbox"/> Special System	<input type="checkbox"/> Large	<input type="checkbox"/> Pumping is required
<input type="checkbox"/> Open Pit	<input type="checkbox"/> Other	<input type="checkbox"/> High-Rate System	<input type="checkbox"/> Extra Large	<input type="checkbox"/> Is not required

DETAILS: The Case will be _____ gallons

DISTANCES: **Yes** **No** The proposed subsurface absorption area will be located at least 100 feet from any and all wells, springs, surface water, bodies and courses (lakes, ponds, ocean, brook, stream, rivers, swamps, marshes, and bays).

PROPERTY/LOT LOCATION MAP

FOR THE USE OF LPI ONLY

Form is complete () as to: General Info, Site Investigation, System Proposed, Site Plan, Disposal System Plan, Cross-Section, Statement. See Section 4.3, 9 and 10. Unacceptable for system disposal: Sections 4.3, 4.5, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

Signature: **William B. Goodwin** Date: **11/16/76**

ORIGINAL To be sent to Division of Health Engineering, Augusta, Maine 04333 by the LPI

MAINE DEPARTMENT OF HEALTH AND WELFARE
APPLICATION FOR PRIVATE SEWAGE DISPOSAL PERMIT (For systems disposing of less than 2000 gallons per day)

Town: **Portland, Pease Island** Street, Road, etc.: **524 Shore Ave.** Permi. No.: **05-27** Date: **11/16/76** Page: 1 of 2

Owner of property: **Howard W. Betty Heiler** 1235 Congress St., Portland
Owner's address: **Musky Sound**

Name & type of establishment, if other than private home: **None**

Name of applicant/Owner's agent: **W. Howard Heiler**

Applicant's address: **1235 Congress Street** Tel. No.: **773-0317**

Town: **Portland, Maine** ZIP code: **04102**

Applicant's signature: **[Signature]** Date: **11/16/76**

Owner's signature: **[Signature]** Date: **11/16/76**

This application is for: New System Expanded System Replacement System Replacement of Treatment Tank Only Disposal Area Only

The water supply for this property is: Dug well, depth _____ lining _____ Surface water Borehole _____ course _____ with disinfection without disinfection Drilled well depth _____ lining _____ Spring Public Utility, name _____ Dist. _____

SITE INVESTIGATION Show location of pits and/or borings on sketch on page 2, and refer to completed sample form and Chapter 4 of the Code II

Soil Profile No.	Soil Profile No. 1		Soil Profile No. 2		Soil Profile No. 3		Soil Profile No. 4	
	<input type="checkbox"/> Pit	<input type="checkbox"/> Boring	<input type="checkbox"/> Pit	<input type="checkbox"/> Boring	<input type="checkbox"/> Pit	<input type="checkbox"/> Boring	<input type="checkbox"/> Pit	<input type="checkbox"/> Boring
	Organic strata _____ inches		Organic strata _____ inches		Organic strata _____ inches		Organic strata _____ inches	
	1st strata _____ inches		1st strata _____ inches		1st strata _____ inches		1st strata _____ inches	
	2nd strata _____ inches		2nd strata _____ inches		2nd strata _____ inches		2nd strata _____ inches	
	3rd strata _____ inches		3rd strata _____ inches		3rd strata _____ inches		3rd strata _____ inches	
Total Depth of observation hole	Inches: 60"		Inches: 58"		Inches: _____		Inches: _____	
Max. Ground water table - mottling	Inches: _____		Inches: _____		Inches: _____		Inches: _____	
Imperious layer, clay, etc.	Inches: _____		Inches: _____		Inches: _____		Inches: _____	
Bedrock	Inches: _____		Inches: _____		Inches: _____		Inches: _____	
Surface slope	5%		5%		_____%		_____%	
Soil Group & Condition per Table 9-1 of the Code, II	G-7		G-7		_____		_____	

I, _____ (date), a site investigator for this project was employed to supervise this soil evaluation and certify that the results following type and size of private sewage disposal system I also recommend shown on page 2.

Signature: **William B. Goodwin** and Registration/Certification Number: _____
Date signed: **August 30, 1975**

PRIVATE SEWAGE DISPOSAL SYSTEM PROPOSED Show location of system and details on sketches on page 2, and refer to completed sample form

SYSTEM: COMBINED SYSTEM SEPARATED SYSTEM

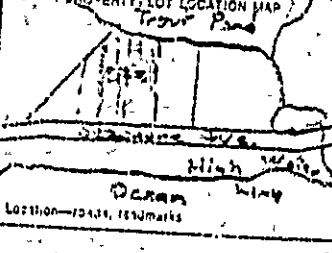
TREATMENT TANK: Septic Tank Concrete Fiberglass Metal

SUBSURFACE ABSORPTION AREA: Trench system: Total trench length _____ ft. Bed System: Length _____ ft. Chamber System: Number _____ Type A _____ Type B _____ Mound System: Length _____ ft. Special System: Length _____ ft. Non-Charge System: Length _____ ft. Holding time _____ hrs.

SIZE: Very Small Small Medium Large Large Extra Large

SEWAGE MODIFICATION: Fill is _____ required, _____ not required. Fill will be _____ inches deep.

DISTANCES: Yes No The proposed subsurface absorption area will be located at least 100 feet from any and all wells, springs, surface water bodies and courses (lake, pond, ocean, brook, stream, live or swamps, marshes, and bogs).



FOR THE USE OF LPI ONLY

Denial. Application is denied for following reasons; portions of the Code II are cited. Form is incomplete (_____) as to: General info, Site Plan, Disposal System Plan, Cross-section, Site Investigation, System Proposed.

Site Investigation indicates site is totally unsuitable for disposal system; See Sections 23 and 24.

System Proposed does not conform to Code; See Sections 43, 44, 45, Table 9-1, Table 9-2.

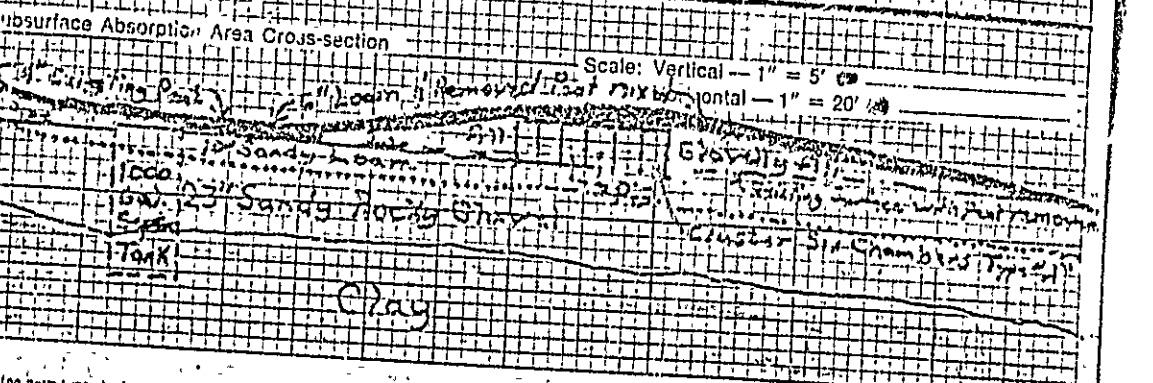
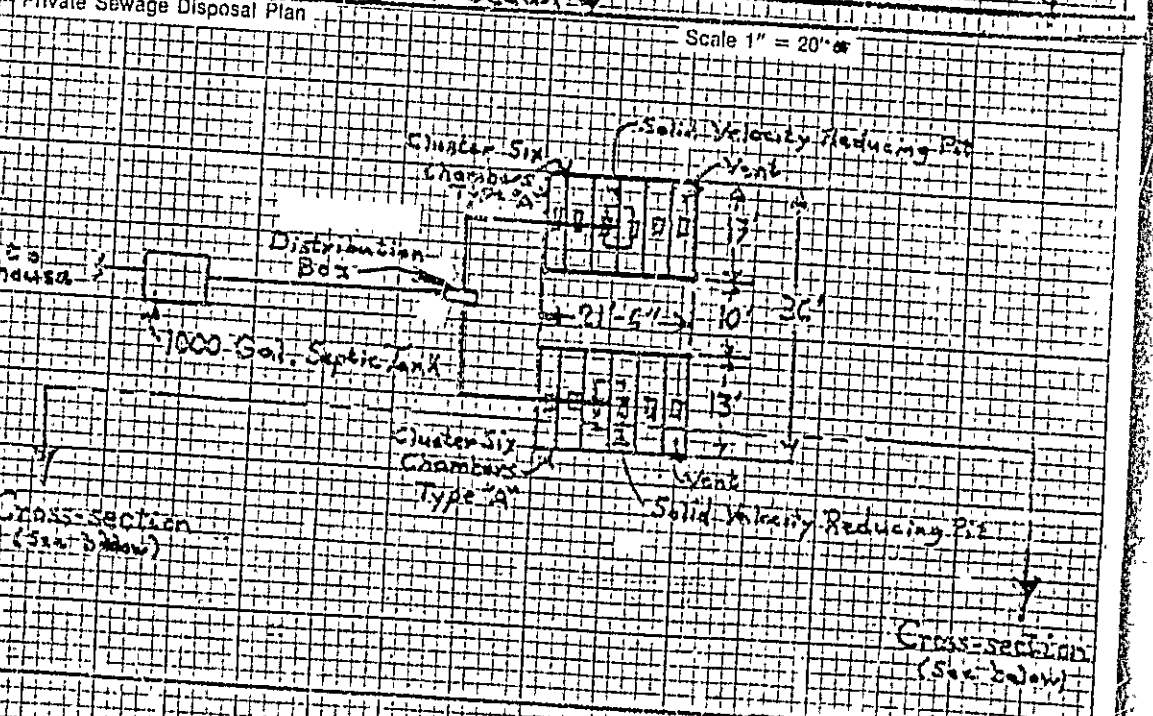
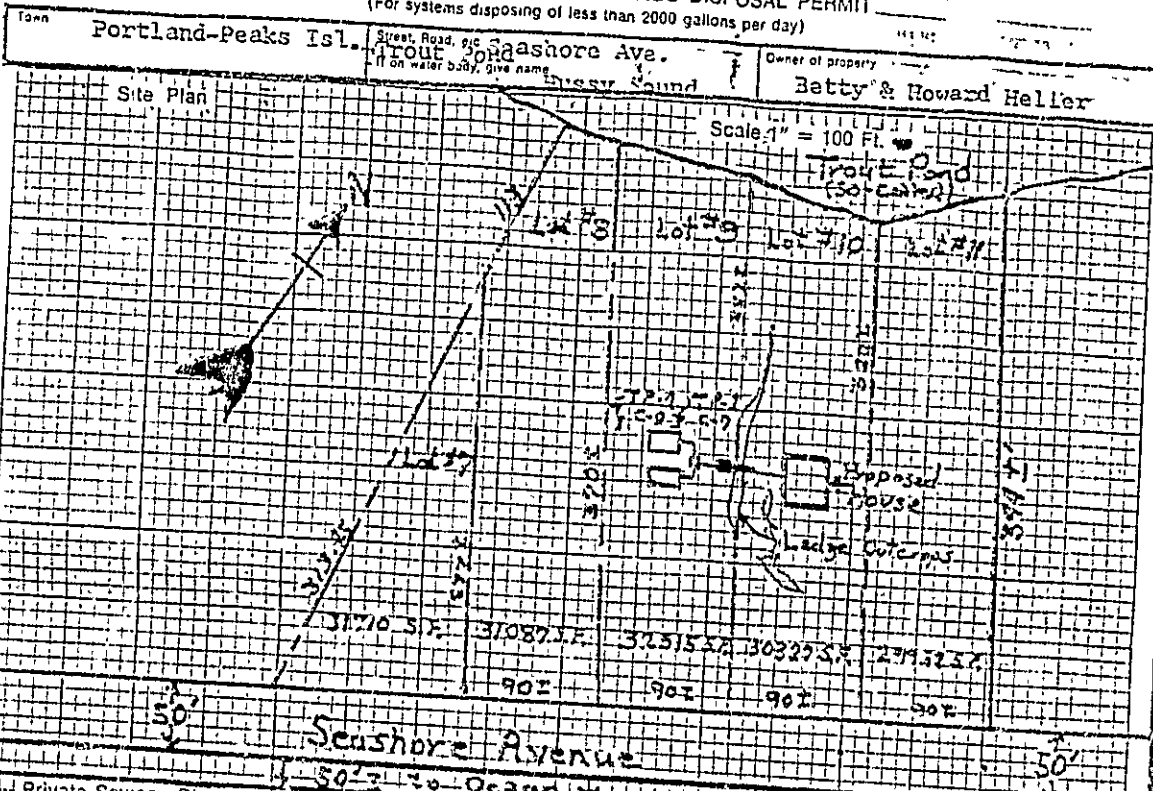
Site Investigation indicates site modifications are necessary; See Sections 43, 44, 45, 46, 47.

Miscellaneous: _____

Acceptance: Application for permit is approved without condition. See Section _____ with condition specified, complete section _____

Signed LPI: **[Signature]** Date: **11/16/76**

APPLICATION FOR PRIVATE SEWAGE DISPOSAL PERMIT
 (For systems disposing of less than 2000 gallons per day)



Statement: (no permit may be issued unless signed)
 I certify that all the information submitted to be true and correct, and I understand that issuance of a permit is based upon the information and plans submitted by the applicant. I also understand that any falsification of this application is reason to deny a permit to install a private sewage disposal system and that the permit is void for a six (6) month period from the date of permit issuance. I understand that no promise is intended or implied by reason of any advice or approval given by the Administrative Authority or its agent.

Signature Required _____
 Date: _____
 Applicant: _____
 Owners: _____

HHE-200-5672

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

64

Edward Hallett

July 22, 1976

Applicant

Date

1025 Congress St.

Seashore Ave., Peaks Island

Mailing Address

Address of Proposed Site

Dwelling

PC 10 10

Proposed Use of Site

Site Identifier(s) from Assessors Maps

60 259 sq. ft. / 1,024 sq. ft.

R 3 Residential

Acreage of Site / Ground Floor Coverage

Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors three

Board of Appeals Action Required: () Yes () No

Total Floor Area 3,072

Planning Board Action Required: () Yes () No

Other Comments:

Date Dept. Review Due: 7/27/76

FIRE DEPARTMENT REVIEW

(Date Received)

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMASE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED	✓	✓	✓						
APPROVED CONDITIONALLY									CONDITIONS SPECIFIED BELOW:
DISAPPROVED									REASONS SPECIFIED BELOW:

REASONS:

(Attach Separate Sheet if Necessary)

Capt. H. H. Miller

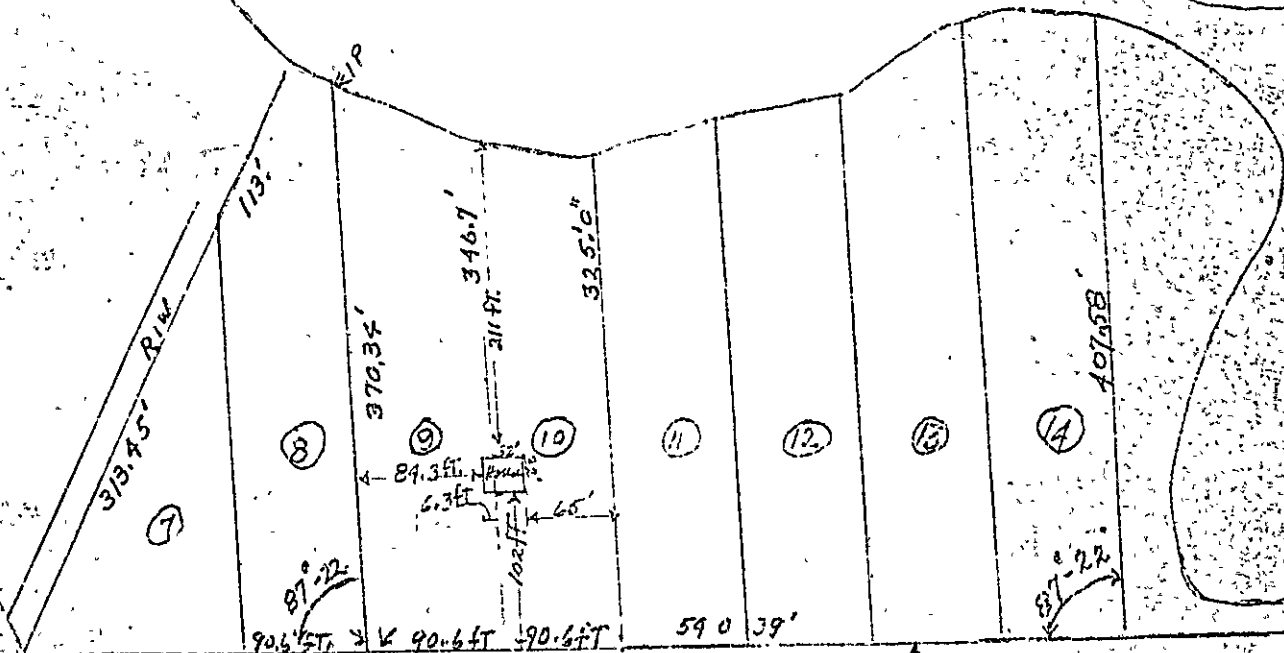
SIGNATURE OF REVIEWING STAFF/DATE

FIRE DEPARTMENT COPY

RECEIVED
JUL 21 1976
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Fresh water
Pond

scale 1" = 100 ft.
July 1976



906.5 ft. IP 889.12 sea Shore AVE 590.39'

COAL

Casco Bay

Howard S. Heiser

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form

Howard Heller
Applicant
1235 Congress St.
Mailing Address
dwelling
Proposed Use of Site
60,259 sq. ft. 1,024 sq. ft.
Acreage of Site / Ground Floor Coverage

July 22, 1976
Date
Seashore Ave., Peaks Island
Address of Proposed Site
86-A-8-10
Site Identifier(s) from Assessors Maps
R 3 Residential
Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No
Board of Appeals Action Required: () Yes (/) No
Planning Board Action Required: () Yes () No
Proposed Number of Floors three
Total Floor Area ~~10,814~~ 3,072

Other Comments:
Date Dept. Review Due: 7/27/76

BUILDING DEPARTMENT SITE PLAN REVIEW
(Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 Requires Board of Appeals Action
 Requires Planning Board/City Council Action

Explanation:
 Use complies with Zoning Ordinance — Staff Review Below

Table with 15 columns: DATE, ZONE LOCATION, INTERIOR OR CORNER LOT, 10 FT. SETBACK AREA (SEC. 21), USE, SEWAGE DISPOSAL, REAR YARDS, SIDE YARDS, FRONT YARDS, PROJECTIONS, HEIGHT, LOT AREA, BUILDING AREA, AREA PER FAMILY, WIDTH OF LOT, LOT FRONTAGE, OFF-STREET PARKING, LOADING BAYS. Rows include COMPLIES, COMPLIES CONDITIONALLY, and DOES NOT COMPLY.

REASONS:
REASONS:
REASONS:

Signature of reviewing staff: [Signature] 7/22/76

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant Howard Miller Date July 22, 1976
 Mailing Address 1025 Congress St Address of Proposed Site Seabrook Ave, Seabrook Island
 Proposed Use of Site dwelling Site Identifier(s) from Assessors Maps _____
 Acreage of Site / Ground Floor Coverage 0.020 ac. / 1,072 sq. ft. Zoning of Proposed Site R-3 Residential
 Site Location Review (DEP) Required: () Yes () No Proposed Number of Floors three
 Board of Appeals Action Required: () Yes () No Total Floor Area 2124 1,072
 Planning Board Action Required: () Yes () No
 Other Comments: SHORELAND
 Date Dept. Review Due: 7/27/76

PLANNING DEPARTMENT REVIEW

7/22/76
(Date Received)

- Major Development — Requires Planning Board Approval: Review Initiated
 Minor Development — Staff Review Below SHORELAND

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED												
APPROVED CONDITIONALLY												
DISAPPROVED												

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS: PARCEL DOES NOT APPEAR TO BE FLOOD-PRONE ACCORDING TO LATEST FLOOD PLAIN INFORMATION.

(Attach Separate Sheet if Necessary)

[Signature] 7/23/76
SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

62

Howard Heller
Applicant

July 22, 1976
Date

1225 Congress St.
Mailing Address

Seashore Ave. Peaks Island
Address of Proposed Site

Dwelling
Proposed Use of Site

66-0-10
Site Identifier(s) from Assessors Maps

60,259 sq ft / 7,021 sq ft
Acreage of Site / Ground Floor Coverage

R-1 Residential
Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors three

Board of Appeals Action Required: () Yes () No

Total Floor Area ~~XXXX~~ 9,072

Planning Board Action Required: () Yes () No

Other Comments:

Date Dept. Review Due: 7/27/76

RECEIVED
PUBLIC WORKS DEPARTMENT REVIEW
JUL 22 1976
(Date Received)
DEPARTMENT OF PUBLIC WORKS

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	✓	✓	N/A	N/A		CONDITIONS SPECIFIED BELOW REASONS SPECIFIED BELOW
APPROVED CONDITIONALLY																
DISAPPROVED																

REASONS:

(Attach Separate Sheet if Necessary)

John P. Lopez 7-22-76
SIGNATURE OF REVIEWING STAFF/DATE
PUBLIC WORKS DEPARTMENT COPY

July 27, 1976

LOCATION: Lots 8-11 Seashore Avenue, Peaks Island

Mr. Robert Hodsdon
49 West Elm Street
Yarmouth, ME

Gentlemen:

A permit is issued herewith to construct a 32'x32' three-story dwelling at the above address subject to the following Building Code requirements:

Please bear in mind that if a basement is intended for this proposed dwelling, the walls are required to be at least 10 inches thick. However, if no basement is intended, the walls need be but 8 inches thick provided the grades outside and inside are equal.

The 8x10 beams shown in the ground floor plan and on the west elevation which support the deck are required to be all one piece in cross-section instead of being built up as shown on the ground floor plan and the west elevation. Because there is a cantilever action on this deck it would be wise to either reverse the nailing strips where the floor timbers make up against the house or if you wish use double nailing strips or hangers.

Apparently there is to be a pre-fabricated fireplace and metalbestos chimney or equivalent. Please be advised that we will want full plans and specifications of the pre-fabricated fireplace before any work is started thereon. We will also require the name of the pre-fabricated chimney into which the furnace will be connected. Please be reminded that a cleanout is required and that the chimney is required to extend at least three feet above the highest point where it cuts the roof.

Because the framing of this building is somewhat complicated, please feel free to call this office at any time and we will be glad to discuss any of the aspects of the framing with you.

Very truly yours,

Earle S. Smith, Plan Examiner
Department of
Building & Inspection
Services

ESS:heg

cc: Mr. Howard U. Heller



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

0681

B.O.C.A. TYPE OF CONSTRUCTION

JUL 10 1976

ZONING LOCATION A-3 PORTLAND, MAINE, July 9, 1976

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION .. Lots 8-11 Seashore Ave., Peaks Island .. Fire District #1 #2

1. Owner's name and address .. Howard Heller .. Telephone ..

2. Lessee's name and address Telephone ..

3. Contractor's name and address .. Robert Hodson .. 49 W. Elm St., Yarmouth .. Telephone 846-4060

4. Architect Specifications .. Plans .. No. of sheets ..

Proposed use of building .. dwelling .. No. families ..

Last use No. families ..

Material .. No. stories .. 3 .. Heat .. Style of roof .. Roofing ..

Other buildings on same lot

Estimated contractual cost \$.. 48,000 .. Fee \$ 192.00

FIELD INSPECTOR—Mr. Smith

GENERAL DESCRIPTION

This application is for:

@ 775-5451

To construct dwelling 32x32 as per plans.

Dwelling

Ext. 234

Garage

Masonry Bldg.

Metal Bldg.

Alterations

Demolitions

Change of Use

Other

Stamp of Special Conditions

PERMIT ISSUED WITH LETTER

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK see plans

Is any plumbing involved in this work? .. yes .. Is any electrical work involved in this work? .. yes ..

Is connection to be made to public sewer? .. no .. If not, what is proposed for sewage? .. septic ..

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front .. depth .. No. stories .. solid or filled land? .. earth or rock? ..

Material of foundation .. Thickness, top .. bottom .. cellar ..

Kind of roof .. Rise per foot .. Roof covering ..

No. of chimneys .. Material of chimneys .. of lining .. Kind of heat .. fuel ..

Framing Lumber—Kind .. Dressed or full size? .. Corner posts .. Sills ..

Size Girder .. Columns under girders .. Size .. Max. on centers ..

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor .., 2nd .., 3rd .., roof ..

On centers: 1st floor .., 2nd .., 3rd .., roof ..

Maximum span: 1st floor .., 2nd .., 3rd .., roof ..

If one story building with masonry walls, thickness of walls? .. height? ..

IF A GARAGE

How many cars now accommodated on same lot .., to be accommodated .. number commercial cars to be accommodated ..

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? ..

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

Will work require disturbing of any tree on a public street? ..

ZONING: OK M.C.C. 7/8/76

BUILDING CODE:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ..

Fire Dept.:

Health Dept.:

Others:

Signature of Applicant

Robert J. Hodson

Phone #

Type Name of above

Robert. Hodson

1 2 3 4

Other

and Address

FIELD INSPECTOR'S COPY

Permit No. 70/0681

Location 8-11 Seneca Ave. Reels Isl.

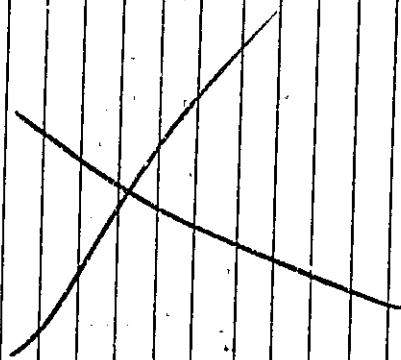
Owner Howard Keller

Date of permit 7/28/74

Approved _____

NOTES

8/13/76 - Rough excavation made. S.S. 11/9/76 - Framed & installed. Told contractor to call for clearing - H 2/6/77 - Framed in for monthly 4/13/77 - Monthly work for clearing in front ducts? - S.S. 5/13/77 - Game permission. Close on Sept. record work. 2/9/78 - Final insp. Not made S.S.H.

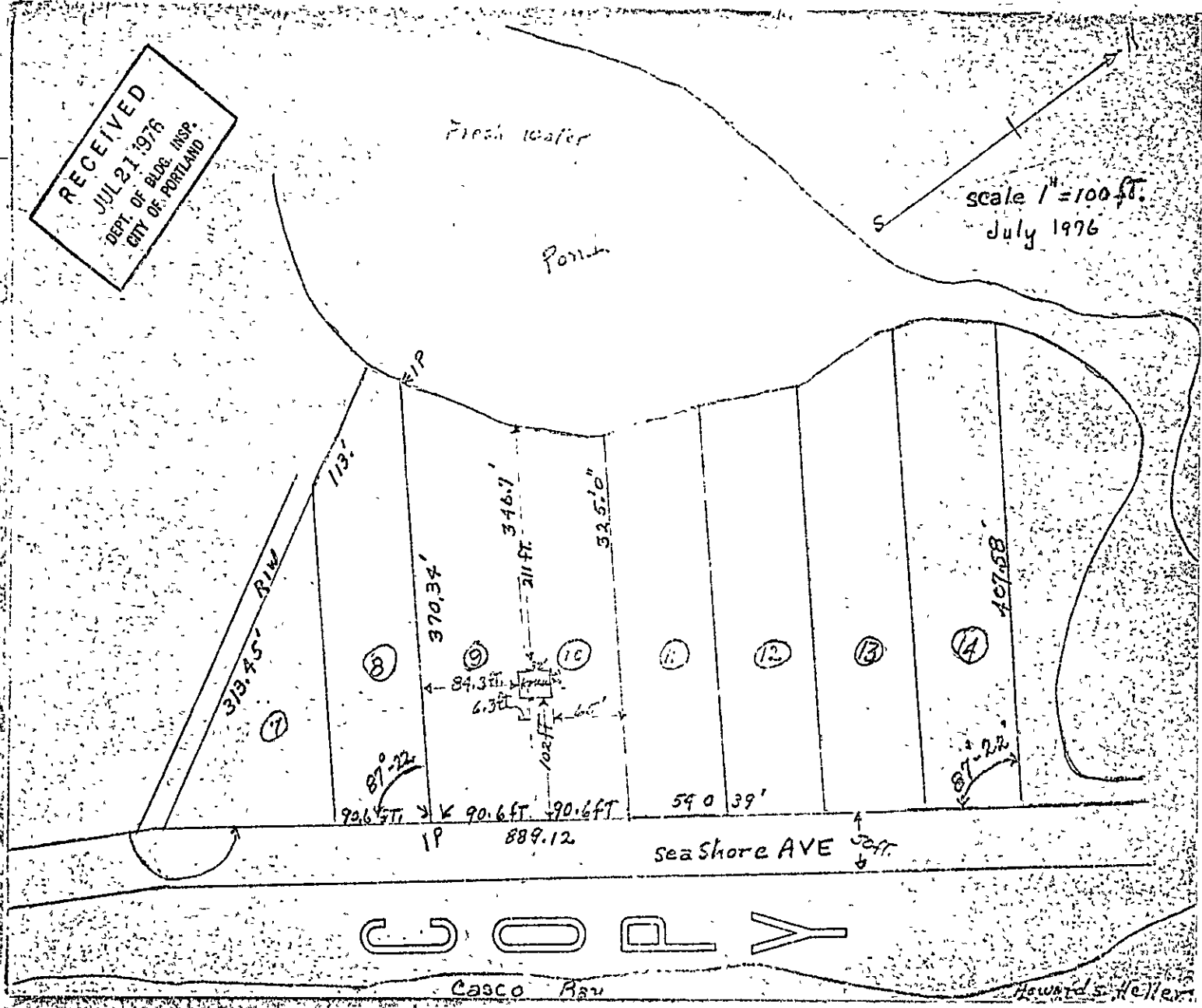


RECEIVED
JUL 21 1975
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Fresh water

Pond

scale 1" = 100 ft.
July 1976



COLBY

Casco Bay

Howard S. Heller

Applicant: HOWARD HELLER Date: 7/10/76
Address: SEASHORE AVE. PEAKS ISLAND
Assessors #: 86-A - 9410

CHECK LIST AGAINST ZONING ORDINANCE

- ✓ Date - NEW
- ✓ Zone Location - R-3
- ✓ Interior or corner lot -
- ✓ 40 ft. setback area (Section 21) - NO
- ✓ Use - 35' X 35' DWELLING
- ✓ Sewage Disposal - PRIVATE
- ✓ Rear Yards - 211' - 15' MIN.
- ✓ Side Yards - 80' - 55' - 16' - 16' MIN.
- ✓ Front Yards - 100' - 20' MIN.
- ✓ Projection - NONE
- ✓ Height - 3 1/2 STORY - 35' - 35' MAX.
- ✓ Lot Area - 60,259^{sq}ft - 35,000^{sq}ft (6500^{sq}ft)
- ✓ Building Area - 6024^{sq}ft - 15,065^{sq}ft MAX. (3072^{sq}ft)
- ✓ Area per Family - 60,259^{sq}ft - 6,500^{sq}ft
- ✓ Width of Lot - 180' - 65' MIN.
- ✓ Lot Frontage - 180' - 40' MIN.
- Off-street Parking -
- Loading Bays -
- ✓ Site Plan - YES

29,932
30,327

60,259

July 27, 1976

LOCATION: Lots 8-11 Seashore Avenue, Peaks Island

Mr. Robert Hodsdon
49 West Elm Street
Yarmouth, ME

Gentlemen:

A permit is issued herewith to construct a 32'x32' three-story dwelling at the above address subject to the following Building Code requirements:

Please bear in mind that if a basement is intended for this proposed dwelling, the walls are required to be at least 10 inches thick. However, if no basement is intended, the walls need be but 8 inches thick provided the grades outside and inside are equal.

The 8x10 beams shown in the ground floor plan and on the west elevation which support the deck are required to be all one piece in cross-section instead of being built up as shown on the ground floor plan and the west elevation. Because there is a cantilever action on this deck it would be wise to either reverse the nailing strips where the floor timbers make up against the house or if you wish use double nailing strips or hangers.

Apparently there is to be a pre-fabricated fireplace and metalbestos chimney or equivalent. Please be advised that we will want full plans and specifications of the pre-fabricated fireplace before any work is started thereon. We will also require the name of the pre-fabricated chimney into which the furnace will be connected. Please be reminded that a cleanout is required and that the chimney is required to extend at least three feet above the highest point where it cuts the roof.

Because the framing of this building is somewhat complicated, please feel free to call this office at any time and we will be glad to discuss any of the aspects of the framing with you.

Very truly yours,

h

or

Department of
Building & Inspection
Service

EEB:heg

cc: Mr. Howard U. Heller

CITY OF PORTLAND, MAINE
BUILDING AND INSPECTION SERVICES

NOTICE RELATING TO SEWAGE DISPOSAL

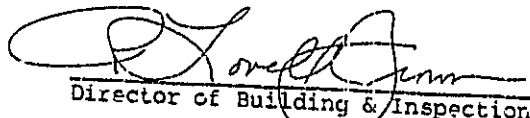
JUL 22 1976

Date
Location Lot 9x10 Seashore Ave, Beards Island
Use
Owner and Address Stanford & Betty Stella
Contractor and Address
Actual Area of Lot 62,542 sq. ft. Zone
Area required by Zoning Ordinance if sewer were available

Where no City sewer is available, the State Plumbing Code requires that a Site Evaluation Test be performed by a State recognized Soil Scientist, Geologist, Professional Engineer, or others so recognized. The Building Code directs that, where a sewage disposal system is to be used, a building permit shall not be issued unless the proposed method of sewage disposal has been approved by the Director of Building Inspections.

Since application for the above permit indicates that connection to a sewer is not possible, it is necessary for the owner or his agent to file the results (including plans) with this department to explain the method of sewage disposal recommended by a Site Evaluation Test.

After this test has been filed, the Plumbing Inspector will notify this department of the lot size required on the basis of the results of the test.


Director of Building & Inspections

This space for Plumbing Inspector's use JUL 22 1976

Test performed by Date Aug 30, 1976
Area of lot required under Site Evaluation Test 35,000 sq. ft.

The results of the test require the pre-designed private sewage disposal as per the attached form and as accepted by the Plumbing Inspector or his alternate (LPI # 123)

Comments

Permit # 2837 City of Portland BUILDING PERMIT APPLICATION Fee \$35.00 Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Howard & Betty Heller Phone # 766-3340
 Address: Seashore Ave. Peaks Island 04108
 LOCATION OF CONSTRUCTION 3C-A-889 Seashore Ave. Peaks
 Contractor: No Line Renovations Sub: _____
Debra Paine send Phone # 766-2438
 Address: 10 Island Ave. PE permit Phone # _____
 Est. Construction Cost: \$3200 Proposed Use: Cac family
 Pas. Use: One family
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion 6X12 Addition to existing first flr-bedroom
enclosing section of deck

For Official Use Only
 Date: November 30, 1989 Subdivision: _____
 Inside Fire Limits _____ Name _____
 Bldg Code _____ Lot _____
 Time Limit _____ Ownership: _____ Public _____ Private _____
 Estimated Cost: \$3200

Zoning: IR-7
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____ Side _____
 Review Required: No increase in footprint
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) WDA 12-4-89

Foundation: 86-A-8, 9 as per plan
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____

Floors:
 1. Sills Size _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall If required _____
 5. Other Materials _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceiling: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size _____
 2. Sheathing Type _____
 3. Roof Covering Type _____

Chimneys:
 Type: _____ Number of Fire Places _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test required _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By Latini

Signature of Applicant _____ Date 11-30-89

Signature of Inspector _____ Date _____

Inspector's Date _____

PERMIT ISSUED WITH LETTER

0801 0E radsroVH

White-Tax Assessor Yellow-GPCOG

White Tlg -CEO

© Copyright GPCOG 1988

MA Add 410

PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ 35.00 _____
Subdivision Fee \$ _____
Site Plan Review Fee \$ _____
Other Fees \$ _____
(Explain) _____
Late Fee \$ _____

Type

Inspection Record

Date

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS 6 sheets of plans submitted

12-13-89 - S/P - 200
2-13-90 - 1015 - 209

Signature of Applicant *D. G. Paine*

Date November 30, 1989

BUILDING PERMIT REPORT

ADDRESS: 86-A-8⁵9 Seashore Ave. P.I. DATE: 5/Dec/89

REASON FOR PERMIT: 6x12' addition by using enclosing
Section of deck - NO Increase in footprint of building

BUILDING OWNER: Howard & Betty Heller

CONTRACTOR: MAJOR LINE RENOVATION

PERMIT APPLICANT:

APPROVED: *1*2*6*7 ~~SEWER~~

CONDITION OF APPROVAL OR DENIAL:

- *1.) Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained.
- *2.) Precaution must be taken to protect concrete from freezing.
- 3.) All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with self-closers.
- 4.) Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 5.) The boiler shall be protected by enclosing with one(1) hour fire rated construction including fire doors and ceiling, or by placing over the boiler, two(2) residential sprinkler heads supplied from the domestic water.
- *6.) Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside opening without the use of separate tools. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping rooms must have minimum net clear openings of 5.7 square feet (0.53m²). The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm).
- *7.) In addition to any automatic fire alarm system required by Sections 1018.3.5, a minimum of one single station smoke detector shall be installed in each guest room, suite of sleeping area in buildings of Use Groups R-1 and I-1 and in dwelling units in the immediate vicinity of the bedrooms in buildings of Use Group R-2 or R-3. When actuated, the detector shall provide an alarm suitable to warn the occupants within the individual unit (see Section 1717.3.1).

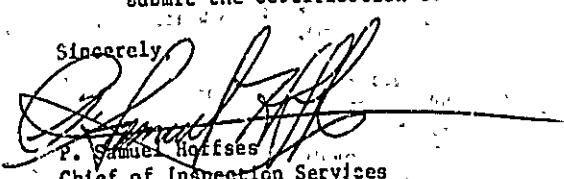
In buildings of Use Groups R-1 and R-2 which have basements, an additional smoke detector shall be installed in the basement. In buildings of Use Group R-3, smoke detectors shall be required on every story of the dwelling unit, including basements.

In dwelling units with split levels, a smoke detector installed on the upper level shall suffice for the adjacent lower level, provided the lower level is less than one full story below the upper level. If there is an intervening door between the adjacent levels, a smoke detector shall be installed on both levels.

All detectors shall be installed in an approved location. Where more than one detector is required to be installed within an individual dwelling unit, the detectors shall be wired in such a manner that the actuation of one alarm will actuate all the alarms in the individual unit.

- 8.) Private garages located beneath rooms in buildings of Use Groups R-1, R-2, R-3 or I-1 shall have walls, partitions, floors and ceilings separating the garage space from the adjacent interior spaces constructed of not less than 1-hour fire-resistance rating. Attached private garages shall be completely separated from the adjacent interior spaces and the attic area by means of 1/2-inch gypsum board or equivalent applied to the garage side. The sills of all door openings between the garage and adjacent interior spaces shall be raised not less than 4 inches (102 mm) above the garage floor. The door opening protectives shall be 1 3/4-inch solid core wood doors or approved equivalent.
- 9.) A guardrail system located near the open side of deck or elevated walking surfaces shall be constructed. Guards in buildings of Use Group R-3 shall be not less than 36 inches in height. Open guards shall have intermediate rails, balusters or other construction such that a sphere with a diameter of 6 inches cannot pass through any opening.
- 10.) Section 25-135 of the Municipal Code for the City of Portland states: "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year.
- 11.) The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 M.R.S.A. refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/el
11/16/88

HELEN HOUSE

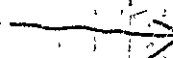
FRAMING - FOUNDATION PLAN 6X12 ADDITION

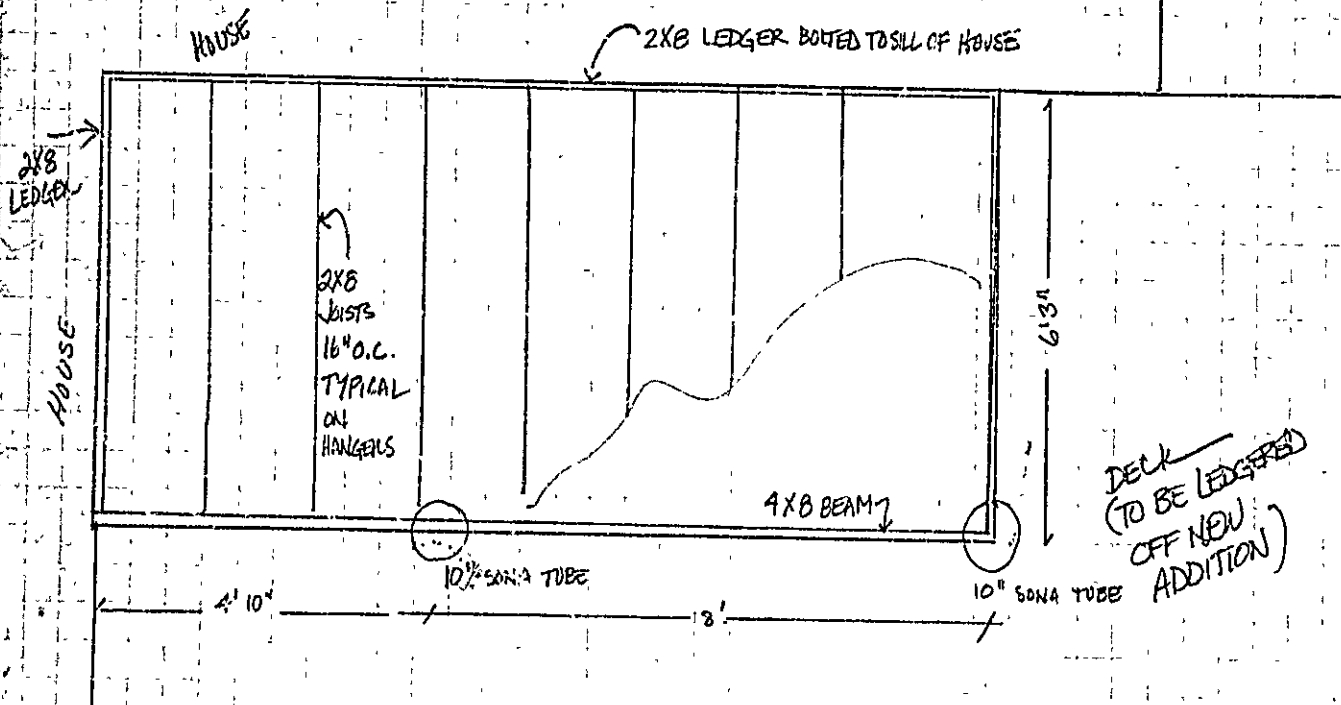
RECEIVED

NOV 30 1989

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

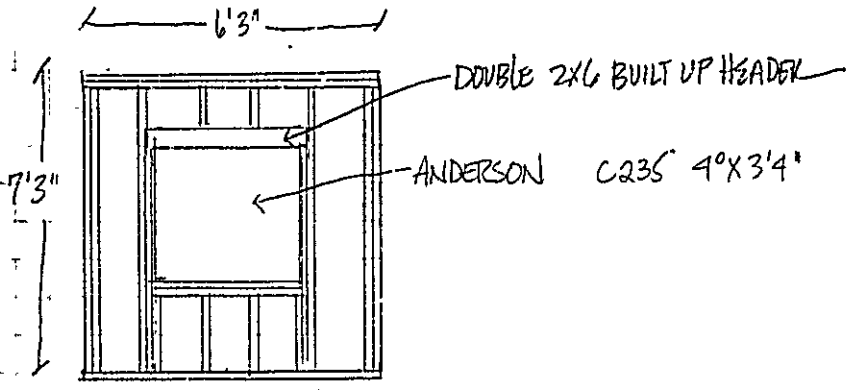
SCALE $\frac{1}{4}'' = 1'$

SOUTH 

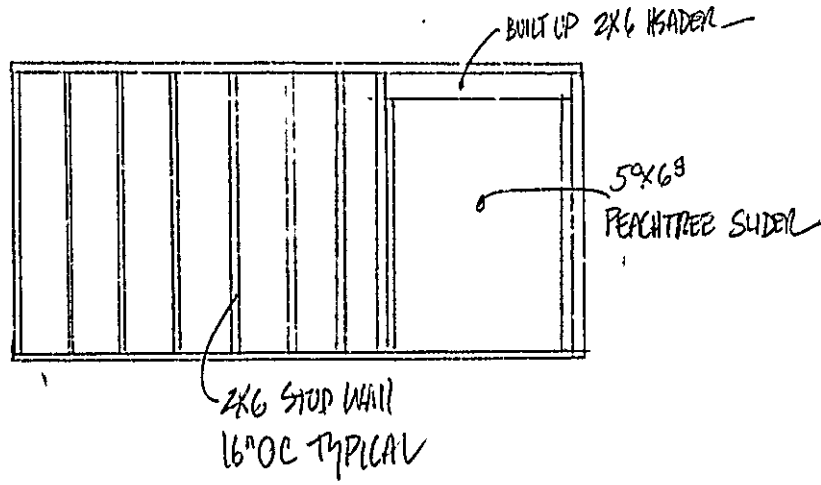


HELLER HOUSE — WALL FRAMING DETAIL 6X12 ADDITION

SCALE 1/4" = 1'

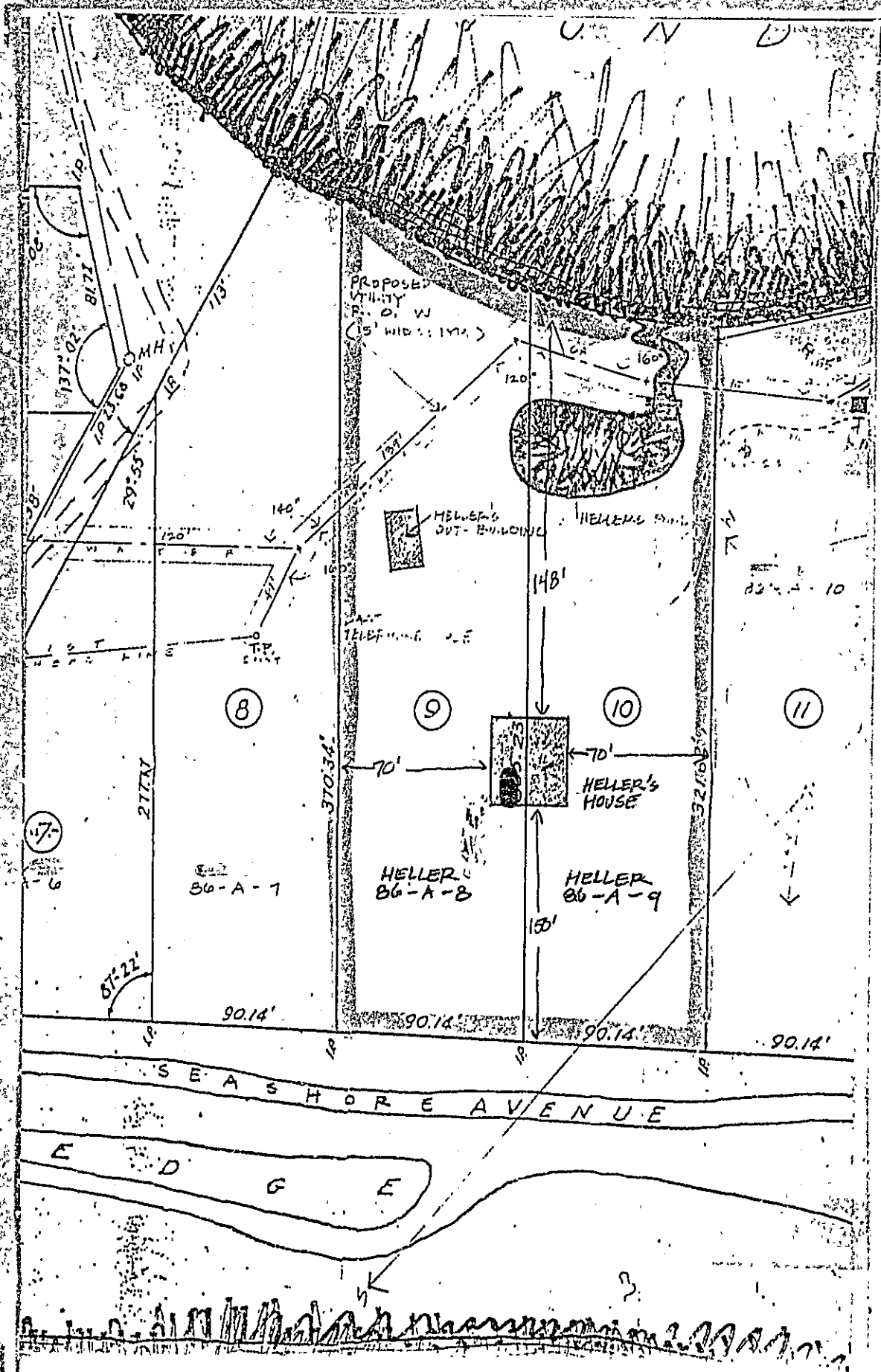


SOUTH SIDE
2X6 STUD WALL — TYPICAL 16" OC

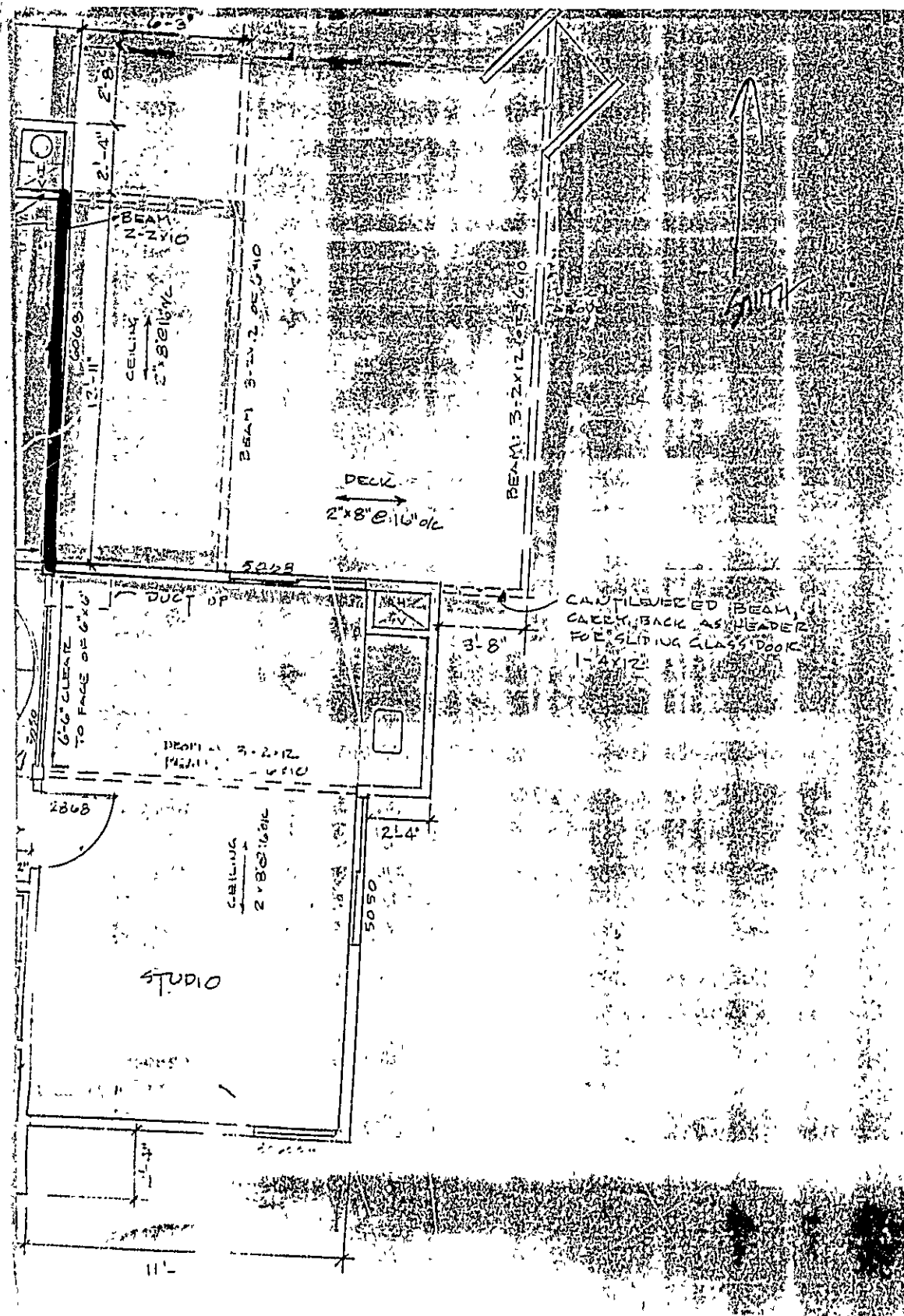



2X6 STUD WALL
16" OC TYPICAL

EAST WALL — ADDITION




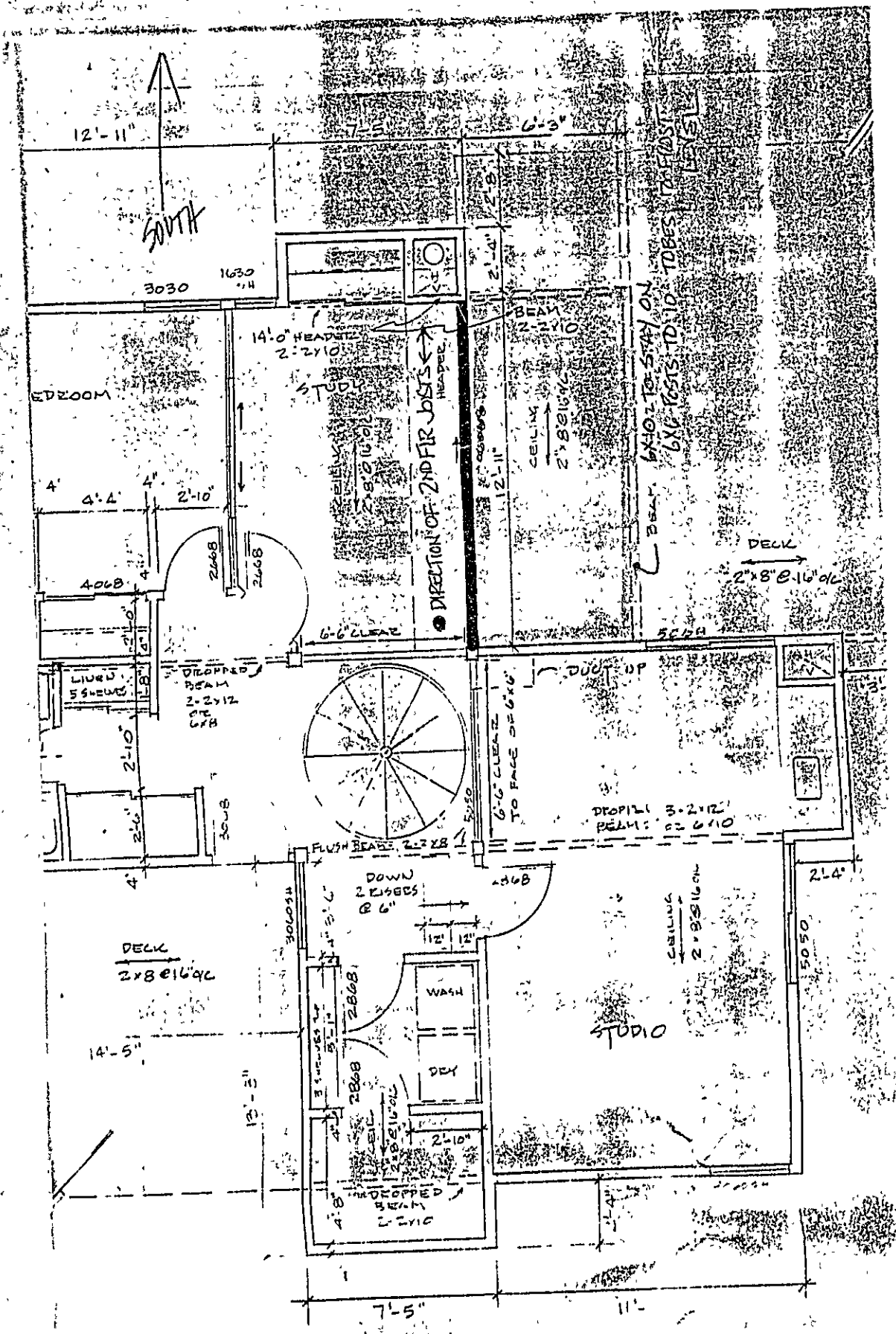
= AREA OF CONSTRUCTION TO HOUSE - GROUND LEVEL



 = AREA OF INTEREST - PROJECT

 = ADDITION

 = NEW GIRDER 3-2x12'S w/ 1/2" PLYWOOD (3 LAYERS) GLUED + NAILED w/ 20 D NAILS ON 4x6 POSTS



[Hatched Box] = NEW HEADER 3-2x12'S GLUED w/ 1/2 PLY 1/2" PLYWOOD ON 4x6 POSTS
 HEADER IS SAME DIRECTION AS FLR JOISTS (2ND FLR)

OWNER:

HOWARD + BETTY HELLER

86-A-8+9

SEASHORE AVE, PEAKS ISLAND

CONTRACTOR: MAINE LINE RENOVATIONS

DEBORAH FAINE

10 ISLAND AVE

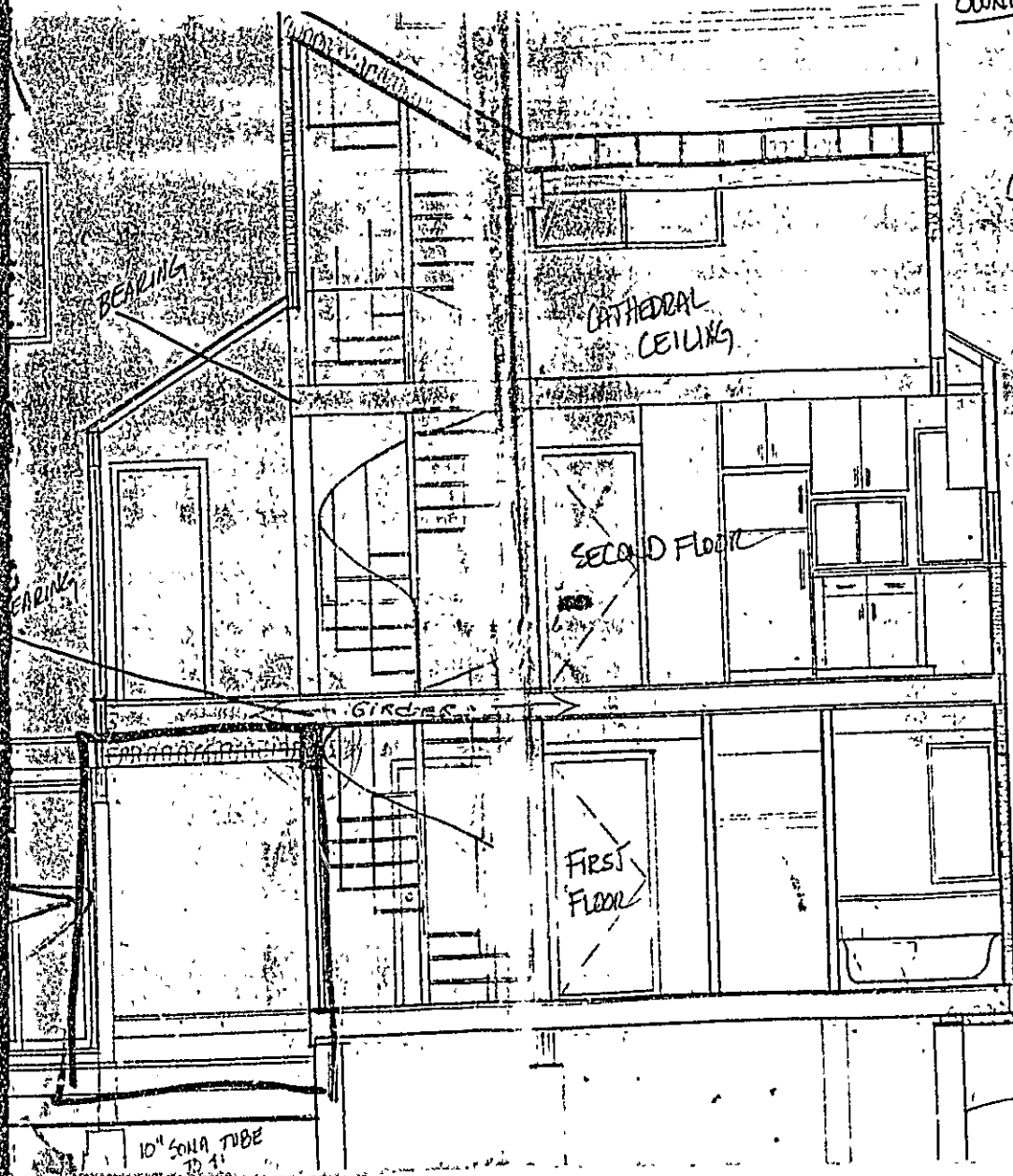
PEAKS ISLAND, ME

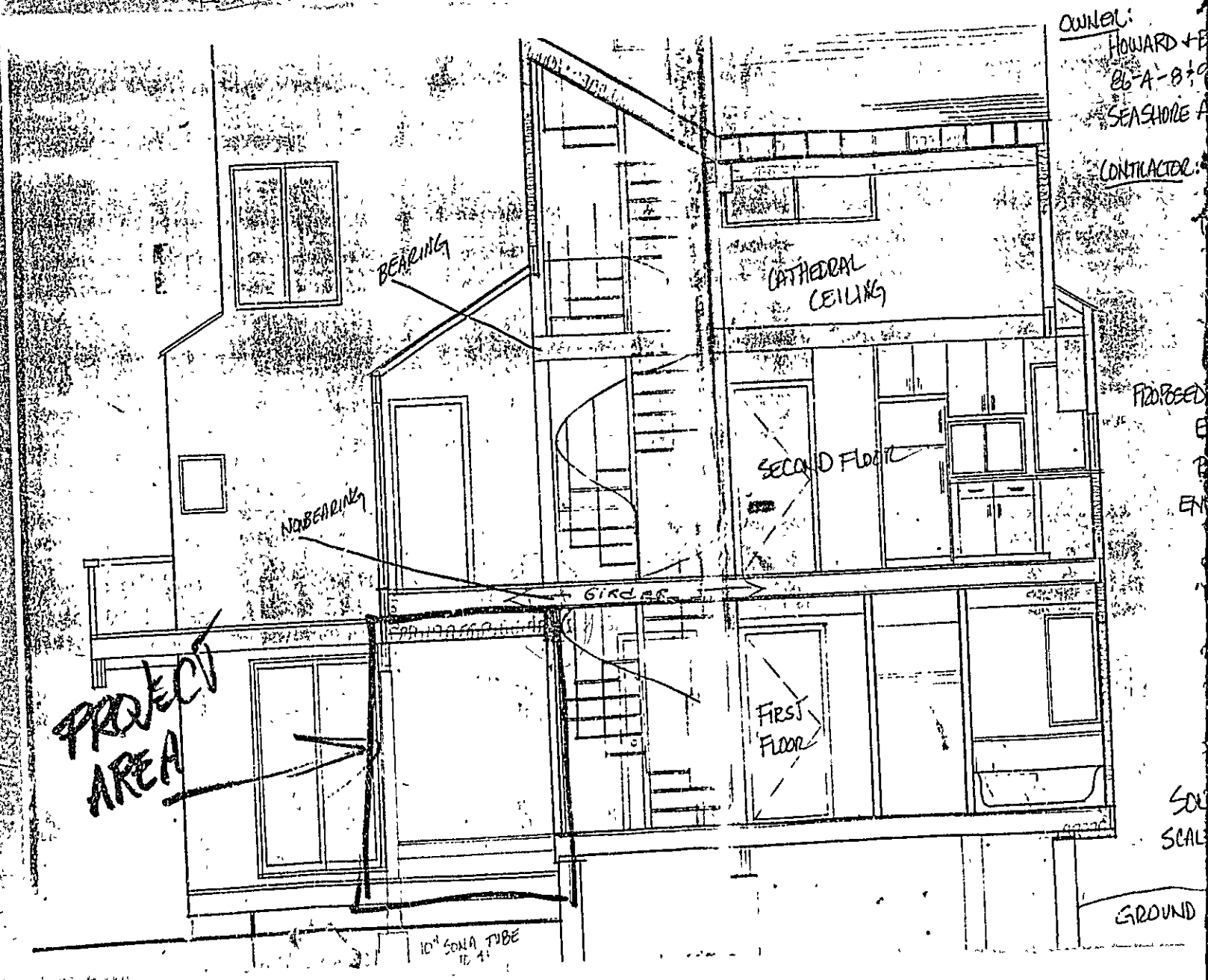
766-2438

PROPOSED 6X12 ADDITION TO
EXISTING FIRST FLOOR
BEDROOM
ENCLOSING SECTION OF DECK

SOUTH ELEVATION
SCALE $\frac{1}{4}'' = 1''$

GROUND LEVEL





OWNER:
HOWARD + E
86-A-8+0
SEASHORE A

CONTRACTOR:

FLOOR BEED
E
P
EN

SO
SCALE

GROUND



EAST

APPLICATION FOR PERMIT

DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date 12/14/89, 19__
Receipt and Permit number 01020

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of
Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 86 -A, 8, and 9 Peaks Island - Seashore Ave
OWNER'S NAME: Howard Hetter ADDRESS: same

OUTLETS:	Receptacles <u>6</u>	Switches _____	Plugmold _____	ft. TOTAL _____	FEES
FIXTURES: (number of)	Incandescent _____	Flourescent _____	(not strip) TOTAL _____		3.00
	Strip Flourescent _____	ft. _____			
SERVICES:	Overhead _____	Underground _____	Temporary _____	TOTAL amperes _____	
METERS: (number of)	_____				
MOTORS: (number of)	Fractional _____	1 HP or over _____			
RESIDENTIAL HEATING:	Oil or Gas (number of units) _____	Electric (number of rooms) _____			
COMMERCIAL OR INDUSTRIAL HEATING:	Oil or Gas (by a main boiler) _____	Oil or Gas (by separate units) _____			
	Electric Under 20 kws _____	Over 20 kws _____			
APPLIANCES: (number of)	Ranges _____	Water Heaters _____	Cook Tops _____	Disposals _____	
	Wall Ovens _____	Dishwashers _____	Dryers _____	Compactors _____	
	Fans _____	Others (denote) _____			
	TOTAL _____				
MISCELLANEOUS: (number of)	Branch Panels _____	Transformers _____	Air Conditioners Central Unit _____	Separate Units (windows) _____	
	Signs 20 sq. ft. and under _____	Over 20 sq. ft. _____	Swimming Pools Above Ground _____	In Ground _____	
	Fire/Burglar Alarms Residential _____	Commercial _____	Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____	over 30 amps _____	
	Circus, Fairs, etc. _____	Alterations to wires _____	Repairs after fire _____	Emergency Lights, battery _____	
	Emergency Generators _____				

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT INSTALLATION FEE DUE:
FOR REMOVAL OF A "STOP ORDER" (304-16.b) DOUBLE FEE DUE:
TOTAL AMOUNT DUE: 5.00
minimum fee

INSPECTION: Will be ready on now, 19__; or Will Call _____
CONTRACTOR'S NAME: Joe Hayes
ADDRESS: RR 5 box 302 - Goryham, ME
TEL.: 727xx3939
MASTER LICENSE NO.: # 8263
LIMITED LICENS# NO.: _____ SIGNATURE OF CONTRACTOR: Joe Hayes

INSPECTOR'S COPY — WHITE
OFFICE COPY — CANARY
CONTRACTOR'S COPY — GREEN

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

PROPERTY ADDRESS

Town Or Plantation: **PORTLAND PEAKS ISLAND**

Street: **SEASHORE AVENUE**

Subdivision Lot #: **TAY MAP 86 - BLOCK A LOT 10**

PROPERTY OWNERS NAME

Last: **APPEL** First: **MARCIA**

Applicant Name: **MARCIA APPEL**

Mailing Address of Owner/Applicant (If Different): **1355 JONQUIL ST. NW WASHINGTON D.C. 20012**

PORTLAND 5091 TOWN COPY

Date Permit Paid: **05/29/94** \$ **60.00** Double Fee Charged

Local Plumbing Inspector Signature: *[Signature]* L.P.I. # **0124**

Chief Plumbing Inspector

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: **GENE BLISS, DOUGLAS MANTON ED** Date: **5/24/94**

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules.

Local Plumbing Inspector Signature: **A Rowe** Date Approved: **6-94**

PERMIT INFORMATION

THIS APPLICATION IS FOR:

- NEW SYSTEM
- REPLACEMENT SYSTEM
- EXPANDED SYSTEM
- SEASONAL CONVERSION
- EXPERIMENTAL SYSTEM

THIS APPLICATION REQUIRES:

- NO RULE VARIANCE REQUIRED
- NEW SYSTEM VARIANCE
Attach New System Variance Form
- REPLACEMENT SYSTEM VARIANCE
Attach Replacement System Variance Form
- Requires only Local Plumbing Inspector Approval
- Requires both State and Local Plumbing Inspector Approval

INSTALLATION IS COMPLETE SYSTEM

- NON-ENGINEERED SYSTEM
- PRIMITIVE SYSTEM (Includes Alternative Toilet)
- ENGINEERED (+ 2000 gpd)

INDIVIDUALLY INSTALLED COMPONENTS:

- TREATMENT TANK (ONLY)
- HOLDING TANK
- ALTERNATIVE TOILET (ONLY)
- NON-ENGINEERED DISPOSAL AREA (ONLY)
- ENGINEERED DISPOSAL AREA (ONLY)
- SEPARATED LAUNDRY SYSTEM

IF REPLACEMENT SYSTEM:

YEAR FAILING SYSTEM INSTALLED _____

THE FAILING SYSTEM IS:

- BED
- CHAMBER
- TRENCH
- OTHER _____

DISPOSAL SYSTEM TO SERVE:

- SINGLE FAMILY DWELLING
- MODULAR OR MOBILE HOME
- MULTIPLE FAMILY DWELLING
- OTHER _____ SPECIFY _____

TYPE OF WATER SUPPLY

PUBLIC WATER

SIZE OF PROPERTY 29,902 SF

ZONING IR 1

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK

- SEPTIC: Regular Low Profile
- AEROBIC

SIZE: **1000** GALS.

WATER CONSERVATION

- NONE
- LOW VOLUME TOILET
- SEPARATED LAUNDRY SYSTEM
- ALTERNATIVE TOILET

SPECIFY: _____

PUMPING

- NOT REQUIRED
- MAY BE REQUIRED (DEPENDENT ON TREATMENT TANK LOCATION AND ELEVATION)
- REQUIRED

DOSE: _____ GALS

CRITERIA USED FOR DESIGN FLOW (BEDROOMS, SEATING, EMPLOYEES, WATER RECORDS, ETC.)

3 BEDROOM MODERATE 360

LOW VOLUME TOILET - 36

SEPARATED LAUNDRY - 72

DESIGN FLOW: 252 (GALLONS/DAY)

SOIL CONDITIONS USED FOR DESIGN PURPOSES

PROFILE: **3** CONDITION: **C**

DEPTH TO LIMITING FACTOR: **24"**

SIZE RATINGS USED FOR DESIGN PURPOSES

- SMALL
- MEDIUM
- MEDIUM-LARGE
- LARGE
- EXTRA LARGE

DISPOSAL AREA TYPE/SIZE

- BED _____ Sq. Ft.
- CHAMBER **450*** Sq. Ft. REGULAR H-20
- TRENCH _____ Linear Ft.
- OTHER: _____

SITE EVALUATOR STATEMENT: I USED 18 INFILTRATOR POLYETHYLENE CHAMBERS IN TRENCH CONFIGURATION

On **October 17 1993** (date) I conducted a site evaluation for this project and certify that the data reported is accurate. The system I propose is in accordance with the Subsurface Wastewater Disposal Rules.

Signature: **Thomas R Adams** SE#/PE# **277/4798** Date: **5/3/94**

* Local Plumbing Inspector's Signature & a Local Site Evaluation Waiver under a Local Option

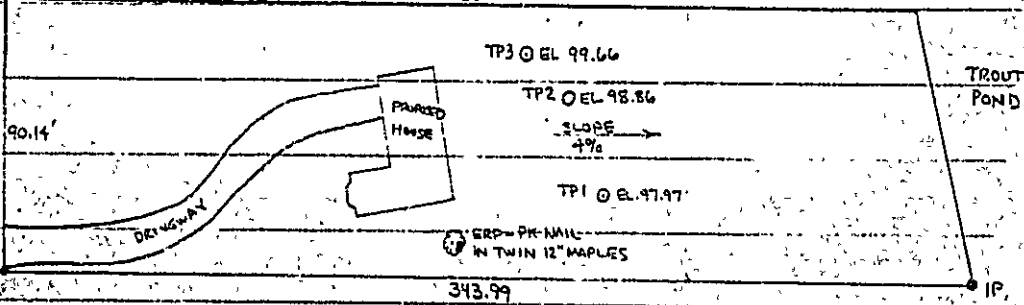
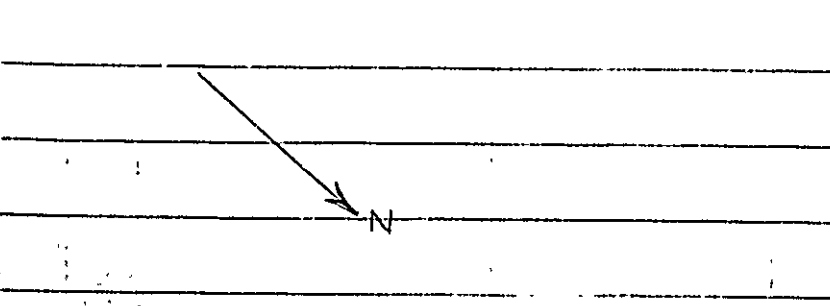
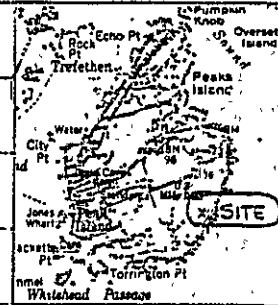
Page 1 of 3
HHE-200 Rev. 4/83

SEWER SURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering

Town City, Plantation: **PORTLAND PEAKS ISLAND** Street, Road, Subdivision: **SEASHORE AVE 86-A-10** Owners Name: **MARCIA, APPEL**

SITE PLAN Scale 1" = **50** Ft.



SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole 2 Test Pit Boring

Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
LOAM		DARK BROWN	
LOAMY SAND	FRITABLE	RED BROWN	NONE
MANY ANGULAR TO ROUNDED COARSE FRAGMENTS			
FINE SANDY LOAM	FIRM	LIGHT BROWN	COMMON DISTINCT

Soil Classification: **3 C** Slope: **4%** Limiting Factor: **24** Ground Water Plastic Layer Bedrock

Observation Hole 2 Test Pit Boring

Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
LOAM		DARK BROWN	
LOAMY SAND	FRITABLE	RED BROWN	NONE
MANY ANGULAR TO ROUNDED COARSE FRAGMENTS			
BEYOND			

Soil Classification: **4 AIII** Slope: **4%** Limiting Factor: **30** Ground Water Plastic Layer Bedrock

Thomas R Adams 277/4798-5/3/94
Site Evaluator or Professional Engineer's Signature SE# / PE# Date

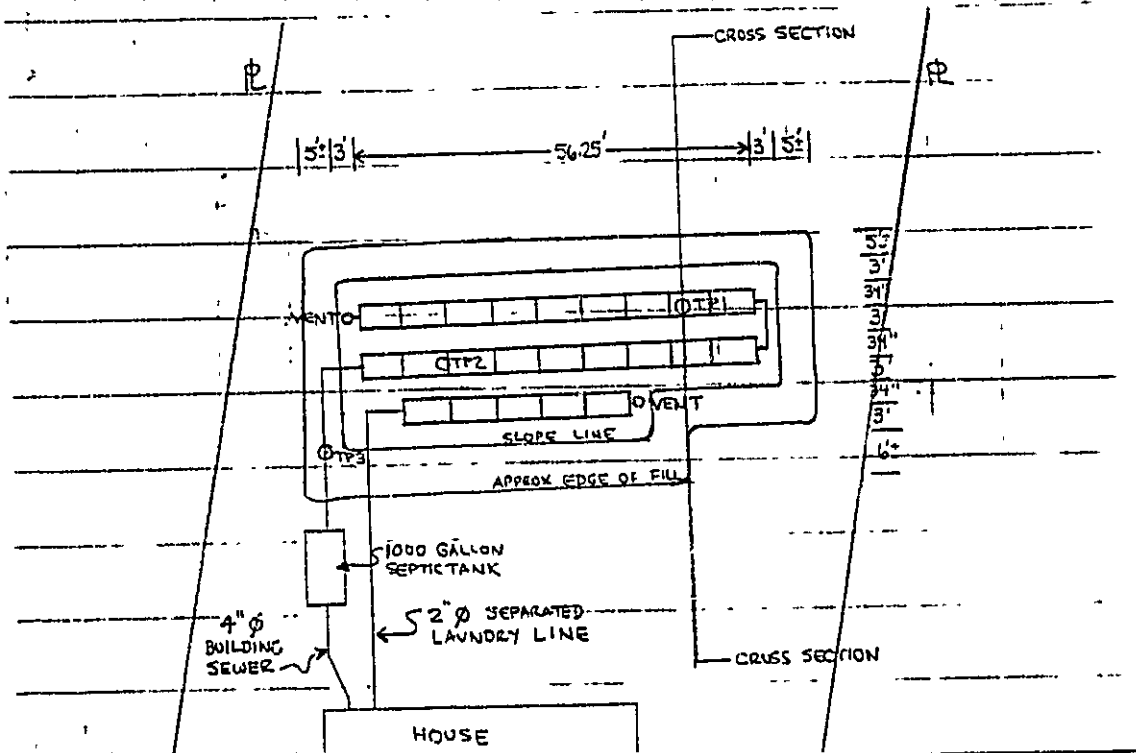
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering

Town, City, Plzation PORTLAND PEAKS ISLAND	Street, Road, Subdivision SEASHORE AVE 86-A-10	Owners Name MARCIA APPEL
--	--	------------------------------------

SUBSURFACE WASTEWATER DISPOSAL PLAN

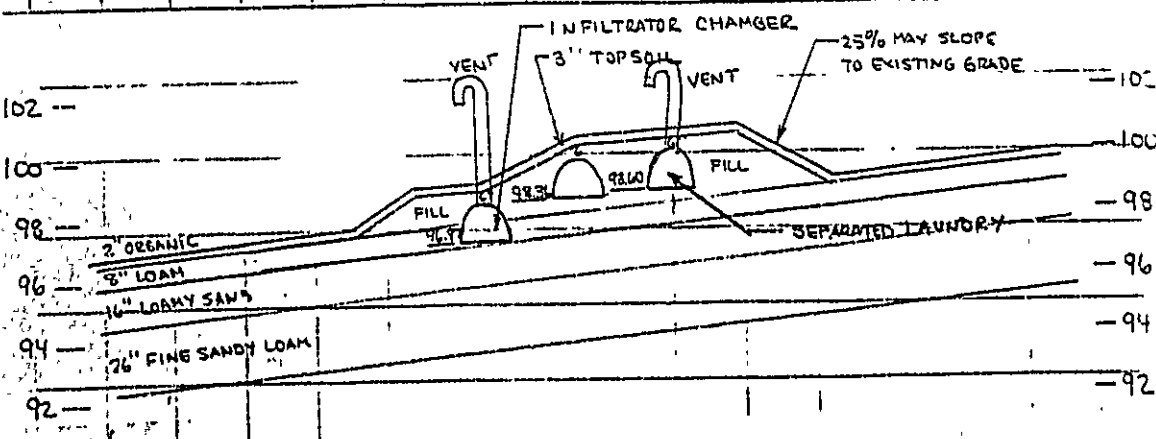
Scale 1" = 20 FL



FILL REQUIREMENTS	CONSTRUCTION ELEVATIONS	ELEVATION REFERENCE POINT LOCATION & DESCRIPTION
Depth of Fill (Upslope) <u>24"</u>	Reference Elevation is <u>100.00</u>	PK NAIL IN TWIN 12" MAPLE IN CENTER OF LOT NEAR NE PROJ LINE
Depth of Fill (Downslope) <u>16"</u>	Bottom of Disposal Area <u>SEE CROSS SECTION</u>	
	Top of Distribution Lines or Chambers " " <u>11</u>	

DISPOSAL AREA CROSS SECTION

Scale:
Vertical: 1 inch = 5 FL
Horizontal: 1 inch = 10 FL



Thomas R. Adams
Site Evaluator or Professional Engineer's Signature

277/4798
SE #/PE #

5/3/94
Date

940532

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Feb 20 Zone _____ Map # _____ Lot# _____
Please fill out any part which applies to job. Proper plans must accompany form. 50 - mmsp

Owner: Marcia Appel Phone # 202-882-8805
 Address: 1355 Jonquil St- Washington, DC
 LOCATION OF CONSTRUCTION ⁴⁰⁶ Seashore Ave- Peaks Island
 Contractor: Design Technologies Phone # 793-6645
 Address: Rt 160- Cornish, ME Phone # 04020
 Est. Construction Cost: 200,000 Proposed Use: 1-fam dwlg
 Past Use: vacant lot
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions: L _____ W _____ Total Sq Ft. _____
 # Stories 3 # Bedrooms 3 Lot Size _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion construct 1-fam dwlg

6-7-94 For Official Use Only
 Date 5/25/94 Subdivision _____ Name JUN - 8 1994
 Inside Fire Limits _____ Lot _____
 Bldg Code _____ Ownership _____ Public _____ Private _____
 Time Limit _____
 Estimated Cost 200,000
 Zoning: FR-1
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain) _____

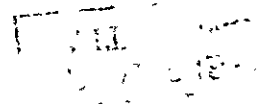
86-A-10 & M MSP
 Foundation:
 1. Type of Soil _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other _____
 Floor:
 1. Sills Size _____ Sills must be anchored.
 2. Girder Size _____
 3. Lally Column Spacing _____ Size: _____
 4. Joists Size _____ Spacing 16" O.C.
 5. Bridging Type _____ Size: _____
 6. Floor Sheathing Type _____ Size: _____
 7. Other Material _____
 Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No windows _____
 3. No Doors _____
 4. Header Sizes _____ Spant(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____ Weather Exposure _____
 10. Masonry Materials _____
 11. Metal Materials _____
 Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Spant(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Materials _____

-HISTORIC PRESERVATION
 Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type _____ Size _____
 5. Ceiling Height: _____
 Roof:
 1. Truss or Rafter Size _____ Span Action: _____
 2. Sheathing Type _____ Size _____
 3. Roof Covering Type _____
 Chimneys:
 Type _____ Number of Fire Places _____
 Heating:
 Type of Heat: _____
 Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____
 Plumbing:
 1. Approval of soil test if required _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____
 Swimming Pools:
 1. Type _____
 2. Pool Size: _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By Louise P. Rousseau
PERMIT ISSUED WITH LETTER
 Date 5/25/94
 Signature Gerald L. Cunningham
 CONTINUED TO REVERSE SIDE
 Ivory Tag - CEO

White - Tax Assessor

PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ 50

Subdivision Fee \$ _____

Site Plan Review Fee \$ 1000

Other Fees \$ _____
(Explain) _____

Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

COMMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

[Signature] Box 124A, Cornish, NH 793-6645
 SIGNATURE OF APPLICANT ADDRESS PHONE NO.

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE NO.