

TORRINGTON AVENUE PEAKS ISLAND
84-U-3

U.S. DEPARTMENT OF THE INTERIOR
BUREAU OF LAND MANAGEMENT
WASHINGTON, D. C. 20250



APPLICATION FOR AMENDMENT TO PERMIT

PERMIT ISSUED

Amendment No. # 1

MAY 14 1983

Portland, Maine, March 14, 1983

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 79-592 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 84-U-3 Torrington Ave. Pks Isl. 04108 Within Fire Limits? Dist. No. Telephone 766-2636
Owner's name and address William D. Dukes - same
Contractor's name and address Owner Telephone
Architect Plans filed No. of sheets
Proposed use of building dwelling No. families
Last use No. families
Increased cost of work 10,000 Additional fee 60.00

Description of Proposed Work

To increase cost of permit fee, and also for additional work being done by Mr. Dukes. No plans necessary.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height: average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering of lining
No. of chimneys Material of chimneys
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof

Approved:

Signature of Owner

William D. Dukes

Approved:

Inspector of Buildings

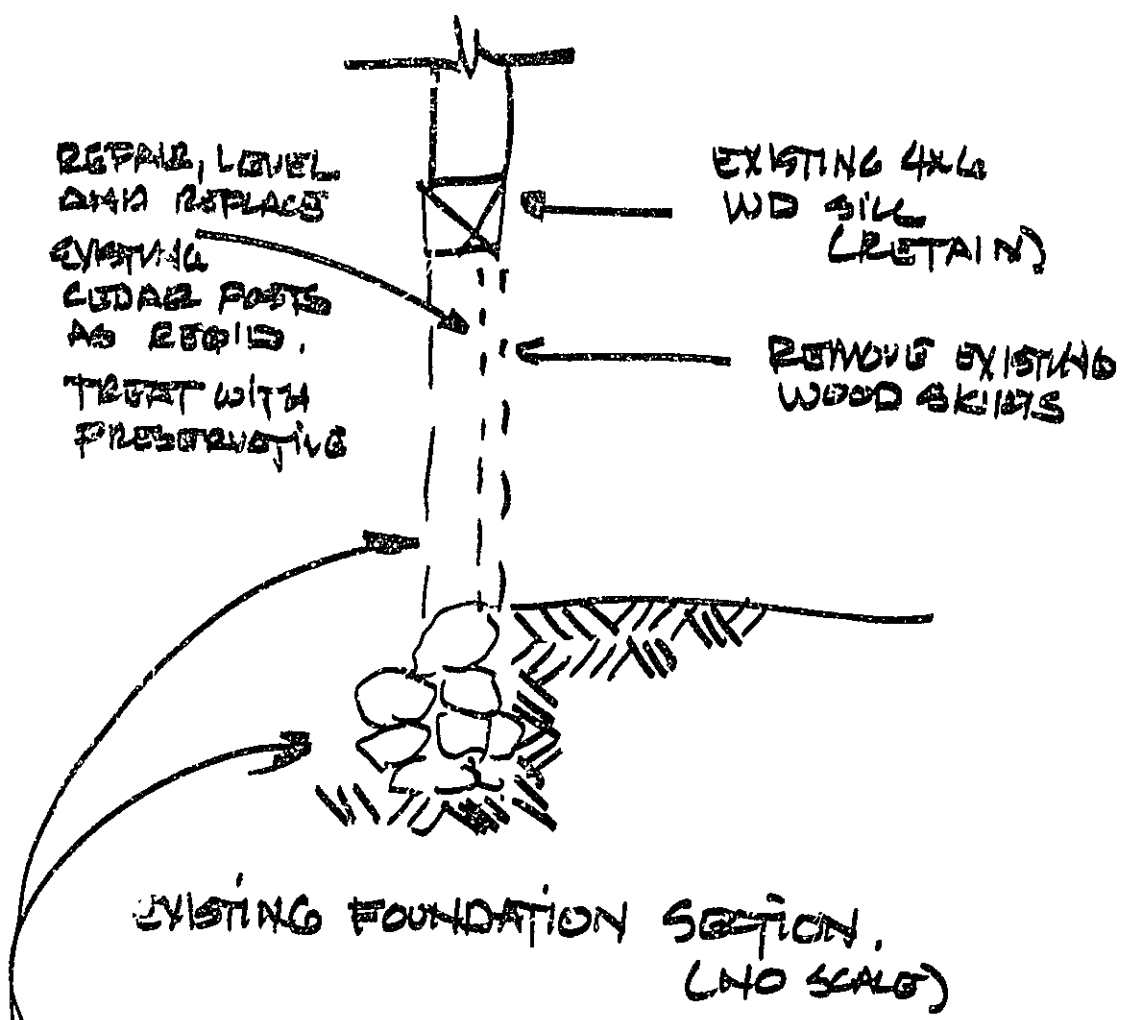
FILE COPY



WILLIAM D. DUKES
Designer

STEVENS ARCHITECTS

A SUBSIDIARY OF EDWARD C. JORDAN CO., INC.
P.O. BOX 7030, DOWNTOWN STATION
PORTLAND, ME. 04112 • 207-775-5401



PROVIDE NEW CONCRETE FOOTING AS REQ'D. LOCATE 4-6" B.F.C. OR ON SUITABLE LEGS INCLUDING TYPICAL FOOTING TO BE 24"x14"x12" PROVIDE 12"x12" PIERS PER POST.

INTELL WITH MASONRY WALL ON CONT. FOOTING, ANCHOR WALL TO POST AND SILL WITH TWO AND ANCHOR BOLTS.

PIERS SHALL BE REPLACED ON AN AS NEEDED BASIS.

RECEIVED
 JUL 19 1979
 DEPT. OF BLDG. INSP
 CITY OF PORTLAND



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 000592

JUL 23 1979

ZONING LOCATION PORTLAND, MAINE, July 19, 1979

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 84-U-3 Torrington Ave. Peaks Island 04108 Fire District #1 [], #2 []
1. Owner's name and address William D. Dukes - same Telephone 766-2636
2. Lessee's name and address Telephone
3. Contractor's name and address Owner Telephone
4. Architect Specifications Plans No. of sheets
Proposed use of building dwelling No. families 1
Last use same No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot 900
Estimated contractual cost \$ Fee \$ 5.50

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling Ext. 234

to repair foundation as per plan 1 sheet of plans.
Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 [x] 2 [] 3 [] 4 []
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant William D. Dukes Phone # same

Type Name of above William D. Dukes 1 [x] 2 [] 3 [] 4 []

FIELD INSPECTOR'S COPY

Other and Address

NOTES

July 30 / 79
6-28-89 - complete (aa)

Permit No.

89/5992

Location

8416-3

Owner

W. Williams, D. Williams

Date of permit

9-19-79

Approved

7-23-79

Chas. S. J.



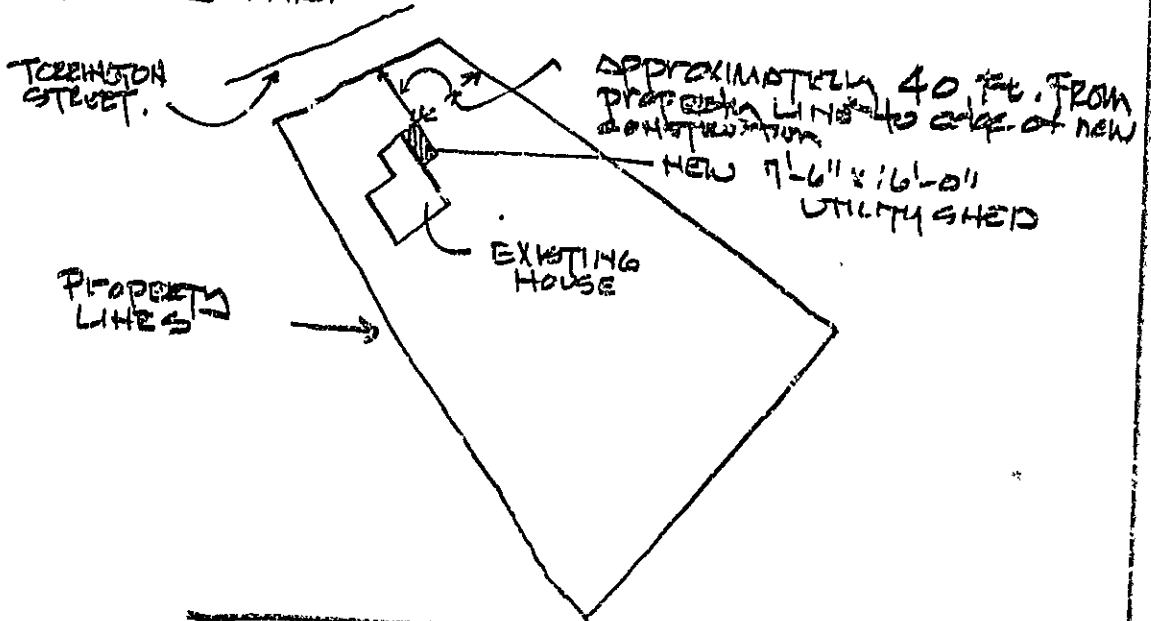
WILLIAM D. DUKES
Designer

STEVENS ARCHITECTS
A SUBSIDIARY OF EDWARD C. JORDAN CO., INC.
P. O. BOX 7050, DOWNTOWN STATION
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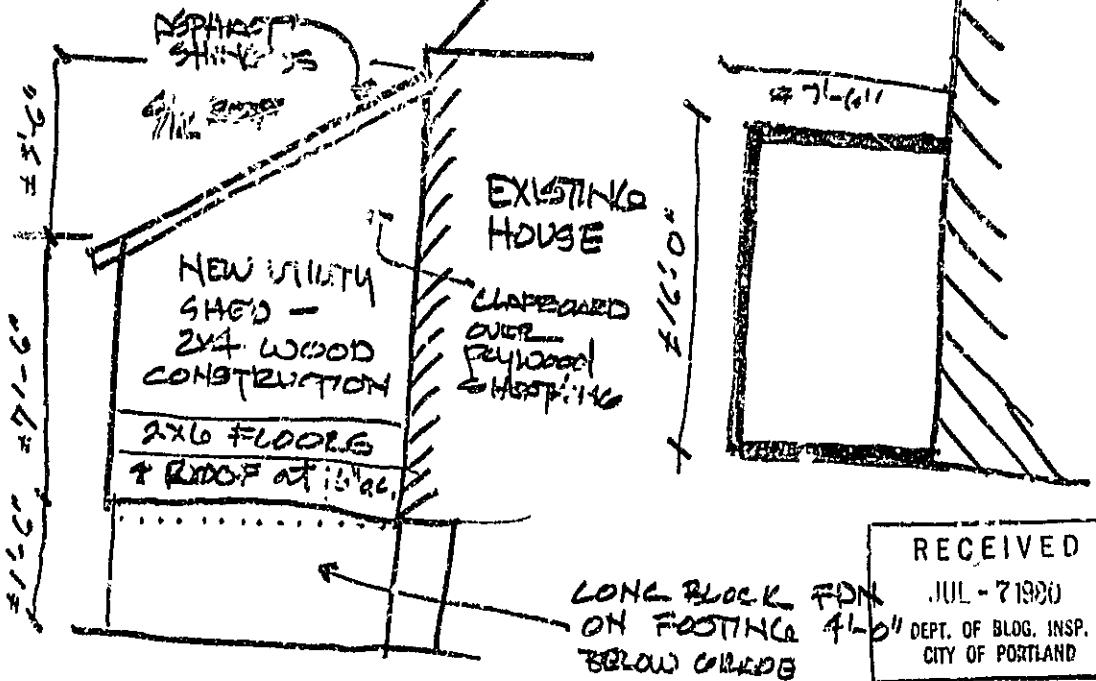
UTILITY SHED CONSTRUCTION

PLOT PLAN

DULES RESIDENCE
PEAKS ISLAND.



CONSTRUCTION PLAN & SECTION



RECEIVED

JUL - 7 1980

DEPT. OF BLDG. INSP.
CITY OF PORTLAND



APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE, July 7, 1980

RECEIVED
JUL - 9 1980
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION B4-U_3 Torrington Ave. Peaks Island Fire District #1 #2

1. Owner's name and address ... William Duke ... same Telephone 766-2636

2. Lessee's name and address Telephone

3. Contractor's name and address ... Owner Telephone

4. Architect Specifications Plans Telephone

Proposed use of building ... dwelling with porch No. of sheets 1

Last use ... same No. families 1

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$... 1,500 Fee \$... 10.00

FIELD INSPECTOR—Mr.

GENERAL DESCRIPTION

This application is for
 Dwelling
 Garage
 Masonry Bldg.
 Metal Bldg.
 Alterations
 Demolitions
 Change of Use
 Other

To erect utility shed, 7'6" x 16"
 as per plans. 1 sheet of plans.
 to set on concrete block foundation
 Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering Kind of heat fuel

No. of chimneys Material of chimneys o' lining Corner posts Sills

Framing Lumber—Kind Dressed or full size? Size Max. on centers

Size Girder Columns under girders Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated ... number commercial cars to be accommodated ..

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION—PLAN EXAMINER

ZONING:

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street? ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Phone # same

Type Name of above William Duke 1 2 3 4

FIELD INSPECTOR'S COPY

Other and Address

NOTES

Co-24-81 - Complete *CC*

Permit No. *84/494*

Location *SY 11-3*

Owner *W. W. ...*

Date of permit *2-2-81*

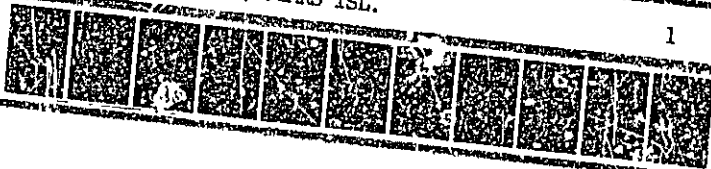
Approved *2-9-80*

CC
Blas Bl.

~~Multiple horizontal lines for notes, crossed out with a large X.~~

84-U-3 TORRINGTON AVE., PEAKS ISL.

1





APPLICATION FOR AMENDMENT TO PERMIT

PERMIT ISSUED

Amendment No. # 1
Portland, Maine, March 14, 1983

MAR 14 1983

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 79-592 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 84-U-3 Torrington Ave. Pks Isl. 04108 Within Fire Limits? Dist. No.

Owner's name and address William D Duker - same Telephone 766-2636

Lessee's name and address Telephone

Contractor's name and address Owner Telephone

Architect Telephone

Proposed use of building dwelling Plans filed No. of sheets

Last use No. families

Increased cost of work 10,000 No. families Additional fee 60.00

Description of Proposed Work

To increase cost of permit fee, and also for additional work being done by Mr. Duker. No plans necessary.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering of lining

No. of chimneys Material of chimneys of lining

Framing lumber—Kind Sills Girt or ledger board? Size

Corner posts Size Columns under girders Size Max. on centers

Girders Size Columns under girders Size Max. on centers

Studs (side walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

1st floor 2nd 3rd roof

1st floor 2nd 3rd roof

1st floor 2nd 3rd roof

Approved

Signature of Owner *William D Duker*

Approved: *[Signature]* Inspector of Buildings

INSPECTION COPY

NEIGHBORHOOD CONSERVATION PROGRAM

SPECIFICATIONS FOR REHABILITATION

PROPERTY AT

TORRINGTON POINT

PEAKS, ISLAND, (84-U-3)

OWNER: WILLIAM D. DUKES

TORRINGTON POINT

PEAKS ISLAND, MAINE

NEIGHBORHOOD CONSERVATION PROGRAM
SPECIFICATIONS FOR REHABILITATION
OF PROPERTY AT
TORRINGTON POINT
PEAKS, ISLAND (84-U-3)

OWNER: WILLIAM D. DUKES
TORRINGTON POINT
PEAKS, ISLAND, MAINE

MARCH 31, 1980

SPECIFICATIONS

VIOLATIONS:

1. EXTERIOR WALLS AND TRIM:
Existing walls and trim shall be scraped of loose and peeling paint, spot primed, and painted one coat of quality paint. Approximately 1600 SF of new Western red cedar clapboard shall be installed over 15# felt underlayment in area specified by owner. Same shall be primed and painted one coat. Note: All loose clapboards shall be renailed, and rotted sections of trim shall be replaced.
2. ROOF AND SKYLIGHTS:
Existing roof shingles shall be removed, sheathing repaired and renailed, flashing replaced, and new Class A fiberglass shingles shall be applied. Two new skylights shall be installed. Same shall be insulated glass. (Style and size to be determined by owner.) Roll roofing shall be installed on the porch. Note: Section of porch roof over bathroom area shall be rebuilt to change pitch to increase headroom. Effected wall and roof areas shall be finished to match existing, inside and out.
3. WINDOWS:
Twelve (12) existing windows shall be removed and replaced with new. Five (5) existing windows shall be removed and opening shall be studded-in and finished inside and out to match surrounding areas. An additional four (4) new windows shall be installed in locations specified by owner. All new window units shall be Andersen Permasield Casement units with insulating glass and screens, and shall have all inside and outside casing installed.
4. FOUNDATION AND EXCAVATION:
House shall be jacked-up and made level. Foundation area shall be excavated according to owners specifications, and new footings shall be poured. New foundation walls shall be built of 8x8x16" concrete block (approx. 147 lin. ft.). New posts, sills, and louvers shall be installed per owners specifications, and styrofoam insulating panels shall be installed on all outside walls of foundation. Detailed drawings and specifications available for use in loan file at Neighborhood Conservation office.
5. REMAINING VIOLATIONS:
An allowance of \$750.00 is included in contract price to correct remaining violations, including electrical relocation, plumbing replacements, and miscellaneous cosmetic repairs.

SPECIFICATIONS

GENERAL NOTES

1. All measurements are approximate and are to be verified by the Contractor.
2. All materials having color or pattern shall be selected by the Owner.
3. All work shall be performed by licensed journeyman mechanics or better where required. Quality of work shall be journeyman level or better for any work performed.
4. The premises shall be kept clean and orderly during the course of the work and remove all debris at the completion of the work.
5. All needed permits shall be purchased by the Contractor.
6. Workmanship and materials not covered by manufacturers warranty shall be covered by Contractors guarantee for a period of at least one year from date of final acceptance of all work required by the Contract.
7. All work shall conform to the Code of the City of Portland.

NOTE: No lead base paint can be used that exceeds 1 per centum lead by weight as required by circular H.P.M.C.-F.H.A.-4500.S.

Signed: Donald C. Henderson
Rehabilitation Specialist

The following work is necessary to the structure at Torrington Point, P.I. to bring the property into Code Compliance with Chapter 307 of Minimum Standards for Housing, City of Portland, Maine.

NOTE: INSTALL SHALL MEAN FURNISH AND INSTALL, UNLESS OTHERWISE SPECIFIED.

ATTENTION-PROPERTY OWNER

It is to be clearly understood that the City of Portland is acting only as an escrow agent in the rehabilitation of your property. (Deposit funds pay contractor as work progresses). The City does not guarantee the performance of your contractor or the quality of his work. The City will not furnish counsel in disputes between the property owner and the contractor and the City will not be responsible to make any repairs or replacements at a later date.

So that there will not be any misunderstanding at a later date as to omissions, type of work, amount of work or the amount of money to be paid to the contractor, you are required to read, in detail, and sign your specifications before the work begins.

If the specifications are modified after work starts, the change should be in writing as to the dollar amount involved and what the replacement will be.

DATED: 4.1.80

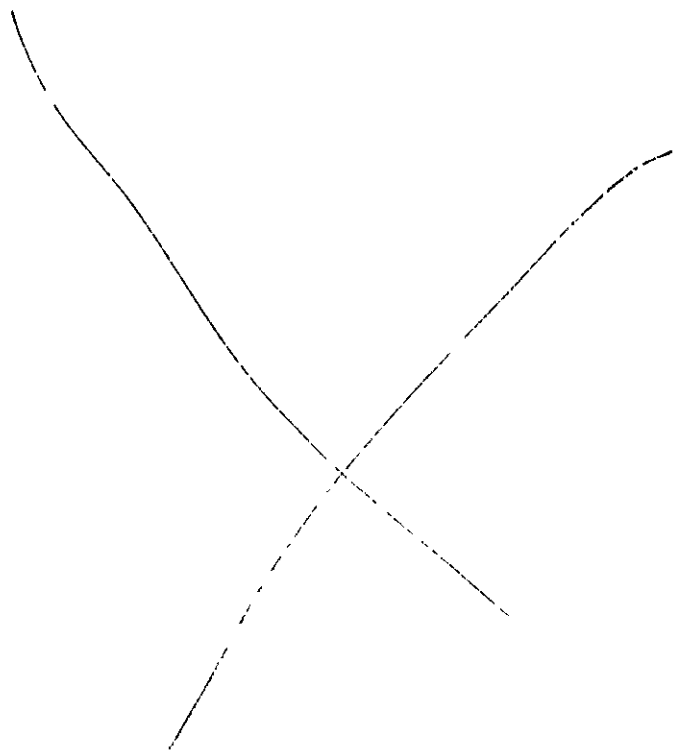
William Stokes
HOMEOWNER

Donald A. Donovan
REHABILITATION SPECIALIST

HOMEOWNER

3-16-83 - Checked out. WIP/OK
5-5-83 - WIP/OK
9-20-83 - WIP/OK
1-18-84 - Complete OK

aa
aa
aa
aa





CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

October 14, 1983

Mr. Paul Degnan
4100 First Avenue North
St. Petersburg, Florida 33713

cc: Mr. Edward Casey
Island Avenue
Peaks Island, Me.

Re: Upper A Street, Peaks Island

Dear Mr. Degnan:

As a result of a fire on 5-9-83, an inspection was made at this property, whereas, you are listed as present owner. I met with contractor Edward Casey to discuss what we require to bring this property up to code pertaining to structural stability. It appears that 70% of all support members are burned beyond safe use. Ears, floor joists, girder are damaged beyond use, ridge-pole burned away and rafters included. Collapse of roof is imminent.

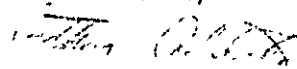
Please be advised that this building is considered, in our opinion, to be an unsafe structure and all measures are to be taken to secure the premises until such time that these hazards are removed.

It is our opinion that this property is not economically feasible to repair and we suggest you consider demolishing same as a progressive approach.

Results of this inspection are derived from the BOCA Building Code of 1981, Section 120.3, for unsafe structures and the Municipal Code of the City of Portland, Maine, Section 6.120.

Please keep us advised on your intentions, and if we can be of any further service, please don't hesitate to call this office.

Very truly yours,


Arthur Addato
Code Enforcement Officer

P. Samuel Hoffses, Chief of Insp. Services

AA/jmr



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

October 14, 1983

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St. Petersburg, Florida 33713

cc: Mr. Edward Casey
Island Avenue
Peaks Island, Me.

Re: Upper A Street, Peaks Island

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