

TORRINGTON AVENUE PEAKS ISLAND  
84-T-1



R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

NOV 29 1972

01437

CITY of PORTLAND

Class of Building or Type of Structure

Portland, Maine,

Nov. 17, 1972

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location: H-1-3, Scarborough Point, Peaks Island
Owner's name and address: Eleanor Stevens, same
Proposed use of building: dwelling
Estimated cost \$: 4,000.

General Description of New Work

To construct 16'x10' addition on left hand side of existing dwelling

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work?
Is any electrical work involved in this work?
Height average grade to top of plate: 8'
Height average grade to highest point of roof: 14'

If a Garage

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Eleanor Stevens

CS 301

FILE COPY

Signature of owner

By: Douglas E. Talone

**PERMIT TO INSTALL PLUMBING**

*Peak's Island* **14584**

Date Issued 10-14-64  
**PORTLAND PLUMBING INSPECTOR**  
 By J. P. Welch

Address Torrington Point **PERMIT NUMBER**  
 Installation For: George Clem Stoddard Sub-1  
 Owner of Bldg. George Clem Stoddard  
 Owner's Address: Same

Plumber: Harold F. Bent Date: 10-14-64

**APPROVED FIRST INSPECTION**

Date 10-29-64

By J. P. Welch

**APPROVED FINAL INSPECTION**

Date JOSEPH P. WELCH

By JOSEPH P. WELCH  
**CHIEF PLUMBING INSPECTOR**

- TYPE OF BUILDING
- COMMERCIAL
  - RESIDENTIAL
  - SINGLE
  - MULTI FAMILY
  - NEW CONSTRUCTION
  - REMODELING

NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	FEE
		SINKS		
		LAVATORIES		
	1	TOILETS	1	\$ 2.00
		BATH TUBS		
		SHOWERS		
		DRAINS		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (Conn. to house drain)		

PORTLAND HEALTH DEPT. PLUMBING INSPECTION **TOTAL ▶ \$ 2.00**



# APPLICATION FOR PERMIT

**PERMIT ISSUED**  
00332  
APR 6 1965  
**CITY of PORTLAND**

Class of Building or Type of Structure Third-Class PORTLAND, MAINE, April 6, 1965

To the INSPECTOR OF BUILDINGS, Portland, Me.

The undersigned hereby applies for a permit to repair or renew roof covering of the following described building in accordance with the laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Torrington Point, Peaks Island (84-T-1) Telephone \_\_\_\_\_  
Owner's name and address Edward C. Stoddard, Peaks Island Telephone \_\_\_\_\_

Contractor's name and address Roland Hoar, Peaks Island Telephone \_\_\_\_\_  
Use of building Present Dwelling Proposed \_\_\_\_\_ Dwelling \_\_\_\_\_

No. of Stories 1 1/2 Style of roof pitch Type of present roof covering asphalt  
Type and Grade of roofing to be used Class C Und. Lab. asphalt No. plies \_\_\_\_\_

GENERAL DESCRIPTION NEW WORK

To cover entire roof

Edward C. Stoddard

Signature of Owner By: \_\_\_\_\_

Fee \$ .50

INSPECTION COPY

CU 18-42 Marks



RESIDENCE ZONE  
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class  
Portland, Maine, August 31, 1964

PERMIT ISSUED  
01148  
SEP 8 1964  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish in all the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, subm. herewith and the following specifications:

Location Torrington Point, Peaks Island 84-7-1 Within Fire Limits? \_\_\_\_\_ Dist. No. \_\_\_\_\_  
Owner's name and address Edward G. Stoddard, Peaks Island Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address Roland Hoar, Peaks Island Telephone \_\_\_\_\_  
Architect \_\_\_\_\_ Specifications \_\_\_\_\_ Plans no No. of sheets \_\_\_\_\_  
Proposed use of building Dwelling No. families 1  
Last use \_\_\_\_\_ No. families 1  
Material frame \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot \_\_\_\_\_  
Estimated cost \$ 125. Fee \$ 3.00

General Description of New Work

To partition off toilet room in ell of building and cut in new window  
2x3 studs, 16" o.c., sheetrock

To close up two windows and door in existing sunporch

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Roland Hoar

Details of New Work

Is any plumbing involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
Is connection to be made to public sewer? \_\_\_\_\_ If not, what is proposed for sewage? \_\_\_\_\_  
Has septic tank notice been sent? \_\_\_\_\_ Form notice sent? \_\_\_\_\_  
Height average grade to top of plate \_\_\_\_\_ Height average grade to highest point of roof \_\_\_\_\_  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_ cellar \_\_\_\_\_  
Kind of roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing Lumber—Kind \_\_\_\_\_ Dressed or full size? \_\_\_\_\_ Corner posts \_\_\_\_\_ Sills \_\_\_\_\_  
Size Girder \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4 5" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated? \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED:

M. E. M.

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes  
Edward Stoddard

CS 301

INSPECTION COPY

Signature of owner By:

Roland Hoar

P.H.

NOTES

9/4/69 - No map. No ch. 28.8

K

Permit No.

64111/90 P.D.

Location

Farmington Park, Vermont

Owner

Edmund G. Bellows

Date of permit

9/9/69

Notif. closing in

Inspn. closing in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice





NO REFERENCE TO BE MADE

# APPLICATION FOR PERMIT

Class of Building or Type of Structure. Third Class

Portland, Maine, March 19, 1958

PERMIT ISSUED

00254

MAR 20 1958

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect all ~~repair-demolish-install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Torrington Point Peaks Island Mo, 2 1/2 mi. W. Within Fire Limits Dist. No.         

Owner's name and address Edward C Stoddard, Torrington Point Peaks Island Me Telephone PO-6-2758

Lessee's name and address          Telephone         

Contractor's name and address Roland Hoar, Avenue House Peaks Island Telephone         

Architect          Specifications          Plans YJS No of sheets 3

Proposed use of building Dwelling No. families 1

Last use          No. families 1

Material frame No. stories 1 1/2 Heat          Style of roof          Roofing         

Other building on same lot         

Estimated cost \$ 500.00 Fee \$ 2.00

### General Description of New Work

To construct 3' x 7 1/2' addition on rear of dwelling; as per plan

INSPECTION NOT COMPLETED  
5/3/60

Permit Issued with Letter:

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and at the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

### Details of New Work

Is any plumbing involved in this work? no Is any electrical work involved in this work? yes

Is connection to be made to public sewer?          If no, what is proposed for sewage?         

Has septic tank notice been sent?          Form notice sent?         

Height average grade to top of plate 9' Height average grade to highest point of roof 10'

Size, front 7 1/2' depth 3' No. stories 1 solid or filled land? solid earth or rock? earth

Material of foundation cement piers Thickness, top 9" bottom 9" cellar no

Material of underpinning          Height          Thickness         

Kind of roof shed Rise per foot 1 1/2" Roof covering Asphalt Class C Und. Lab.

No. of chimneys          Material of chimneys          of lining          Kind of heat          fuel         

Framing lumber—Kin. hemlock Sills box Girt or ledger board?          Size         

Corner posts 3-2x4 Girders          Size          Max. on centers         

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2x6, 2nd 2x4 ceiling, roof 2x6

On centers: 1st floor 16", 2nd 16" timbers, roof at 16"

Maximum span: 1st floor 7', 2nd         , 3rd         , roof 7 1/2"

If one story building with masonry walls, thickness of walls?          height?         

### If a Garage

No. cars now accommodated on same lot         , to be accommodated          number commercial cars to be accommodated         

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?         

APPROVED:

*with letter by AG*

### Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Edward C Stoddard

Roland Hoar

*Roland Hoar*

COPY

Signature of owner by:         

C16-234-1M-Mark

FM





AR-Torrington Point, Peaks Island (84-T-1)

March 20, 1958

Mr. Roland S. Hear  
Avenue House  
Peaks Island, Maine

cc to: Mr. Edward C. Stoddard  
Torrington Point  
Peaks Island, Maine

Dear Mr. Hear:

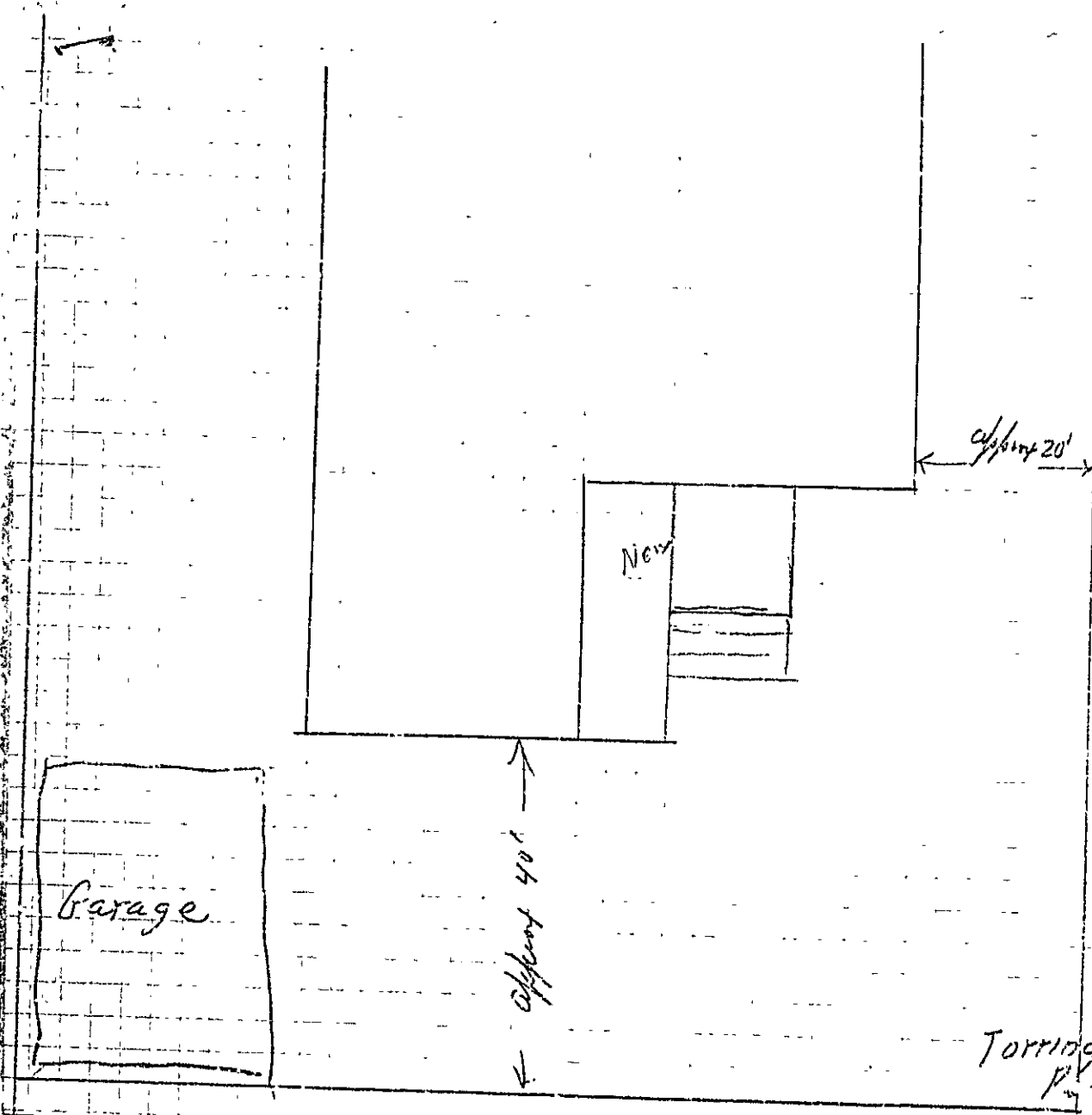
Building permit for construction of a one story addition and covered platform and steps on rear of dwelling at the above named location is issued herewith based on plans filed with application for permit, but subject to the following conditions:

1. Concrete piers supporting platform and addition are to be no less than 8 inches square or 9 inches in diameter if cylindrical.
2. Since addition is to be supported on piers, box type sill construction is not permissible. Permit is therefore issued on basis that all sills will be no less than 4 x 6, all one piece in cross section (not made up of two pieces of 2 x 6), set with the 6 inch dimension upright, and with floor timbers either resting on top of sills or notched over 2 x 3 nailing strips spiked to sides of sills.

Very truly yours,

Albert J. Sears  
Deputy Inspector of Buildings

AJS/JS



RECEIVED  
MAR 19 1959  
DEPT. OF BLD'G. INSP.  
CITY OF BOSTON

Torrington, Pt.  
Parks Island

OFFICE QUALIFIED  
 DESIGNER  
 1954 TO 1957  
**RECEIVED**

EXISTING ROOF

ROLL ROOFING BOARDING

2" x 6" RAFTERS

3/8" sheetrock

CORNICE SECTIONS  
SCALE 1/2" = 1'-0"

EXISTING CORNICE

ROLL ROOFING

EXISTING WALL

BRICK BRICK

BRICK SIDING

RETURN AT LEAST

NORTH ELEVATION

KITCHEN

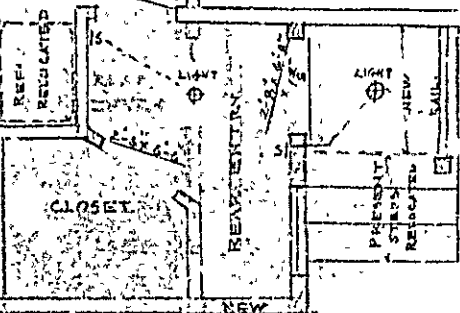
WEST ELEVATION

8" cement piers

SUGGESTION FOR  
 NEW KITCHEN ENTRANCE  
 SCALE 1/4" = 1'-0"

MR. EDW. C. STODDARD  
 TORRINGTON POINT  
 PEAKS ISLAND  
 SEPTEMBER, 1957

REVISED FLOOR PLAN SCALE 1/4" = 1'-0"





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, 12/6/50

RECEIVED 02395 DEC 9 1950 CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Torrington Point, P. I. Use of Building Dwelling No Stories
Name and address of owner of appliance Edward G. Stoddard, Torrington Point, Peaks Island
Installer's name and address Randall & McAllister, Portland, Maine Telephone

General Description of Work

To install Timken Silent Automatic Rotary Maj. Flame Burner complete with tank and gravity warm air.

IF HEATER, OR POWER BOILER

Location of appliance or source of heat cellar Type of floor beneath appliance cement
If wood, how protected?
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Timken Rotary Labelled by underwriters' laboratories? yes
Will operator be always in attendance? no Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner cement
Location of oil storage cellar Number and capacity of tanks 1 - 250-275 gallon
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flume? yes How many tanks fire proofed? none
Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smoke pipe
Size of chimney flue Other connections to same flue
Is hood to be provided? how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Capacity of tank will be between 250 and 275
RECEIVED DEC 9 1950

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED [Signature]

Will these be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Installer Randall & McAllister

INSPECTION COPY

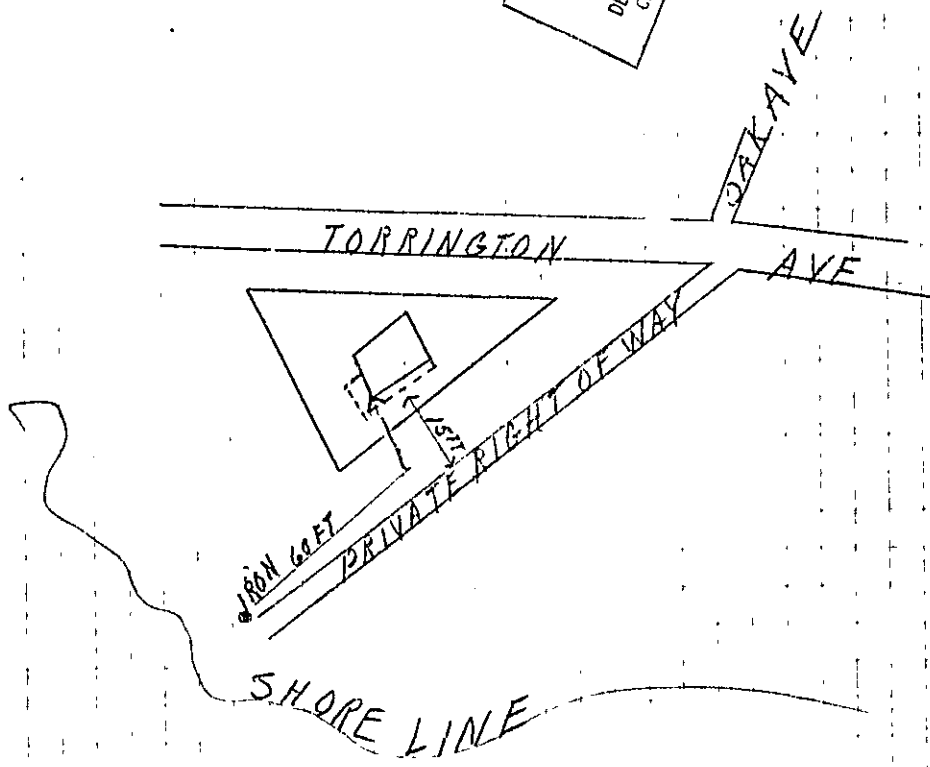
Permit No. 50/2395 12.21.50  
 Location Farrington Pt. Peabody  
 Owner Edward C. Stoddard  
 Date of permit 12/9/50  
 Approved INSPECTION NOT COMPLETED

NOTES

- 1 Fuel Pipe
- 2 Vent Pipe
- 3 Kind of Heat
- 4 Burner Capacity & Support
- 5 Name & Issue
- 6 Slack Control
- 7 High Pressure Control
- 8
- 9
- 10
- 11 Capacity of Tanks
- 12 Tank Re. or Support
- 13 Tank Ins. Rec.
- 14 Oil Gauge
- 15 Instruction Card
- 16

Handwritten notes and a large diagonal line across the lined area.

RECEIVED  
OCT 20 1945  
DEPT OF BLDG. INSP.  
CITY OF BOSTON, MASS.  
71-1112



81-7-1  
Torrington Ave  
and  
Oak Ave



STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for Sum Parlor  
at Parade Island Me Date Oct. 20, 1944

1. In whose name is the title of the property now recorded? Mr. Fred L. Brackett
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? Survey Stakes
3. Is the outline of the proposed work now staked out upon the ground? yes If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? \_\_\_\_\_
4. What is to be maximum projection or overhang of eaves or drip? 19"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

W. L. Snowdale



(A) APARTMENT HOUSE ZONE  
APPLICATION FOR PERMIT

PERMIT ISSUED

1446  
OCT 28 1945

Class of Building or Type of Structure Third Class

Portland, Maine, October 18, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. Plan received 10/20/45

The undersigned hereby applies for a permit to ~~erect~~ alter ~~reconstruct~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Torrington Avenue, Peaks Island (84-T-1, 2, 3) Within Fire Limits? no Dist. No. \_\_\_\_\_  
Owner's name and address Mrs. Fred L. Brackett, 29 Lathon St., So. Portland Telephone \_\_\_\_\_  
Lessee's name and address \_\_\_\_\_ Telephone \_\_\_\_\_  
Contractor's name and address T. L. Snowdale, Oakland Ave., Peaks Island Telephone 115-4  
Architect \_\_\_\_\_ Specifications none Plans yes No. of sheets 1  
Proposed use of building Dwelling No. families 1  
Last use \_\_\_\_\_ No. families 1  
Material frame No stories 2 Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
Other buildings on same lot garage and cottage  
Estimated cost \$ 600. Fee \$ 2.00

General Description of New Work

To demolish existing piazza <sup>6x12</sup> 12'x28' on front and side of building and to construct sunparlor 8'x28'x12'.

CERTIFICATE OF OCCUPANCY  
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? no Is any electrical work involved in this work? no  
Height average grade to top of plate 8' Height average grade to highest point of roof 10'  
Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories 1 solid or filled land? solid earth or rock? earth  
Material of foundation concrete piers at least 4' below grade or to ledge Thickness, top 10" bottom 10" cellar no  
Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
Kind of roof flat Rise per foot 3" Roof covering asphalt roofing Class C Und. Lab.  
No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_ Kind of heat \_\_\_\_\_ fuel \_\_\_\_\_  
Framing lumber—Kind hemlock 6" upright Dressed or full size? dressed  
Corner posts 4x4 Sills 4x6 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
Girders \_\_\_\_\_ Size \_\_\_\_\_ Columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
Joists and rafters: 1st floor 2x6 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 2x6  
On centers: 1st floor 16" 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 16"  
Maximum span: 1st floor 8' 2nd \_\_\_\_\_ 3rd \_\_\_\_\_ roof 8'  
If one story building with masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

If a Garage

No. cars now accommodated on same lot \_\_\_\_\_, to be accommodated \_\_\_\_\_ number commercial cars to be accommodated \_\_\_\_\_  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

APPROVED

Miscellaneous

Will work require disturbing of any tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mrs. Fred Brackett

Signature of owner By T. L. Snowdale

INSPECTION COPY





Permit No. 9805

# APPLICATION FOR PERMIT TO REPAIR BUILDING

Third Class Building

12 1943

Portland, Maine, April 12, 1943

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to repair the following described building in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Torrington Pt., Peaks Island Within fire limits? no Dist. No. \_\_\_\_\_  
 Owner's name and address Arthur Prickett Torrington Point, Peaks Telephone no  
 Contractor's name and address Owner Telephone \_\_\_\_\_  
 Use of building dwelling house 1 family  
 No. stories 2 1/2 Style of roof pitch Type of present roof covering wood

## General Description of New Work

84-N-13

To cover entire roof

## If Roof Covering is to be Repaired or Renewed

Is any plumbing work involved in this work? \_\_\_\_\_ Is any electrical work involved in this work? \_\_\_\_\_  
 Are repairs or renewal due to damage by fire? no If so, what area damaged? \_\_\_\_\_ sq. ft.  
 Area of roof to be repaired now? entire \_\_\_\_\_ sq. ft.  
 Type of roofing to be used asphalt roofing No. plies \_\_\_\_\_  
 Trade name and grade of roof covering to be used Class C Ynd. Lab.  
 Estimated cost \$ \_\_\_\_\_ Fee \$ .50

Signature of owner Arthur C. Prickett  
for owner

INSPECTION COPY

32-111



File Rec. 8456B-1

December 15, 1936

Mr. Fred L. Brackett,  
Peaks Island,  
Maine

Dear Mr. Brackett:

Enclosed is the building permit covering construction of your two-car garage facing on Torrington Avenue on Peaks Island.

Due to the fact that Torrington Avenue is not an accepted city street and that the lines of it are not marked on the ground, our inspector was not able to check satisfactorily the location of the proposed garage.

As explained to your son the Zoning Law provides that the front of this garage is to be at least 15 feet from the side line of Torrington Avenue which is the line between the Avenue and your property.

The permit is being issued, nevertheless, because it does not seem necessary that you be required to have your lot surveyed before the permit is issued. Should it turn out, however, after the garage is built that the front of it is actually less than 15 feet from Torrington Avenue, it would then be necessary to relocate the garage to satisfy the precise requirements of the Law.

Very truly yours,

Inspector of Buildings



TORRINGTON AVE

Cottage  
Foundation

15'  
Prop.  
Garage  
18'

D.

Shore

Proposed Garage for Fred B.  
Brachett - Peabody

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for 2 car garage

at Torrington Ave Peaks Island

Date 12/14/26

1. In whose name is the title of the property now recorded? F. L. Brackett
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? yes
3. Is the outline of the proposed work now staked out upon the ground? yes If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced?
4. What is to be maximum projection or overhang of eaves or drip? 6 in
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

D. G. Brackett



# APPLICATION FOR PERMIT

Permit No. 245100

Class of Building or Type of Structure Third Class DEC 15 1933

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, December 14, 1933

The undersigned hereby applies for a permit to erect ~~and install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Torrington Avenue, Peaks Island Ward 1st, 2 Within Fire Limits? no Dist. No. \_\_\_\_\_

Owner's or lessee's name and address Fred L. Brackett, Peaks Island Telephone \_\_\_\_\_

Contractor's name and address Donald Crandall, Luther St. Peaks Telephone \_\_\_\_\_

Architect's name and address \_\_\_\_\_ Telephone \_\_\_\_\_

Proposed use of building 2 car garage No. families \_\_\_\_\_

Other buildings on same lot \_\_\_\_\_ No. families \_\_\_\_\_

Plans filed as part of this application? yes No. of sheets 1

Estimated cost \$100. Fee \$ 50

### Description of Present Building to be Altered

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_

Last use \_\_\_\_\_ No. families \_\_\_\_\_

### General Description of New Work

To erect 2 car frame garage 18' x 24'  
Out side walls to be covered with novelty siding

NOTIFICATION BEFORE LATHING

CERTIFICATE OF OCCUPANCY

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

### Details of New Work

Material spruce and hexlock Full size Height average grade to top of plate 2'

Size, front 18' depth 24' No. stories 1 Height: average grade to highest point of roof 14'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation block piers below frost Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of Roof pitch Rise per foot 3" Roof covering asphalt roofing Class C 7th. Lab.

No. of chimneys no Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_

Kind of heat no Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_

Corner posts 4x4 Sills 4x8 Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_

Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O. C. rafters 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section

Joists and rafters: 1st floor gravel, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 2x6

On centers, 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof 18"

Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_

If one story building with masonry walls, thickness of walls: \_\_\_\_\_ height? \_\_\_\_\_

### If a Garage

No. cars now accommodated on same lot none, to be accommodated 2

Total number commercial cars to be accommodated 1

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

### Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Fred L. Brackett

INSPECTION COPY Wm. W. Young By \_\_\_\_\_  
CHIEF OF FIRE DEPT.

D. J. Bandy

Ward 2 p. 2 Permit No. 36/2151  
Locat<sup>n</sup> Toringhale Park  
Owner Fred L. Brackett  
Date of permit 12/15/36  
Notif. closing-in 94  
Inspn. closing-in 7  
Final Notif. 1  
Final Inspn. 8/2/37, with  
Cert of Occupancy issued 5/18/37

NOTES

~~12/15/36. Structure very  
indefinite, only marking  
is in old stone walls. Revisi-  
ing this wall and its  
general direction to be  
correct this garage is at  
least 20' from Toringhale  
Ave. At the time of this  
checking, which was  
before the permit was  
issued, the sill were  
laid and the corner posts  
up. Mr. L. Brackett and  
Mr. Crandall, the con-  
tractor, refused to stop  
work saying Mr. Donald  
told them it was alright  
to start before receiving  
the permit. Mr. Donald  
did not give this permission.  
OK~~

2/12/37. Framed and  
boarded. Roofing  
and siding notes, etc.  
1/27/37. Same, etc.  
2/25/37. Same, etc.  
4/9/37. Same, etc.  
8/2/37. Work done. 100%  
done, etc.



IN AN APARTMENT HOUSE ZONE  
**APPLICATION FOR PERMIT**  
**PERMIT ISSUED 1695**

Permit No. \_\_\_\_\_

Class of Building or Type of Structure Third Class

Portland, Maine, October 9, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.:

The undersigned hereby applies for a permit to erect-alter-install the following building structure-equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans or specifications if any, submitted herewith and the following specifications:

Location Torrington Pt., Peaks Island Ward Isl. 2 Within Fire Limits? NO Dist. No. \_\_\_\_\_  
 Owner's or Lessee's name and address F. L. Brackott, Peaks Island Telephone \_\_\_\_\_  
 Contractor's name and address George Keating, Peaks Island Telephone NO  
 Architect's name and address \_\_\_\_\_  
 Proposed use of building Dwelling No. families \_\_\_\_\_  
 Other buildings on same lot none  
 Plans filed as part of this application? no No. of sheets \_\_\_\_\_  
 Estimated cost \$ 100. Fee \$ .50

**Description of Present Building to be Altered**

Material Frame No. stories 2 Heat hot air Style of roof \_\_\_\_\_ Roofing \_\_\_\_\_  
 Last use Dwelling No. families \_\_\_\_\_

**General Description of New Work**

To retail existing fireplace.

NOTIFICATION BEFORE LATHING  
 OR CLOSING IN IS WAIVED  
 CERTIFICATE OF INSURANCE  
 REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

**Details of New Work**

Size, front \_\_\_\_\_ depth \_\_\_\_\_ No. stories \_\_\_\_\_ Height average grade to top of plate \_\_\_\_\_  
 Height average grade to highest point of roof \_\_\_\_\_  
 To be erected on solid or filled land? \_\_\_\_\_ earth or rock? \_\_\_\_\_  
 Material of foundation \_\_\_\_\_ Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_  
 Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_  
 Kind of Roof \_\_\_\_\_ Rise per foot \_\_\_\_\_ Roof covering \_\_\_\_\_  
 No. of chimneys \_\_\_\_\_ Material of chimneys \_\_\_\_\_ of lining \_\_\_\_\_  
 Kind of heat hot air Type of fuel \_\_\_\_\_ Is gas fitting involved? \_\_\_\_\_  
 Corner posts \_\_\_\_\_ Sills \_\_\_\_\_ Girt or ledger board? \_\_\_\_\_ Size \_\_\_\_\_  
 Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
 Joists and rafters: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 On centers: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 Maximum span: 1st floor \_\_\_\_\_, 2nd \_\_\_\_\_, 3rd \_\_\_\_\_, roof \_\_\_\_\_  
 If one story building what masonry walls, thickness of walls? \_\_\_\_\_ height? \_\_\_\_\_

**If a Garage**

No. cars now accommodated on same lot \_\_\_\_\_ to be accommodated \_\_\_\_\_  
 Total number commercial cars to be accommodated \_\_\_\_\_  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? \_\_\_\_\_

**Miscellaneous**

Will above work require removal or disturbing of any shade tree on a public street? no  
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining hereto are observed? yes

Signature of owner By: F. L. Brackott  
George Keating

INSPECTION COPY

1964

Ward D. 2 Permit No. 96/1695

Location Brimington St. Peabody

Owner F. R. Brickett

Date of permit 10/9/36

Notif. closing-in

Inspn. closing-in

Final Notif. None

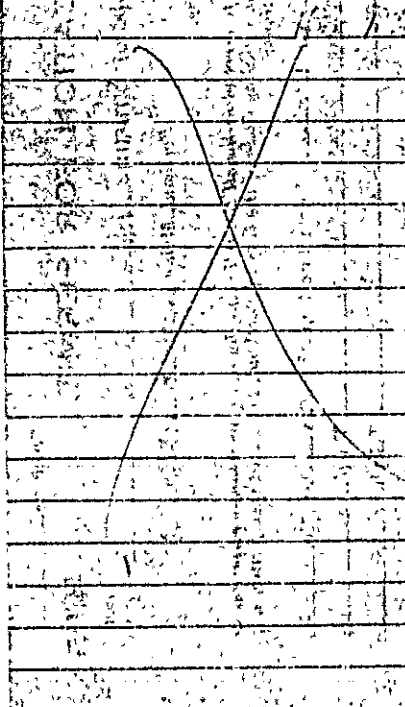
Final Inspn. 8/1/37 C.R.

Cert. of Occupancy issued None

NOTES

84

11







Location, Ownership and detail must be correct, complete and legible.  
 Separate application required for every building.  
 Plans must be filed with this application.

# Application for Permit for Alterations, etc.

To the INSPECTOR OF BUILDINGS: Portland, October 21, 1921 192

The undersigned applies for a permit to alter the following described building:—

Location Peaks Island Ward, 1 in fire-limits? no  
 Name of Owner or Lessee Mrs. Lucy Hadlock Address Peaks Island  
 " Contractor, Charles Ross " Peaks Island  
 " Architect \_\_\_\_\_ " \_\_\_\_\_

Description of Present Bldg.

Material of Building is wood Style of Roof, pitch Material of Roofing, shingle  
 Size of Building is 32ft feet long; 14ft feet wide. No. of Stories, 1 1/2  
 Cellar Wall is constructed of posts is \_\_\_\_\_ inches wide on bottom and batters to \_\_\_\_\_ inches on top.  
 Underpinning is \_\_\_\_\_ is \_\_\_\_\_ inches thick; is \_\_\_\_\_ feet in height.  
 Height of Building 12ft Wall, if Brick; 1st, \_\_\_\_\_ 2d, \_\_\_\_\_ 3d, \_\_\_\_\_ 4th, \_\_\_\_\_ 5th, \_\_\_\_\_  
 What was Building last used for? cottage No. of Families? 1  
 What will Building now be used for? same

## DETAIL OF PROPOSED WORK

to build tile line chimney all to comply with the building ordinance

Estimated Cost \$ 50.

## IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? \_\_\_\_\_; No. of feet wide? \_\_\_\_\_; No. of feet high above sidewalk? \_\_\_\_\_  
 No. of Stories high? \_\_\_\_\_; Style of Roof? \_\_\_\_\_; Material of Roofing? \_\_\_\_\_  
 Of what material will the Extension be built? \_\_\_\_\_ Foundation? \_\_\_\_\_  
 If of Brick, what will be the thickness of External Walls? \_\_\_\_\_ inches; and Party Walls \_\_\_\_\_ inches.  
 How will the extension be occupied? \_\_\_\_\_ How connected with Main Building? \_\_\_\_\_

## WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised, or Built upon? \_\_\_\_\_ Proposed Foundations \_\_\_\_\_  
 No. of feet high from level of ground to highest part of Roof to be? \_\_\_\_\_  
 How many feet will the External Walls be increased in height? \_\_\_\_\_ Party Walls \_\_\_\_\_

## IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? \_\_\_\_\_ in \_\_\_\_\_ Story  
 Size of the opening? \_\_\_\_\_ How protected? \_\_\_\_\_  
 How will the remaining portion of the wall be supported? \_\_\_\_\_

Signature of Owner or Authorized Representative.

Lucy Hadlock

Address \_\_\_\_\_

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

Peaks Island.

*Washington Ave*

*Miss Lucy Halliday  
Peaks Island*

*84-T-7-R*

**FINAL REPORT**

192

Has the work been completed in accordance with this application and plans filed and approved?

Law been violated? Doc. No. of 192

Nature of violation?

Violation removed, when? 192

Estimated cost of alterations, etc., \$

PERMIT GRANTED

October 21, 1921 192

Permit filled out by

Permit number

Location Peaks Island

Inspector of Buildings

1. PERMIT GRANTED FOR WORK

THIS PERMIT IS VALID FOR THE WORK DESCRIBED HEREIN ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.