Inspection copy

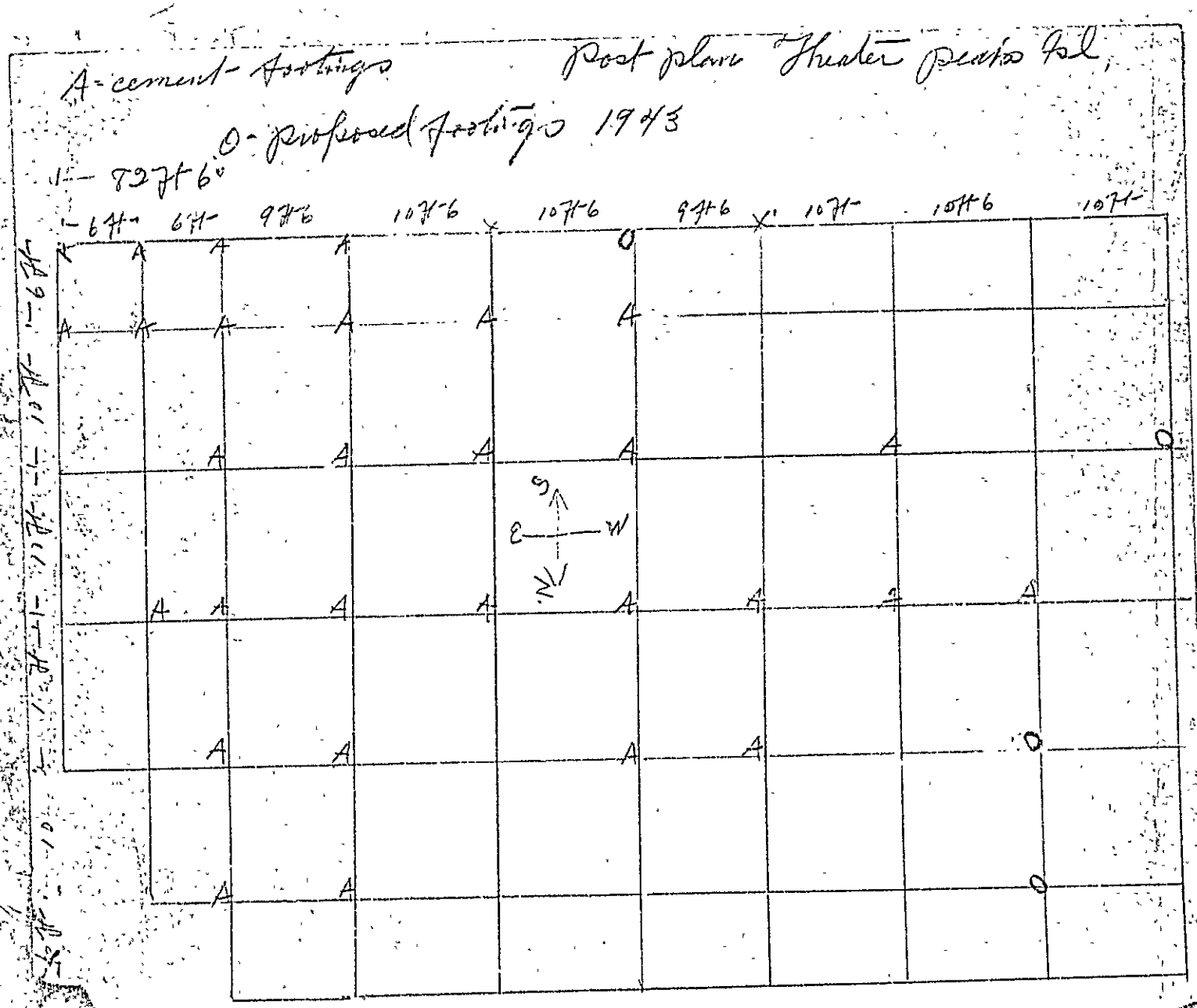
BP: 44/443

out

6/1/50

A - cement footings Post plan Theater Peaks Isl.

O - proposed footings 1943



(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Permit No. 0593

Class of Building or Type of Structure ~~Third Class~~

21 1943

Portland, Maine, June 21, 1943

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building ~~structure equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island (Greenwood Garden) Within Fire Limits? no Dist. No.

Owner's or Lessee's name and address Irene Jensen, Brackett Ave, Peaks Telephone

Contractor's name and address Henry S. Hour, Central Ave, Peaks Telephone 157-2

Architect Plans filed yes No. of sheets 1

Proposed use of building Theatre No. families

Other buildings on same lot

Estimated cost $ 10. Fee $ .50

Description of Present Building to be Altered

Material wood No. stories 1 Heat none Style of roof pitch Roofing asphalt

Last use Theatre No. families

General Description of New Work

To provide concrete footings under four cedar posts as marked on plan - to extend at least four feet below grade or to ledge - bolted to post

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

INSPECTION BEFORE LATHING OR CLOSING-IN IS WAIVED

Details of New Work

CERTIFICATE OF OCCUPANCY

Is any plumbing work involved in this work?

Is any electrical work involved in this work? Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

1, one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Irene Jenson By Henry S. Hour

INSPECTION COPY

mit No 43/583

Location Island Ave., Peaks

Owner Irene Jensen

Date of permit 6/21/43.

Notif. closing in

Inspn. closing in

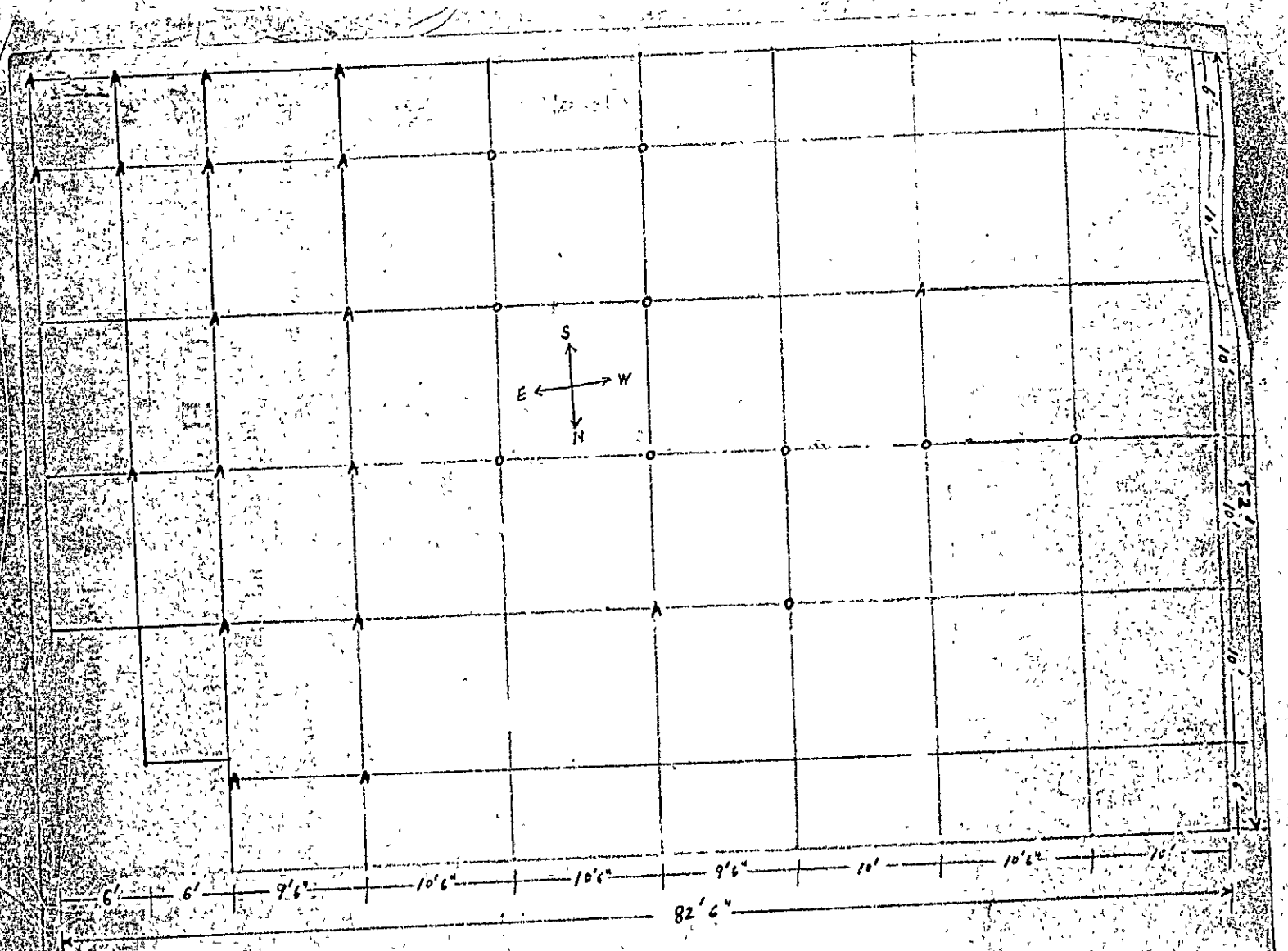
Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

6/22/43.
Post shown with rods on
in out, footing at X should
be 4 feet below ground
at bottom. Brandhorst has
been put on this job to
deliver notice etc.
6/23/43. Mr Hoar will take
care of the above O.K.



A = Cement Footings
O = Proposed Footings

Post Plan for Theater

Scale 1/8" = 1'

Memorandum from Department of Building Inspection, Portland, Maine

Greenwood Garden, Peaks Island—Concrete piers for foundation of theatre building owned by Mrs. A. W. Jenson, Builder, Henry S. Hoar———6/19/42

To Owner and Builder:

The application and sketch show the location of footings now built and those proposed to be built this year, but no details of the piers themselves.

That there may be no misunderstanding, let me repeat the understanding reached about the details of these piers among many other matters in February, 1941. This statement later agreed to by all concerned, read as to piers as follows: "These footings should be large enough at the top to accommodate the full bearing of the wooden post, should batter outwards on four sides at least an inch on each side in the depth of the footing, should extend four feet below the grade of the ground or to a flat bearing on ledge(natural or prepared) whichever is encountered first, should extend at least six inches above the top of the ground or rock, and each post should be anchored to its footing, preferably by a metal dowel inserted in the bottom of the post and cast into the concrete."

This permit is issued on the basis of the same understanding.

(*Signed*) Warren McDonald
Inspector of Buildings

CC Mrs. A. W. Jenson, Brackett Ave.,
Peaks Island

) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Permit ISSUED
No. 668
JUN 19 1942

Permit No. _____

Class of Building or Type of Structure ~~Third Class~~

Portland, Maine, ~~June 15, 1942~~

To the INSPECTOR OF BUILDINGS PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location ~~Greenwood Garden, Peaks Island~~ Within Fire Limits? ~~no~~ Dist. No. _____

Owner's or ~~Lessee's~~ name and address ~~Mrs. A. W. Jensen, Brackett Ave. Peaks~~ Telephone _____

Contractor's name and address ~~Henry S. Hoar, Central Ave. Peaks~~ Telephone ~~157-2~~

Architect _____ Plans filed ~~yes~~ No. of sheets ~~1~~

Proposed use of building ~~Theatre~~ No families _____

Other buildings on same lot _____

Estimated cost $ ~~50.~~ Fee $ ~~.50~~

Description of Present Building to be Altered

Material ~~wood~~ No. stories ~~1~~ Heat _____ Style of roof ~~gambrel~~ Roofing _____

Last use ~~Theatre~~ No. families _____

General Description of New Work

To ~~[illegible]~~ provide concrete footings under ten cedar posts under building as shown on plan

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

NOTIFICATION BEFORE LATH OR CLOSING IN IS REQUIRED

Is any plumbing work involved in this work? _____

Is any electrical work involved in this work? _____ Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? ~~solid~~ earth or rock? ~~ledge~~

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? ~~no~~

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ~~yes~~

Signature of owner Mrs. A. W. Jensen

By Henry S. Hoar

INSPECTION COPY

17-71 D

Permit No. 42/666

Location Greenwood Gardens, Parkes

Owner [illegible]

Date of permit 6/19/42

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 7/16/42 [illegible]

Cert. of Occupancy issued [illegible]

NOTES

See amendment
[illegible]
[illegible]
BP 41/766 - [illegible]
[illegible]

(3) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Permit No. 0.63

Class of Building or Type of Structure ~~Third Class~~

JUN 2 1941

Portland, Maine, ~~June 2, 1941~~

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building, ~~structure equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location ~~Greenwood Garden, Peaks Island~~ Within Fire Limits? ~~no~~ Dist. No.

Owner's ~~or Lessee's~~ name and address ~~Author Jensen, Peaks Island~~ Telephone 171

Contractor's name and address Telephone

Architect: Plans filed ~~yes~~ No of sheets ~~3~~

Proposed use of building ~~Summer Theatre~~ No. families

Other buildings on same lot

Estimated cost $ ~~150.~~ Fee $ ~~.75~~

Description of Present Building to be Altered

Material ~~wood~~ No. stories ~~1~~ Heat ~~none~~ Style of roof Roofing ~~Asphalt~~

Last use ~~Summer theatre~~ No. families

General Description of New Work

To construct an extension of the stage 10' deep and the width of the building, about 50', to be framed as indicated on sketch attached - all material used in the framing of the stage to be dressed on all sides.

To remove the existing ramp on the end of the building and to construct in its place an outside platform 5' x 8' with two steps to the ground level, to be framed as indicated on sketch attached.

To remove the dilapidated open platform on the harbor side of the building and permanently close all doors leading to this platform

To provide concrete piers under the existing posts which would be beneath and act as supports of the stage extension, and to provide similar piers beneath all existing posts that have rotted or become questionable, all of these piers to adequately support the posts and to extend to ledge rock or four feet below the surface of the ground whichever is encountered first.

In view of the ~~fact~~ continued use of this building as a summer theatre, the owner agrees to comply with all specifications contained in Inspection Board statement of February 7th, 1941, pertaining to this theatre with the exceptions that a platform is to be substituted for the ramp indicated in Paragraph 3 of this statement, and the small dressing rooms on either side of the stage will not be required to be cut off from the stage as indicated in Paragraph 10 of the statement.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work?

Is any electrical work involved in this work? Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? ~~no~~

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? ~~yes~~

Signature of owner A W Jensen

INSPECTION COPY

1338C

Permit No. 41/766

Location: Greenwood Gardens

Owner: Arthur Jansen

Date of permit: 5/2/41

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

[illegible] stone excavation [illegible]
[illegible] [illegible]
Not started [illegible] work
done ok.
6/25/41 — Inspect [illegible]
[illegible] wood [illegible]
[illegible]
[illegible]
[illegible]
[illegible]
[illegible]
[illegible]
1/8/42 — [illegible]
[illegible]
[illegible]

A = Cement Footings

O = Proposed Footings - 1944

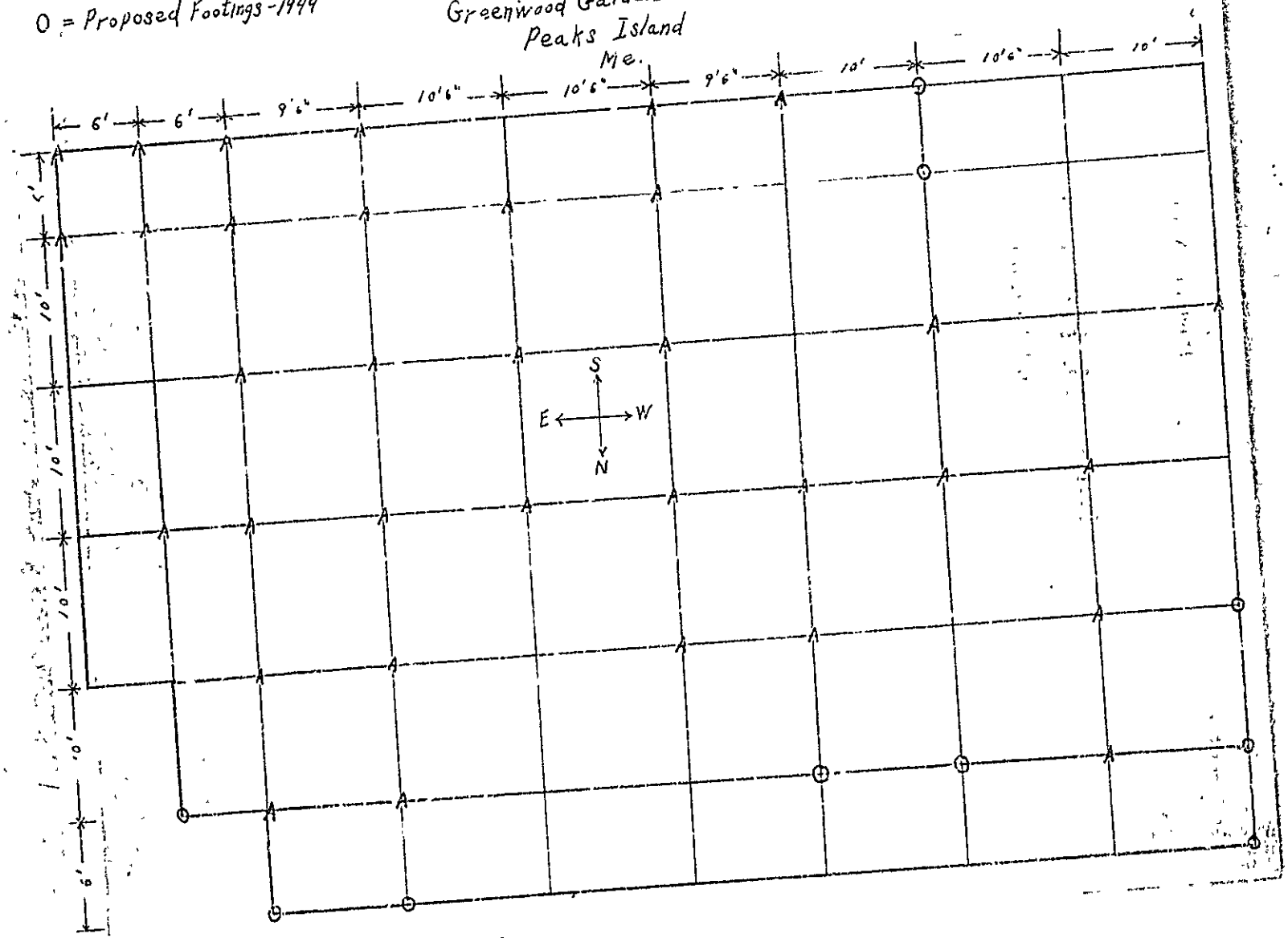
Post Plan for Theater

Greenwood Garden

Peaks Island

Me.

Scale 1/8" = 1'



APPLICATION FOR PERMIT

ZONE

PERMIT ISSUED

Permit No. 143

MAY 22 1940

Class of Building or Type of Structure ~~Type Class~~

Portland, Maine, May 22, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Greenwood Garden Peaks Island Within Fire Limits? _____ Dist. No. _____

Owner's or lessee's name and address Irene Jensen, Brackett ave. Peaks Telephone _____

Contractor's name and address Guy H. Moar, Central Ave. Peaks Telephone 157-2

Architect _____ Plans filed yes No. of sheets 1

Proposed use of building Summer Theatre No. families _____

Other buildings on same lot _____

Estimated cost $ 150. Fee $ 1.00

Description of Present Building to be Altered

Material wood No. stories 1 Heat no Style of roof French Roofing asphalt

Last use Summer theatre No. families _____

General Description of New Work

To replace ten cedar posts as per plan - concrete footings

NOTIFICATION BEFORE LATHING OR CLOSING IN IS WAIVED.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.

Is any plumbing work involved in this work? _____

Is any electrical work involved in this work? _____ Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x6 or larger Bridging in every floor and flat roof span over 8 feet Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Irene Jensen

Signature of owner By _____

INSPECTION COPY

Permit No. 44/443

Location Greenwood Gardens Peabo.

Owner Irene Jensen

Date of permit 5/22/44

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 2/22/44

Cert. of Occupancy issued

1145 Ash 46/532

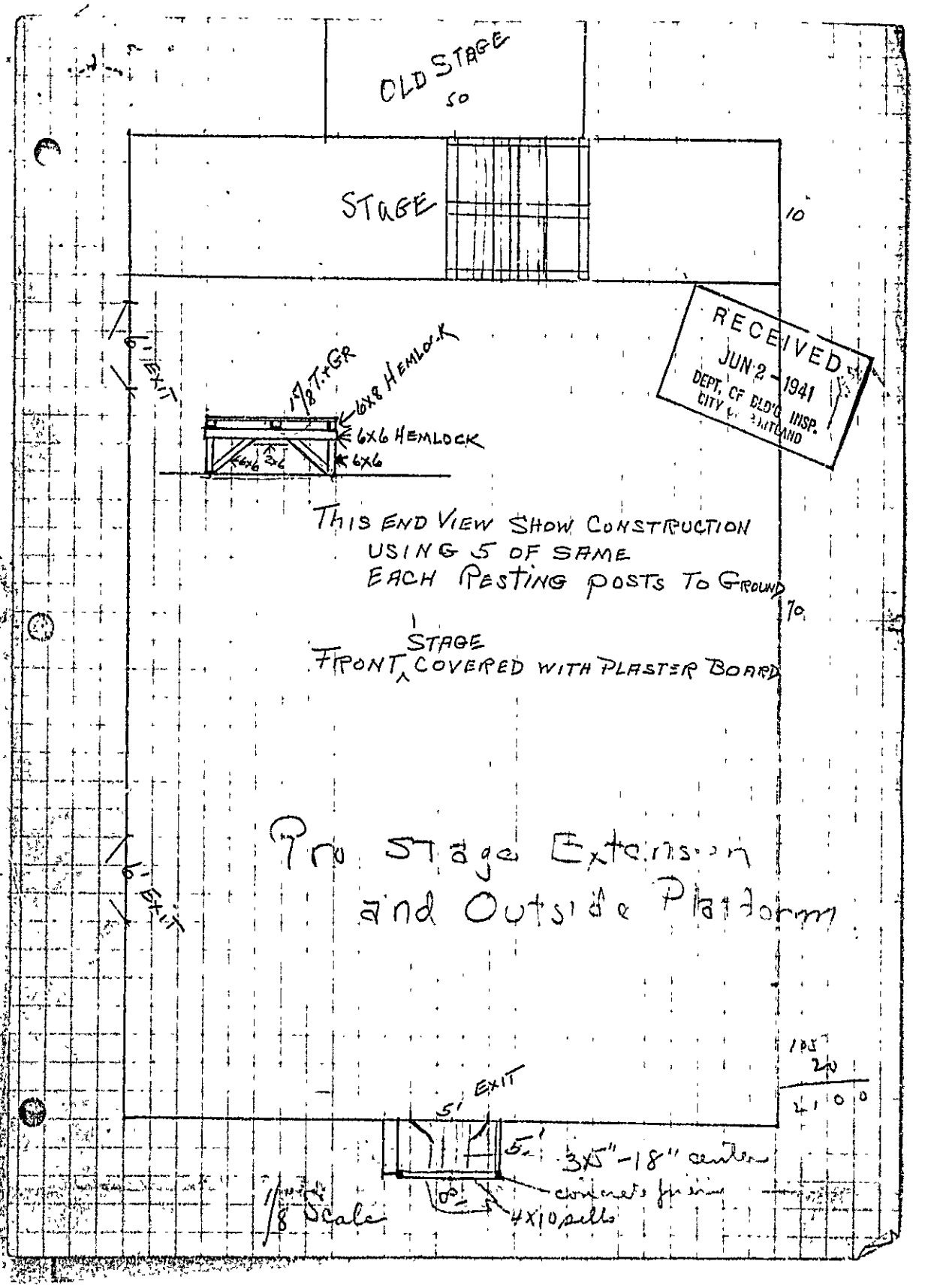
NOTES

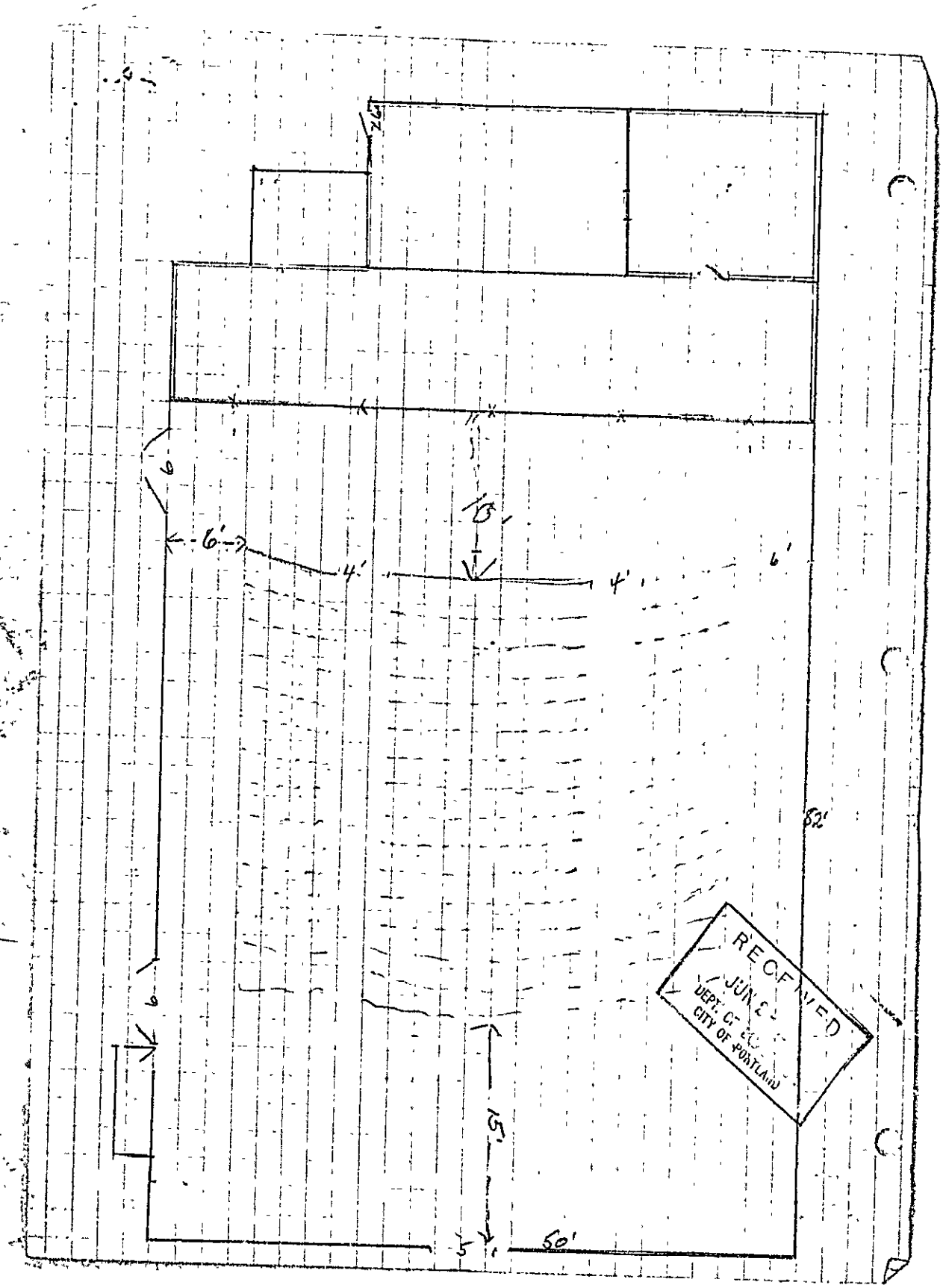
Mrs. Jensen called and gave me these clauses you wanted.

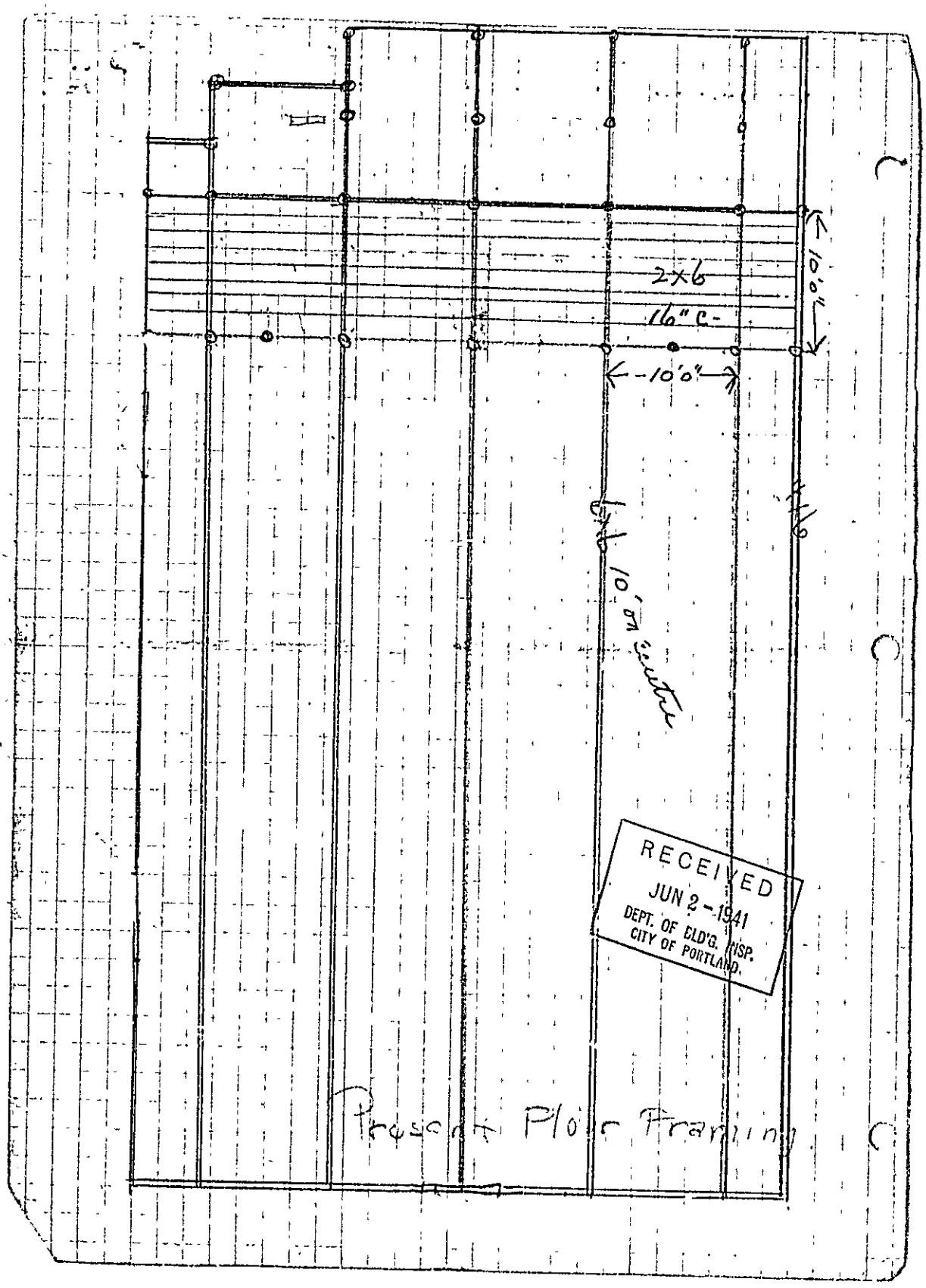
Said lessee agrees: 1. To make all the necessary repairs and additions to her building as have already been or may be required by the Building Inspector of the City of Portland except the bolting of the seats to the floor which has been required by the Building Inspector and which the lessee agrees to do.

2. To complete all said repairs in sufficient time so that said building may be ready for opening of theatre by June 15th.

3. The lessee agrees to purchase and install all anti-panic hardware necessary to comply with the requirements of the Building Inspector provided that the purchase and installation of such hardware along with the other repairs and additions necessary can be done for by him, otherwise the lessee is to purchase such hardware and the lessee is to install same.




6'
4'
4'
6'
6'
82'
50'
5'
5'
RECEIVED
JUN
DEPT. OF
CITY OF PORTLAND



Present Floor Framing

Statement of Minimum Requirements Relating to the Greenwood Playhouse at Peaks Island to Receive the Approval of the Inspection Board of the City of Portland for a Theatre License for 1941 (the License of course Being Issued by the Municipal Officers)

February 7, 1941

1. This statement represents only the principal requirements involved in this particular theatre and the usual requirements for public safety around such an occupancy are required whether mentioned in this statement or not.

2. Completely remove the dilapidated open platform on the outside of the side of the building toward the harbor, and permanently close all doorways which formerly lead onto that platform.

3. Completely rebuild the ramp from the rear exit provided last summer and sufficiently relocate it so that the ramp will be straight with the normal line of travel at right angles to the wall of the building in which the exit is located, providing masonry foundations extending at least four feet below the grade of the ground or to ledge, the entire structure to be built so as to support a live load of 100 pounds per square foot according to Building Code standards and a substantial railing, well braced, to be provided on both sides of the ramp. The reconstruction of the ramp is to be included in a building permit secured from the Inspector of Buildings and with the application for the permit a plan to scale filed showing all the details of construction, thus avoiding the questionable and unworkmanlike ramp constructed last year.

4. All foundation posts, sills, girders and other structural members beneath the building are to be examined by a careful, competent person, and all defects which could possibly effect the safety of the building adversely are to be corrected. This applies especially to the foundation posts most of which enter the ground and are subject to rot just below the surface of the ground. We shall require that the owner of the building determine and make known to us a schedule for providing concrete footings to the end that eventually all of the posts will be supported by these footings, on the basis that a certain number of posts will be provided with footings each year, say ten or more each year, whether they actually need them at the moment or not, the posts which the need the footings most to have them provided first, of course. These footings should be large enough at the top to accommodate the full bearing of the wooden post, should batter outwards on four sides at least an inch on each side in the depth of the footing, should extend four feet below the grade of the ground or to a flat bearing on ledge (natural or prepared) whichever is encountered first, should extend at least six inches above the top of the ground or rock and each post should be anchored to its footing, preferably by a metal dowel inserted in the bottom of the post and cast into the concrete. Including 1941, the yearly procedure with regard to these posts should be as follows: determine by examination just which posts require attention in a given year, apply for permit to cover the yearly quota of footings designating those posts which actually need them as to location and the rest of the posts to be provided with footings in that year with their locations to fill out the quota agreed upon for each year. The application should contain also a detail of the typical footing intended to be built. In this permit could be included any other changes contemplated in a given year, such as the ramp in 1941. The conclusion usually reached under such circumstances as this is why does not the city make all these examinations and instruct the owner exactly what is to be done. The answer to that is that the tax payers cannot afford to employ a large enough inspection department to perform such work for all property owners in the city, and therefore cannot perform such work for any of them.

5. Before or at the time application is made for theatre license for 1941, we shall expect a plan of the interior of the theatre to be filed with the Inspector of Buildings, this plan to be at a true scale of one-quarter of an inch to the foot and to show all essential appointments. It need not necessarily be an architect's plan, but it must show all essential details, including the location of the stage, all partitions, dressing rooms, toilet facilities inside or outside of the building, location of all exit doors with their widths, complete arrangement of seats, with distances back to back, arrangement of aisles with their widths, etc. Any person of practical intelligence in such matters can make the plan we desire.

6. We have been unable to inspect the building since last summer, but it is our impression that a part at least of the more or less portable platforms used to extend the stage last summer have been removed. Whether or not that is so we shall require a permanent extension of the stage built in a workmanlike manner (as was not done last summer) to support a live load of at least 100 pounds per square foot according to Building Code standards, and the supports of it to be so located and supported beneath that all loads will be transmitted safely to the ground, the extension to be cut off from the space under the original stage by tight fire stopping. The best way to proceed in this connection is to have a framing plan made, to scale, showing the framing and supports intended, include the work in the application for a building permit for the ramp and foundation work so that the work will be checked before the permit is issued, and then you can proceed with assurance that no fault will be found. If it is desired to make this extension more or less removable, it may be built in sections, but the sections should be bolted (not spiked) together and the entire extension bolted or screwed to the present construction rather than nailed as last year.

7. The capacity of the theatre is to be limited to 500 seats securely fastened to the floor (screwed or bolted, not nailed as last year), all seats at least 30 inches from back to back, aisle the depth of the auditorium at least three feet wide, and aisles at least five feet wide leading directly from the seats to all three exits from the auditorium.

8. Provide all three exit doors from auditorium with anti-panic hardware (not some makeshift arrangement as was used last year, but the usual type of such hardware with a bar across the doors so arranged that when pressure is applied against the bar the doors will not fail to open outwards.) The door from backstage to out of doors does not require anti-panic hardware but should be equipped with such a lockset that a person on the inside may open the door at any time moral/ by turning the usual knob without any special knowledge and without a key. Exit lights are to be provided over all three of these exit doors from the auditorium and white lights on the outside, all six lights on a single circuit and controlled by a single switch, all new wiring, lights and electrical equipment in the building to be made to comply with the Electrical Ordinance which is practically the same as the National Electric Code.

9. Two two and one-half gallon soda and acid fire extinguishers are to be provided, one backstage and one at the rear of the auditorium, both on substantial brackets and always ready for use.

10. If not already done, the small dressing rooms on either side of the stage are to be cut off from the stage by wooden stud partitions (2x3 studs no more than 16 inches from center to center) covered on both sides with non-burnable wallboard, the usual doors allowed, of course, (this work should be covered in the building permit). The supports of operative curtains are to be made permanent and substantial, the operative curtain and all material of drops over and on the sides of the proscenium opening and at the front of the stage extension are to be flameproofed. No drops or scenery are to be let down from above the stage, and scenery is to consist of a single

setting only decorated with fire resistive paint.

11. Separate toilet facilities for each sex, established and maintained in a clean and decent manner are to be provided on the premises always accessible on the part of patrons and members of the company, the adequacy and fitness of these to be determined by the Health Officer. If and when running water is provided in the theatre building, separate toilet accommodations for each sex will be required both backstage and for the patrons connected with the auditorium.

Rcpt. 7277C-I

July 5, 1940

Mr. Anton W. Jensen,
Peaks Island
Portland, Maine

Dear Mr. Jensen:

The permit to cover roofing of the restaurant building in Greenwood Gardens is enclosed, together with a receipt for the fee.

Also enclosed is an extra copy of the application for the permit marked at the bottom "original". Will you be kind enough to sign this copy of the application at the bottom and return in the enclosed envelope.

The way in which we are handling this application is quite irregular. Perhaps you will be good enough to realize that we cannot handle applications for permits, even roofing permits, in this way as a regular thing. It is done in this case because of the circumstances in which you find yourself. I shall appreciate having all applications for permits in the future made in the usual way by some person coming to the office.

Very truly yours,

Inspector of Buildings

WMcD/H

.RLI LAKLAN, Mgr. Director

RICHARD OSBORNE, Assoc. Director

AMERICAN APPRENTICE THEATRE

Executive Offices:
145 WEST 45th STREET
BR. 9-6329

Studios:
229 WEST 48th STREET
CI. 6-5940

GREENWOOD PLAYHOUSE
Peaks Island
Maine

January 20, 1940

City Building Inspectors
Portland
Maine

Gentlemen:

I am writing to you regarding the Greenwood Playhouse on Peaks Island, which, as you know, we operated last summer.

We are now making plans for the coming summer and must first of all know exactly what work must be done on the Playhouse prior to opening it during the coming season.

As you know, there was considerable trouble last year regarding the Playhouse. Quite naturally we are anxious to avoid a repitition of this difficulty. Although you have, I believed, discussed the matter with Mr. Jensen, we must have a definite and detailed statement from you as to the work which you will require. It is necessary that we have this statement before we continue negotiations with Mr. Jensen, and shall appreciate hearing from you as soon as possible.

For your information may I say that the seating capacity will not be enlarged; that we do not plan to use any cast larger than 15, that we intend to operate five nights and one matinee per week.

The stage bracing which you required last summer is still in the building (or should be) although the platforms have been removed. These will, of course, be replaced when the theatre is again in operation.

I am sure that you can understand our need to have in writing the exact work which must be done in order to have a permit from you. This year all such details must be settled well in advance.

May I hear from you at your earliest convenience.

Sincerely yours,

Carli Laklan

Carli Laklan

CL: lbc

October 18, 1940

Mr. Anton Jensen,
Peaks Island,
Portland, Maine

Dear Mr. Jensen:

You will recall the questions that arose last spring when a summer stock company was trying to open your building in Greenwood Garden as a summer theatre. There were many questions arose, and while the more urgent problems were taken care of after a fashion, some of them including the condition of the supporting posts beneath the building, and the new ramp which was built on the end of the building for the new outside exit, and some other matters were not taken care of satisfactorily.

You will remember that you were notified that certain of the posts under the building were quite badly rotted and required attention. You were unable to find a workman or anyone else who could n o a careful examination and find the posts that required renewal and as a consequence nothing very substantial was done in the way of making the foundations right.

This letter is for the purpose of notifying you this fall while there is plenty of time both in the late fall and the early spring to make this building thoroughly suitable for a licensed public activity; and that, I, as a member of the Inspection Board, will be unwilling to give any approval upon a license that may be applied for hereafter relating to this building until the entire structure including the supports, the ramp and all other parts are in reasonably good condition.

Since this building is supported upon cedar posts in place so many years, and many of them get alternately wet and dry and have begun to rot, I suggest that the only way to make sure that that building is fit for a licensed activity is to proceed year by year and replace or resupport each year all cedar posts which have become questionable or have rotted to any degree with concrete piers down below frost and extending at least four or six inches above the grade of the ground where they occur. A permit would be required from this department before any such changes were made, and application for such a permit should show exactly what posts are to be resupported.

If you give consideration to the subject you will realize that this is a very small department, trying to serve a great many people well. It is out of the question for me or any other member of this department to go beneath a building such as yours and point out every little defect that can be discovered just as well by any competent workman who is really employed to do a thorough job.

Very truly yours,

Inspector of Buildings

EMcD/H
CC: Chief Sanborn,
" Dodwell
Leon Webber, License Officer

SPECIFICATION ACCOMPANYING APPLICATION FOR BUILDING PERMIT RELATING TO ALTERATIONS IN THE THEATRE IN GREENWOOD GARDENS, PEAKS ISLAND

June 25, 1940

1. This specification and statement is to be considered as much a part of the application for the permit as though written on the application form, but failure to mention any requirement of the Building Code or any other law relating to the same subject matter herein, shall not relieve owner, tenant, contractor or any other person from compliance therewith.

2. The seating capacity in the auditorium will be limited to 300. Each row of seats in every section will be securely fastened together so that each row will be a single unit and will remain as such in case of panic. All seats will be set at least 30 inches from back to back, aisles running the depth of the auditorium will be always maintained at least three feet wide, and aisles at least five feet wide will be provided leading directly from the seats to all three exits from the auditorium.

3. A new exit doorway at least four feet wide, equipped with double doors swinging outwards and with substantial steps leading to the ground, if there is a difference in levels between the floor of the theatre and the ground, will be provided in the northerly end wall. The two doors in the easterly wall will be made to swing outwards if they do not so swing already. All three of these exit doorways will be provided with exit lights with letters in the word exit at least four inches high and showing red, all on one circuit and controlled by a single switch. A lock against people entering from the outside will be provided only on that one of these exit doors which is to be used for entrance of the public, and if a lock is provided on that door, anti-panic hardware shall be provided also. The other exit doors shall have anti-panic hardware or equivalent arrangement approved by the Inspection Board. The small door leading from back stage to out of doors will be put in condition, made to swing outwards, and if equipped with a lock, the lockset will be of such a type that persons back stage may leave through this door merely by turning a knob without the use of a key.

4. The extension of the stage will be framed and braced to support a theoretical load of at least 100 pounds per square foot. Because it is undesirable to fasten this extension to the floor of the building, all uprights will have a square, flat bearing on the floor and will be braced horizontally at the floor level and diagonally from the bottoms of the uprights.

5. New non-bearing partitions or screens will be provided between the stage extension and the proposed small dressing rooms on either side, to consist of 2x5 studs set vertically not more than 16 inches from center to center and covered on both sides with gypsum wallboard or equivalent. The frame of outside walls and interior partitions exposed to the space back stage will be similarly covered with gypsum wallboard or equivalent to a height of at least eight feet above the stage floor level and the pockets thus formed between the studs will be tightly closed over the tops of them. Where the wallboard meets the floors in each case a tight joint will be made and all holes in the floors back stage or cracks will be filled or closed tightly.

6. The operative curtain will be of flameproofed material as will the drapes over and at the sides of the proscenium opening or which may be provided at the front of the stage extension. The scenery will consist of only a single setting decorated with fire resistive paint. There shall be no drops or scenery let down from above the stage. The small dressing rooms on either side of the stage will be cut off

from the auditorium by partitions or screens constructed and covered in a manner similar to those to be provided herein between the small dressing rooms and the stage.

7. Two two and one-half gallon soda-acid fire extinguishers or equivalent will be provided,-one back stage and one on a bracket or shelf at the rear of the auditorium.

8. Supports of the operative curtain and of hanging lights will be made substantial, and all wiring, lighting and other electrical work will be in compliance with the Electrical Code of the city and approved by the Electrical Inspector.

9. The owner of the building will have a competent builder go over all of the supports of the building underneath, exclusive of the dilapidated platform on the west side, and make all posts and other supports safe and sound. This applies particularly to several posts around the southwest corner of the building, some of which are badly rotted at the ground and one of which is completely rotted or burned off.

10. Representatives of contractor, owner and tenant are signing these specifications and agreeing thereby to take care of their part of the work contained in these specifications as their various relations and responsibilities may appear.

For the Contractor

For the Tenant

For the Owner

SPECIFICATION ACCOMPANYING APPLICATION FOR BUILDING PERMIT RELATING TO ALTERATIONS IN THE THEATRE IN GREENWOOD GARDENS, PEAKS ISLAND

June 25, 1940

1. This specification and statement is to be considered as much a part of the application for the permit as though written on the application form, but failure to mention any requirement of the Building Code or any other law relating to the same subject matter herein, shall not relieve owner, tenant, contractor or any other person from compliance therewith.

2. The seating capacity in the auditorium will be limited to 500. Each row of seats in every section will be securely fastened together so that each row will be a single unit and will remain as such in case of panic. All seats will be set at least 50 inches from back to back, aisles running the depth of the auditorium will be always maintained at least three feet wide, and aisles at least five feet wide will be provided leading directly from the seats to all three exits from the auditorium.

3. A new exit doorway at least four feet wide, equipped with double doors swinging outwards and with substantial steps leading to the ground, if there is a difference in levels between the floor of the theatre and the ground, will be provided in the northerly end wall. The two doors in the easterly wall will be made to swing outwards if they do not so swing already. All three of these exit doorways will be provided with exit lights with letters in the word exit at least four inches high and showing red, all on one circuit and controlled by a single switch. A lock against people entering from the outside will be provided only on that one of these exit doors which is to be used for entrance of the public, and if a lock is provided on that door, anti-panic hardware shall be provided also. The other exit doors shall have anti-panic hardware or equivalent arrangement approved by the Inspection Board. The small door leading from back stage to out of doors will be put in condition, made to swing outwards, and if equipped with a lock, the lockset will be of such a type that persons back stage may leave through this door merely by turning a knob without the use of a key.

4. The extension of the stage will be framed and braced to support a theoretical load of at least 100 pounds per square foot. Because it is undesirable to fasten this extension to the floor of the building, all uprights will have a square, flat bearing on the floor and will be braced horizontally at the floor level and diagonally from the bottoms of the uprights.

5. New non-bearing partitions or screens will be provided between the stage extension and the proposed small dressing rooms on either side, to consist of 2x5 studs set vertically not more than 16 inches from center to center and covered on both sides with gypsum wallboard or equivalent. The frame of outside walls and interior partitions exposed to the space back stage will be similarly covered with gypsum wallboard or equivalent to a height of at least eight feet above the stage floor level and the pockets thus formed between the studs will be tightly closed over the tops of them. Where the wallboard meets the floors in each case a tight joint will be made and all holes in the floors back stage or cracks will be filled or closed tightly.

6. The operative curtain will be of flameproofed material as will the drapes over and at the sides of the proscenium opening or which may be provided at the front of the stage extension. The scenery will consist of only a single setting decorated with fire resistive paint. There shall be no drops or scenery let down from above the stage. The small dressing rooms on either side of the stage will be cut off

from the auditorium by partitions or screens constructed and covered in a manner similar to those to be provided herein between the small dressing rooms and the stage.

7. Two two and one-half gallon soda-acid fire extinguishers or equivalent will be provided,-one back stage and one on a bracket or shelf at the rear of the auditorium.

8. Supports of the operative curtain and of hanging lights will be made substantial, and all wiring, lighting and other electrical work will be in compliance with the Electrical Code of the city and approved by the Electrical Inspector.

9. The owner of the building will have a competent builder go over all of the supports of the building underneath, exclusive of the dilapidated platform on the west side, and make all posts and other supports safe and sound. This applies particularly to several posts around the southeast corner of the building, some of which are badly rotted at the ground and one of which is completely rotted or burned off.

10. Representatives of contractor, owner and tenant are signing these specifications and agreeing thereby to take care of their part of the work contained in these specifications as their various relations and responsibilities may appear.

For the Contractor

For the Tenant

For the Owner

(D) LIMITED BUSINESS ZONE **PERMIT ISSUED**

APPLICATION FOR PERMIT

Permit No. 10825

JUN 27 1940

Class of Building or Type of Structure Third Class

Portland, Maine, June 25, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Greenwood Garden, Peaks Island Within Fire Limits? no Dist. No.

Owner's ~~or Lessee's~~ name and address Anton Jensen, Peaks Island Telephone

Contractor's name and address Richard Curran, 127 Middle Street Telephone

Architect Plans filed No. of sheets

Proposed use of building Theatre No. families

Other buildings on same lot

Estimated cost $ 200 Fee $ .75

Description of Present Building to be Altered

Material wood No. stories 1 Heat none Style of roof pitch Roofing Asphalt

Last use Theatre No. families

General Description of New Work

To construct a temporary extension of stage about 10' out into the auditorium.
To provide steps on either side leading to the extension.
To provide one small dressing room on each side of the stage in addition to an existing dressing room on each side
To cut in a new exit doorway at least 4' wide in northerly end wall with double doors swinging outwards and outside steps to the ground if difference in levels require it
To provide, fire resistive finish in certain parts and other appurtenances as provided in signed specifications attached hereto

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Is any plumbing work involved in this work?

Is any electrical work involved in this work? Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing Lumber—Kind Dressed or Full Size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City laws are observed? yes

Signature of owner

INSTRUCTION COPY

Permit No. 40/825

Location Greenwood Garden Peaks

Owner Arthur Jensen

Date of permit 6/27/40.

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued none

NOTES

6/28/40 - Received letter from Arthur Jensen stating not finished

Combination stage & men toilet room closed

Exit door & exit light not ready

Heater not installed

Fire escape stage to be put on jamb door

Toilet facilities to be provided instead

Letter directions to contractor

Told Mr. Jensen that we could not finish

after phone to Mr. Jensen and finding a violation from inspector all to ground floor only with fire escape disappears any more performance much further inspection work endorsed, stage and toilet planned & built and exit signs of architect one to be placed

7/3/40 - Examined again

All exit doors

Stage closed

Dressing rooms

Clothed with fifty

Pound tunnel matches

Toilet - Porta

Underneath not

all fixed - Tabled

with Mr. Jensen -

Dept. Bureau of Fire

Dept and Bldg

Section - suggested

Fire Dept. Takeoff

after then do

We will not

approve non

disapprove.

license for

practice until

monitoring

[illegible]

LIMITED BUSINESS

APPLICATION FOR PERMIT

Permit No. 10[illegible]

Class of Building or Type of Structure Third Class.

JUN 6 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, June 6, 1938

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Greenwood Garden, Peaks Island

Within Fire Limits? Isl.? Dist. No. no

~~Owner's or~~ Lessee's name and address Anita Nichols, Peaks Island

Telephone

Contractor's name and address George Keening, Peaks Island

Telephone no

Architect

Plans filed no No. of sheets

Proposed use of building Pavilon and dining room

Other buildings on same lot

No. families

Estimated cost $ 50.

Fee $ .50

Description of Present Building to be Altered

Material frame No. stories 1 Heat Style of roof Roofing

Last use Pavilon and dining room

No. families

General Description of New Work

To construct brick chimney in the rear of building.

The brick work of the chimney is to be corbelled so as to pass through the outside wall of the building at the point where the smokepipe enters so as to obviate the need of carrying the smokepipe through the outside wall.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation concrete Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys 1 Material of chimneys brick of lining tile

Kind of heat stove Type of fuel ~~xxx~~ coal Is gas fitting involved?

Framing Lumber—Kind Dressed or Full Size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner By Anita Nichols

INSPECTION COPY

Permit No. 38/838

Location Grand Garden, Peaks

Owner Anita Nichols

Date of permit 6/6/38

Notif. closing-in 84

Inspn. closing-in R

Final Notif. 9

Final Inspn. 6/15/38, cdbs

See Corr'n - C-38-111

Cert. of Occupancy issued None.

NOTES

C-38-111-I

7-2-38-M

June 27, 1938

Mr. Anthon W. Jensen,
Peaks Island,
Portland, Maine

Dear Mr. Jensen:

The reason that you are so busy that you have no time to come to City Hall and apply for the permit to install the restaurant range at Greenwood hardly satisfies the Building Code which stipulates that the permit should be secured before the installation of such a range is commenced. Furthermore the installation itself is in violation of the Building Code in that the range sets on a two inch solid concrete slab which in turn rests upon a wooden floor, if the report to me is correct, while the Building Code requires in such a case that such a range supported by a wooden floor shall have insulation beneath it in the way of ventilated masonry at least four inches in thickness extending two feet beyond the front of the appliance and at least one foot beyond the ends and the back. This masonry is required to rest upon sheet metal or asbestos building lumber which has been laid directly upon the wooden floor, and on top of the masonry sheet metal not less than 24 gauge is required. While other methods are acceptable, the one usually adopted is that of laying four inch hollow clay tile of the structural type laid so that the flues in the hollow tile are continuous. If the flues are not made continuous, the entire installation will be worthless.

With such an appliance a certain amount of heat strikes downward. A number of actual experiences shows that this heat is often sufficiently intense to penetrate down through as much as six inches of concrete and set fire to the wood below. With the continuous flues, however, the heat strikes the open spaces in the masonry, spreads out into the room and rises, thus relieving the intensity and preventing fire.

If you will have this permit applied for and the proper insulating masonry provided at least by July 1, 1938, I am willing to accept the application, although the work is largely done before the permit is applied for. Otherwise it will be my unpleasant duty to take legal steps against you, personally, as directed by law. If you did not actually install the range with your own hands, please notify me the name of the individual who did.

In the meantime the City Clerk has received an application for a dance hall license for this same building from Anita Nichols. Obviously, as a member of the Inspection Board, I shall be unable to approve this application until the permit and range matter is entirely cleared up. I understand also that there are no fire extinguishers in the building, and these, of course, will be necessary.

Very truly yours,

Inspector of Buildings

WMcD/H
CC: Anita Nichols, Peaks Island

LIMITED BUSINESS ZONE
CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

INSPECTION COPY

COMPLAINT

Complaint No. C-38-111

Location Greenwood Garden, Peaks Island — Dat. received June 15, 1938

Owner's name and address Anthon T. Jensen, Peaks Island — Use of Building Restaurant

Tenant's name and address Anita Nichols — Telephone

Complainant's name and address ATH — Telephone

Description: Coal fired restaurant range installed by Mr. Jensen without permit. (Same thing also done before @ See C-35-165)

(5) LIMITED BUSINESS ZONE

Complaint No. C-38-111

Location Greenwood Gardens Peaks

Date Received 6/15/38.

Date Disposed of 7/14/38. CMC.

Range-37
Chimney 38/238

NOTES

6/15/38. This is the type of range without an air space beneath it and the ash-box at the extreme bottom. It is setting on a solid 2" thick concrete slab on a wood floor. This concrete does not extend beyond the sides and front as required. The sides are slightly short of the full width of the stove and extends but 5" or 6" in front.

Mr Jensen said he is operating a one man store and Sunday afternoon is his only time off so he is unable to attend to a permit, etc.

6/27/38 - Better - [illegible]

FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED
JUL 1 1938

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, June 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Greenwood Garden, Peaks Island Use of Building Restaurant No. Stories 1

Name and address of owner Anthon W. Jensen, Peaks Island Telephone Ward

Contractor's name and address Geo. Keening, Willow Street, Peaks

NOTE—NOTICE BEFORE LATHING OR CLOSING-IN IS WAIVED

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

General Description of Work

To install coal fired restaurant range

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? no If not, which story 1st Kind of Fuel coal

Material of supports of heater or equipment (concrete floor or what kind) insulated as required by Building Code

Minimum distance to wood or combustible material from top of boiler or casing top of furnace 6 feet above roof from top of smoke pipe 10" got a sheet of metal over it from front of heater 1 ft from sides or back of heater 1 ft

Size of chimney flue 8X8 Other connections to same flue No

IF OIL BURNER

Name and type of burner Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? Type of oil feed (gravity or pressure)

Location oil storage No. and capacity of tanks

Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.00 ($1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.) Signature of contractor Geo. A. Keening

INSPECTION COPY Wm B Berling

Ward 2 Permit No 38/972

Location Island Lake Greenwood Garden, Peaks

Owner Anthony W. Jensen

Date of permit 7/1/38.

Post Card sent

Notif for inspn.

Approval Tag issued 7/14/38 [illegible]

~~Oil-Burner Check-List (date)~~

1. Kind of heat Gas fired vent. range
2. Label
3. Anti-siphon 84
4. Oil storage R
5. Tank distance 9
6. Vent pipe
7. Fill pipe
8. Gauge
9. Rigidity
10. Feed safety
11. Pipe sizes and material
12. Control valve
13. Ash pit vent
14. Temp. or pressure safety
15. Instruction card
16.

NOTES

RESTRICTED BUSINESS ZONE

APPLICATION FOR PERMIT

Permit No. 0245

ISSUED MAR 11 1938

Class of Building or Type of Structure Third Class

Portland, Maine, March 11, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Ward Isl. 2 Within Fire Limits? no Dist. No.

Owner's or Lessee's name and address Isabel Bradbury, School St. Sanford, Telephone

Contractor's name and address Geo. A. Keening, Willox St. Peaks Telephone no

Architect Plans filed No. of sheets

Proposed use of building Store No. families

Other buildings on same lot

Estimated cost $20. Fee $.25

Description of Present Building to be Altered

Material wood No. stories 2 Heat stove Style of roof Roofing

Last use Store No. families

General Description of New Work

To build bottom portion of chimney in north end of building

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys 1 Material of chimneys brick of lining existing chimney has no lining

Kind of heat Type of fuel Is gas fitting involved?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Isabel Bradbury by Geo A. Keening

INSPECTION COPY

Ward 22 Permit No. 38/245

Location Island Ave Peaks

Owner Mabel Bradbury

Date of permit 3/11/38

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 4/21/38 OK.

Cert. of Occupancy issued None

NOTES

Dimensions store

84
R
9

(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

Class of Building or Type of Structure _____ 1992

NOV 17 1937

Portland, Maine, November 17, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Ward Isl. 2 Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address A. F. Jensen, Peaks Island Telephone 171

Contractor's name and address Henry S. Hoar, Pleasant Ave. Peaks Telephone 287-2

Architect _____ Plans filed _____ No. of sheets _____

Proposed use of building Stores and tenements No. families 2

Other buildings on same lot _____

Estimated cost $ 10. Fee $ .25

Description of Present Building to be Altered

Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____

Last use Stores and tenements No. families 2

General Description of New Work

To relocate open stairway, first to second floor, on rear piazza

NOTIFICATION BEFORE LATHING OR CLOSING-IN IS WAIVED.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner A. F. Jensen

INSPECTION COPY

Ward 2 Permit No. 37/1992

Location Island Ave., Peaks

Owner A. W. Jensen

Date of permit 11/19/37

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 11/26/37

Cert. of Occupancy issued None

NOTES

84
R
9

FILL IN COMPLETELY AND SIGN WITH INK

(B) LIMITED BUSINESS ZONE

PERMIT ISSUED

JUN 11 1938

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

June 11, 1938

Portland, Maine,

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location: Greenwood Garden, Peaks Island — Use of Building: Restaurant

Name and address of owner: A. W. Jensen, Peaks Island — Ward: Isl.2

Contractor's name and address: Owner — Telephone: 109

General Description of Work

To install: gas fired bake oven and gas fired restaurant range (relocate)

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? no — If not, which story: 1st — Kwchol 27" above floor; gas range 2½' above floor

Material of supports of heater or equipment (concrete floor or what kind): wood

Minimum distance to wood or combustible material, from top of boiler or casing top of furnace: 10'

from top of smoke pipe: 6'; from front of heater: 6'; from sides or back of heater: 6"

Size of chimney flue: Other connections to same flue: ~~Enclosed burners produce not more than 50,000 BTU~~

Hood provided over range

IF OIL BURNER

Name and type of burner: Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? Type of oil feed (gravity or pressure)

Location oil storage: No. and capacity of tanks

Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? 1.50 ($1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of contractor C. W. Jensen. 6972

INSPECTION COPY

Ward 3rd Permit No. 36/810

Location Greenwood Garden, Peak

Owner A. W. Jensen

Date of permit 6/11/36

Post Card sent

Notif. for insp. None

Approval Tag issued 7/13/36. CDB.

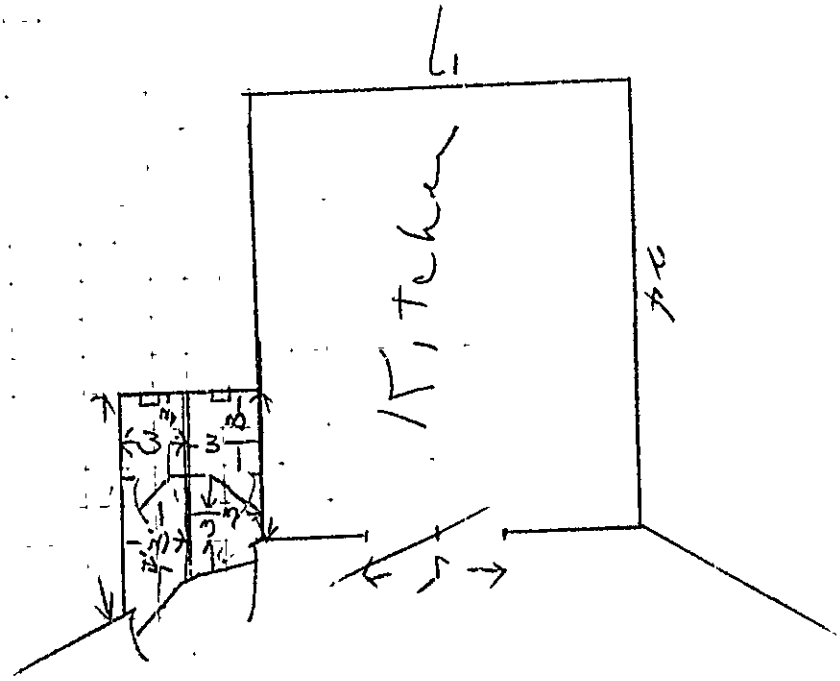
~~Oil Burner Check List (date)~~

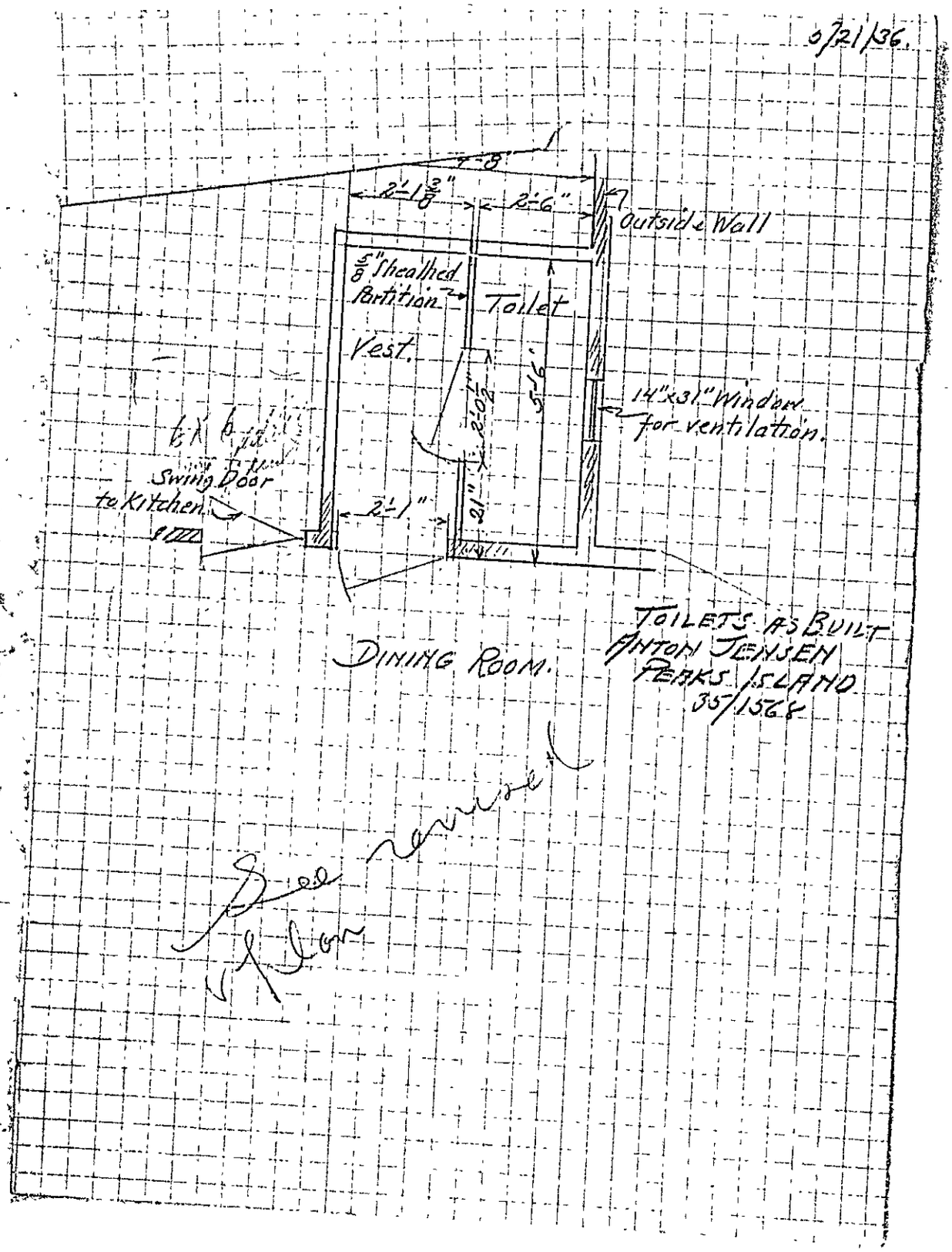
1. Kind of heat Gas fired oven and restaurant range
2. Label
3. Anti-siphon
4. Oil storage
5. Tank distance 8'4
6. Vent pipe R
7. Fill pipe 9
8. Gauge
9. Rigidity
10. Feed safety
11. Pipe sizes and material
12. Control valve
13. Ash pit vent
14. Temp. or pressure safety
15. Instruction card
16.

NOTES

7/13/36. Oven not used, not likely to be used this year. Will vent before used. CDB.

6/11/36.




0/21/36.
2'-1 3/8"
2'-6"
Outside Wall
5/8" Sheathed Partition
Toilet
Vest.
14"x31" Window for ventilation.
Swing Door to Kitchen
2'-1"
DINING ROOM.
TOILETS AS BUILT
ANTON JENSEN
PERKS ISLAND
35/1568
See revised plan

Original PERMIT ISSUED

Amendment No. 1

JUN 11 1936

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine June 11, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 35/1588 *pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:*

Location Greenwood Garden, Peaks Ward 2 With the Fire Limits? no Dist. No.

Owner's ~~or lessee's~~ name and address A. W. Jensen, Peaks Island

Contractor's name and address Owner

Plans filed as part of this Amendment Yes No. of Sheets 1

Increased cost of work Additional fee .25

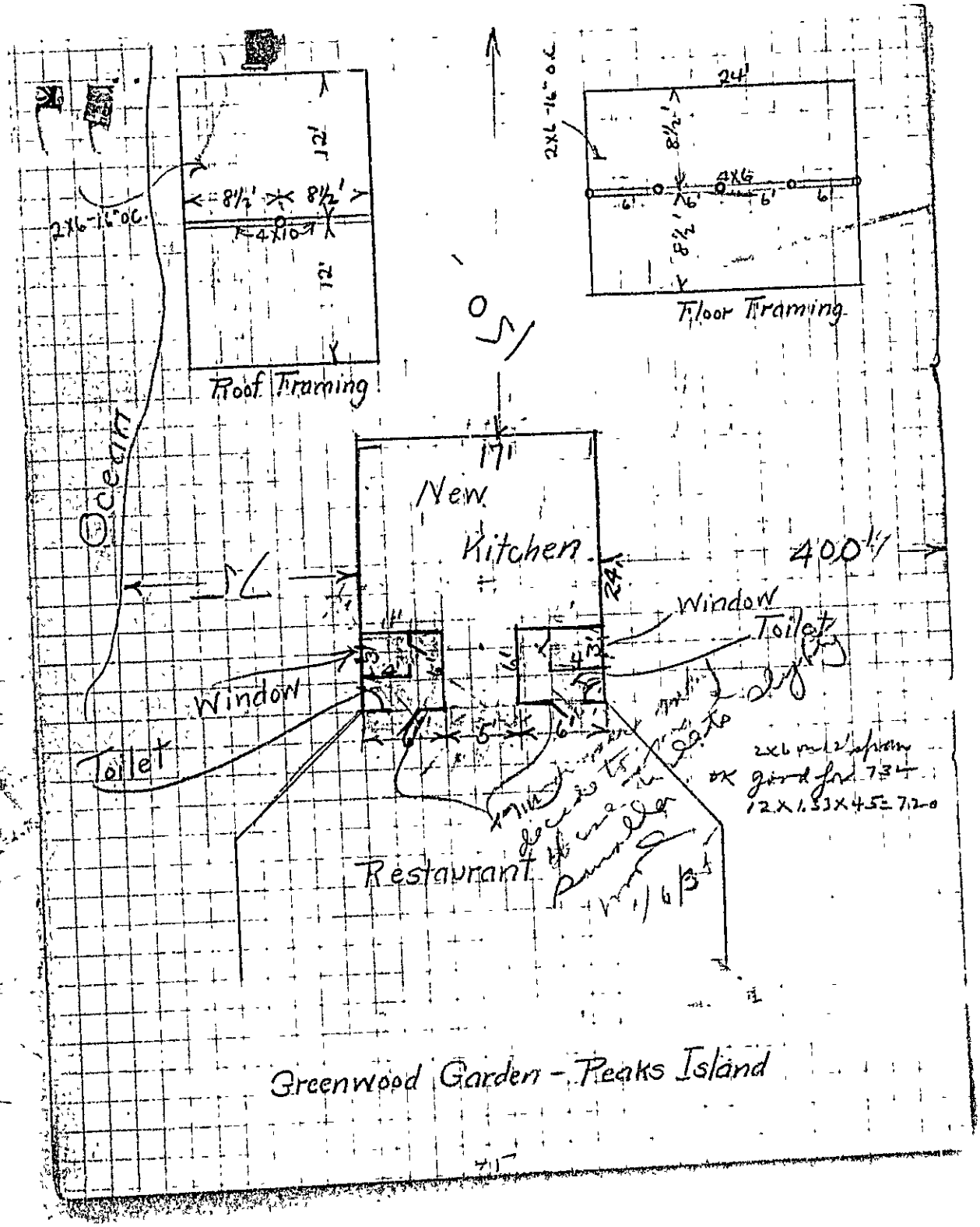
Description of Proposed Work

To locate toilets and vestibules as shown on plan filed with this amendment, and not as on original plan

Signature of Owner A W Jensen

Approved:

Approved: 6/11/36


Roof Framing
Floor Framing
2x6-16" o.c.
4x10
4x6
New Kitchen
Ocean
Window
Toilet
Restaurant
400'
Greenwood Garden - Peaks Island

APPLICATION FOR PERMIT

Permit No. PERMIT ISSUED 1568 SEP 24 1935

Class of Building or Type of Structure Third

Portland, Maine, Sept. 23, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Greenwood Garden, Peaks Island Ward 1al. 2 Within Fire Limits? No Dist. No.

Owner's or Lessee's name and address Anton W. Jensen, Peaks Island Telephone P-103

Contractor's name and address Owner Telephone

Architect's name and address

Proposed use of building Restaurant No. families

Other buildings on same lot

Plans filed as part of this application? Yes No. of sheets 1

Estimated cost $ 100.00 Fee $ .50

Description of Present Building to be Altered

Material Wood No. stories 1 Heat Style of roof Roofing

Last use Restaurant No. families

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

General Description of New Work

To erect one story frame addition on side of restaurant building to provide space for new kitchen and two new toilets. Windows at least 5 sq. ft. in area are to be provided for ventilation of toilet rooms. Doors to toilet and vestibule are to be made self-closing in such a way that there will be little chance of both doors being open at the same time. Partitions to be wood stud covered on both sides.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate 12'

Size, front 24' depth 17' No. stories 1 Height average grade to highest point of roof 16'

To be erected on solid or filled land? Solid earth or rock? Earth and ledge

Material of foundation Cedar Posts & Concrete Wall Thickness, top 10" bottom 12"

Material of underpinning Height Thickness

Kind of Roof Flat shed Rise per foot 3½" Roof covering Asphalt Roofing Class "C"

No. of chimneys No Material of chimneys of lining

Kind of heat No Type of fuel Is gas fitting involved?

Corner posts 4x4 Sills 4x6 Girt or ledger board? Size

Material columns under girders Wood posts on Concrete -4x6 Girder Max. on centers 8'

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. 4x10 girder on 8' span beneath roof

Joist and rafters:	1st floor 2x6	2nd	3rd	roof 2x6
On centers:	1st floor 16"	2nd	3rd	roof 16"
Maximum span:	1st floor 8½'	2nd	3rd	roof 12'

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner A. W. Jensen

INSPECTION COPY

Approved Wm B. Bentley Bldg. Insp.

Wd 2 Permit No 35/1568

Location Greenwood Gardens Peaks

Owner Anton N. Jansen

Date of permit 9/24/35

Notif. closing-in 8 4

Inspn closing-in R

Final Notif None 9

Final Inspn. 5/18/37. 2/6.

Cert. of Occupancy issued None

NOTES

12/23/35. Mr. George Joule doing this work. The 4x6 girder under the first floor has but two posts, one span is about 9'-0 with a lap splice in the girder and a 2x6 on each side. The other two spans are over 6-0, the distance shown on the plans. The roof has been changed from flat to pitch, 2x8 about 24" centers being used. The outside walls are 2x4-14'-0 with two horizontal 2x4, making three spaces. The outside walls are not sheathed. On 12/24/35 told Mr Jansen by phone that outside wall construction would have to be changed to 2x4 studs 16" o.c. The studding of the underpinning is to be made to conform with this also. The roof construction and the outside walls are sheathed. Mr Jansen said nothing more will be done until spring and he will close it in from the weather and notify before anything more is done.

5/20/36. Over [illegible] in previous permit. Toilet windows to open. Bridging in rear part not marked.

CB.

C-34-101-I

July 2, 1934

Mr. Anthon W. Jensen
Island Avenue, Peaks Island
Portland, Maine

Dear Sir:

We have a complaint that some person is attempting to operate some sort of a saw mill or power saw in the first part of the property known as Greenwood Garden which you are reported to own.

This property is apparently located in a Limited Business Zone where, under the Zoning Law, no use of buildings or property may be carried on which is objectionable to the neighborhood by reason of the emission of odor, fumes, dust, smoke, or noise. I presume the objection in this case is to the noise.

If this report is true, will you be kind enough to see that this operation is discontinued without delay?

Very truly yours,

Inspector of Buildings.

WM/HC

(B) LIMITED BUSINESS ZONE

Complaint No. C-34-101

CITY OF PORTLAND, MAINE

DEPARTMENT OF BUILDING INSPECTION

COMPLAINT

June 29, 1934

Location Island Avenue, Peaks "Greenwood Garden" Ward Isl.2

Owner's name and address Anthon H. Jensen, Peaks Telephone

Tenant's name and address Telephone

Use of building

General Description

Operating saw mill in violation of Zoning Ordinance

Complainant's name and address McD Telephone

Date of examination and conditions found

Action taken

INSPECTION COPY

(B) LIMITED BUSINESS ZONE

Ward Dist. 2 Complaint No. C-34/01

Location Greenwood Garden. Island Ave. Peaks

Date Received 6/29/34.

Date Disposed of 8/3/34

NOTES

6/30/34 - Letter to owner - mmd

FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED
Permit No. 1296
AUG 31 1933

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. *Portland, Maine,* August 31, 1933

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Greenwood Garden, Peaks Island

Name and address of owner Anton Jensen Peaks Island Use of Building Restaurant

Contractor's name and address Gerry & Colburn 11 Forest Ave. Ward Isl. 2

Telephone 2-2584

General Description of Work

To install 2 Gas-fired Ranges

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? — If not, which story 1st Kind of Fuel Gas

Material of supports of heater or equipment (concrete floor or what kind) wood floor 15" above

Minimum distance to wood or combustible material, from top of boiler or casing top of furnace over 15"

from top of smoke pipe _____, from front of heater over 4' from sides or back of heater 15"

IF OIL BURNER

Name and type of burner _____ Labeled and approved by Underwriters' Laboratories? _____

Will operator be always in attendance? _____ Type of oil feed (gravity or pressure) _____

Location oil storage _____ No. and capacity of tanks _____

Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____

Amount of fee enclosed? $1.50 ($1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of contractor By Gerry & Colburn

E. L. Colburn

52 HP

Ward 2d2 Permit No. 33/226

Location Greenwood Gardens, Peabody

Owner Austin Jansen

Date of permit 8/31/33

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 8/3/34

Cert. of Occupancy issued None

NOTES

X

C-33-185-I

August 23, 1933

Mr. Myrick A. Gorry
11 Forest Avenue
Portland, Maine

Dear Sir:

In the restaurant operated by Anton Jensen in what was formerly Greenwood Gardens, Peaks Island, we have found two ranges installed in the kitchen without a permit having first been secured from this department. I understand that you installed the ranges.

The Building Code of the City of Portland requires a permit to be secured from this department before the installation of such ranges is commenced, and such a permit may only be issued to the person, firm, or corporation which is to install the ranges.

I realize that you probably were not aware of this requirement, but it will now be necessary for you to make application at this office for a permit to cover the installation of the ranges in the same manner as though the ranges had not been already installed. The installation of both ranges may be covered in a single permit, the fee for which is $1.50.

Please attend to this matter on or before August 30, 1933.

Very truly yours,

Inspector of Buildings.

M/MC
Copy to Mr. Anton Jensen
Peaks Island, Maine

Dear Sir:

The Building Code also requires that these ranges be provided overhead with a hood of sheet metal or other incombustible material, fully covering the area of the ranges, and hung or otherwise supported on incombustible supports not less than 9" below all parts of the ceiling or combustible material overhead. Please arrange to have this hood installed without delay.

We also find an oil burning heater for hot water installed in the same

(Over)

(B) LIMITED BUSINESS ZONE

Complaint No. C-33-165

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

COMPLAINT

Rec'd 8/23/53

Location Greenwood Garden, Peaks Island Ward Island 2

Owner's name and address Anton Jordon Peaks Island Telephone

Tenant's name and address Telephone

Use of building

General Description

Two restaurant ranges installed without permit by Myrick A. Gerry, 11 Forest Avenue, no hoods. Also installed oil burning heater for hot water without permit.

Complainant's name and address Bldg. Insp. Dept.-W. McD. Telephone

Date of examination and conditions found

Action taken

INSPECTION COPY

(B) LIMITED BUSINESS ZONE

G.J.S.

Ward 2e 2 Compiaint No. C-33-165 2e

Location Greenwood Garden, Peak

Date Received 8/23/33

Date Disposed of 7/20/34

NOTES

8/31/33 - Mr. Coltman
J. Gerry & Coltman
applied for and
obtained permit.

7/20/34 - Mr. McDonald
says this oil burner
burns from wick so
no permit necessary.
G.J.S.

33/030-I

Copy to Mr. O. C. K. Robinson, 17 Fitch St., Westbrook, Maine

June 6, 1939

Mr. Anton Jensen
Peaks Island
Portland, Maine

Dear Sir:

With reference to alterations which you are making in the building formerly used for a merry-go-round in Greenwood Garden, Peaks Island, to make of the building a restaurant, the Building Code requires at the very least that the floor of this building be capable of supporting at least 75 lbs. per square foot. The floor itself amounts to about 2 lbs. per square foot or more. Therefore it seems necessary to require that the floor be made capable of supporting a total of 80 lbs. per square foot.

An inspector from this office reports that the present floor timbers are 2x6, 16" on centers on a 10' span, which figures out to be good for a total safe load of 68 lbs. per square foot, a deficiency of 14 lbs. per square foot. These floor joists in turn are supported upon 6x8 girders laid with the six inches vertical on an 8' span. These girders figure out to be good for a total safe load of 55 lbs. per square foot or a deficiency of 25 lbs. per square foot.

Please have some person capable of figuring the strengthening of this floor, design additional members to bring the floor up to the Building Code requirements, and submit the proposed strengthening to this office before the work is done for checking.

Very truly yours,

Inspector of Buildings.

MT/HO

(B) LIMITED BUSINESS ZONE

PERMIT ISSUED

APPLICATION FOR PERMIT

0680

JUN 5 1933

Class of Building or Type of Structure? Third Class

Portland, Maine, June 5, 1933

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Greenwood Garden Peaks Ward Isl.2 Within Fire Limits? no Dist. No.

Owner's or lessee's name and address Anton Jensen, Peaks Telephone

Contractor's name and address C. G. K. Robinson, 17 Fitch St. Westbrook Telephone 691

Architect's name and address

Proposed use of building Restaurant No. families

Other buildings on same lot pavilion

Plans filed as part of this application? no No. of sheets

Estimated cost $ 100. Fee $ .60

Description of Present Building to be Altered

Material wood No. stories 1 Heat no Style of roof octagon Roofing Asphalt

Last use merry-go-round No. families

General Description of New Work

To partition off kitchen app 10' x 17' and cut in two new entrance door, these doors to swing outwards.
To Use building for restaurant
The floor of the building is to be made so as to adequately support a restaurant floor load according to Building Code requirements
Existing openings in building, to be provided with casement windows, no structural change

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys no Material of chimneys of lining

Kind of heat cooking by electricity Type of fuel Is gas fitting involved?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Anton Jensen

INSPECTION COPY

Signature of owner

By C. G. K. Robinson

9066

Ward 2 Permit No. 33/680

Location Island Ave. Veeks

Owner Dustin Jensen

Date of permit 6/3/33

Notif. closing-in

Inspn. closing-in 84

Final Notif. K

Final Inspn. 6/15/33 9

Cert. of Occupancy issued None

NOTES

6/5/33 - Required floor load for restaurant floor is 100 lbs. to the square foot. A.J.S.

6/7/33 - Floor timbers 2x6 16" o.c. on 10' span. Girders 6x8 flat on 8' span. A.J.S.

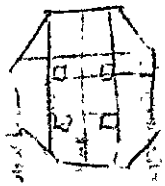
$\frac{880}{11\frac{1}{3} \times 10}$ = 66 lbs. per sq. ft (floor)

$\frac{4400}{80}$ = 55 lbs per sq. ft (girder)

6/8/33 - Letter - [illegible]

6/9/33 - [illegible] Robinson [illegible] will put 6 x 6 built up of 3 - 2x6's in center of span of 2x6. with posts under every 8 ft. This is OK. [illegible]

6/16/33 - Floor streightened A.J.S.



Original Permit No. PERMIT ISSUED

Amendment No. 1

JUN 23 1933

AMENDMENT TO APPLICATION FOR PERMIT

Portland, Maine, June 15, 1933

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 33/585 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Torrington Point, Peaks Is. Ward Isl2 With the Fire Limits? no Dist. No.

Owner's or Lessee's name and address Joseph R. Tratt Peaks Island

Contractor's name and address Owner

Plans filed as part of this Amendment no No. of sheets

Description of Proposed Work

To change the use of this building from storage of boat equipment to single car garage cutting in new double door opening approx. 7' x 7' using 4x4 header in rear of building. To set building on rock foundation and put in new wood floor using 2x6, 12" O. C. 15' span

Signature of Owner Joseph R Tratt