255

APPLICATION FOR PERMIT

PERMIT ISSUED
APR 26 1954
CITY of PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, April 26, 1954

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: 54-R-9 Island Ave.

Location Greenwood Gardens, Peaks Island Within Fire Limits? _____ Dist. No. _____

Owner's name and address Henry Hoar, Peaks Island Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address N. A. Whitton, Peaks Island Telephone _____

Architect _____ Specifications _____ Plans no No. of sheets _____

Proposed use of building _____ No. families _____

Last use Garage and storage No. families _____

Material frame No. stories 1 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot Theatre

Estimated cost $ _____ Fee $ .50

General Description of New Work

To demolish existing 25'x30' building.

No sewer connection

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** N. A. Whitton

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

_____

_____

_____

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Henry Hoar

INSPECTION COPY

Signature of owner By: N. A. Whitton

pH

54

Permit No. 54/495

Location Greenwood Gardens

Owner Henry Hamm Peachtree Dr

Date of permit 4/26/54

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

5-2-57

Island and Peaks Island

Folder 84-R-9.

[illegible] - 84-R-3.1 - NO FOLDER

Bowling alley

Following Permits removed from Folder 84-R-9

and letters

5-18-22

OCT-27-1921

June-17-1940 -

June-15. 1950 - letter

June-6. 1950. Memo to City Clerk

OCT 27 1950 Filing Permit 1950/02106

Feb 8-1950 Permit + letter Filing 1950/154 — Lapsed

[illegible] - 8 - [illegible]

(5) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
01081
JUN 20 1951
CITY of PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, June 20, 1951

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE 84-R-9

The undersigned hereby applies for a permit to erect alter repair demolish remove the following building structure in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Within Fire Limits? no Dist. No.

Owner's name and address Rhode Island Summer Theaters, Inc., Peaks Island Telephone

Lessee's name and address Telephone

Contractor's name and address Charles Franco, Peaks Island Telephone

Architect Specifications Plans yes No. of sheets 1

Proposed use of building Theater

Last use " No. families

Material wood No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ 100. Fee $ 50

General Description of New Work

To construct platform and stairway outside of stage door entrance approximately as per sketch attached. The exterior stage door is to be equipped with vestibule latchset.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO

Permit Issued with Letter

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Rhode Island Summer Theaters, Inc.

INSPECTION COPY

Signature of owner by: Horace Gale McNair

Permit No. 51/1081

Location Island Ave, Peaks Island

Owner Rhode Island Summer Theatre Inc

Date of permit 6/20/51

Notif. closing-in

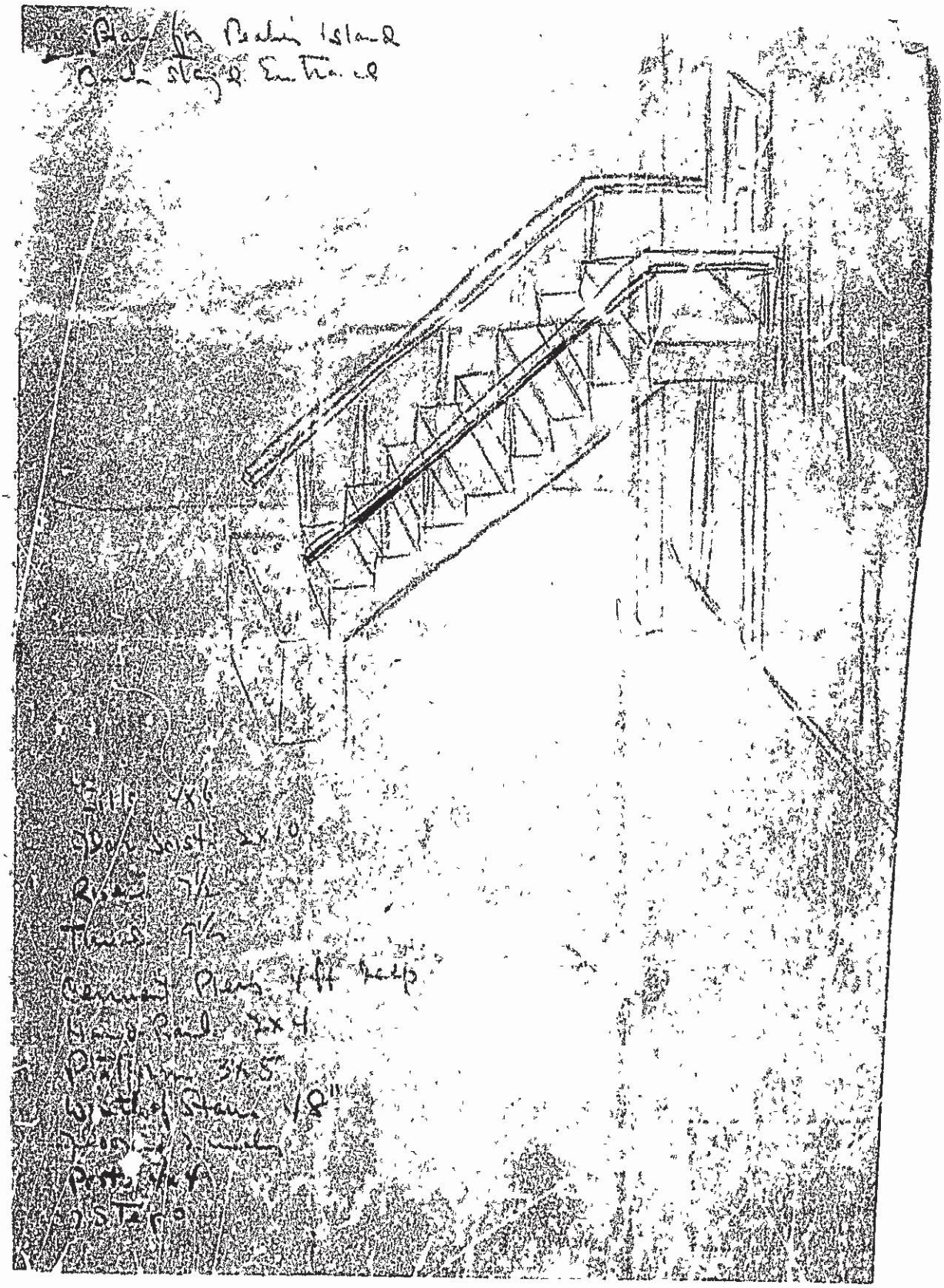
Inspn. closing-in

Final Notif.

Final Inspn. 6-27-51 & C.

Cert. of Occupancy issued None

NOTES


Beach Island
Deck stage Entrance
Sill 4x6
90/4 Joist 2x10
Rail 5/4
Treads 5/4
Carried Plank 1 ft high
Side Rail 2x4
Pickets 3x5
Wrought Stain 1/2"
Posts 4x4

A= Island Avenue, Peaks
Island-I (Theatre)

June 20, 1951

Mr. Horace Greeley McNab
Rhode Island Summer Theatre, Inc.
Antoine Inn
Peaks Island, Maine

Copies to: Mr. Charles Franco
Peaks Island, Maine
Mr. Edward Gould, Decorators Realty Corp.
839 Utica Avenue, Brooklyn, N. Y.
Oliver T. Sanborn, Chief
of the Fire Department

Dear Mr. McNab:

Building permit to cover construction of platform and stairs at stage entrance door of the Peaks Island Playhouse in Greenwood Gardens, Island Avenue, Peaks Island, is issued, herewith, with a copy of this letter to Mr. Franco, and subject to the following conditions. If you or Mr. Franco do not understand these conditions or, if, for any reason you are unable to abide by them, by all means contact this office immediately before the work is started.

The outside platform is to be approximately at stage floor level without appreciable step-down under the outward swing of the door. The 4x6 sills are to outline the platform on three sides with lap splices at the outer corners, supported on wooden 4x4 posts at outer corners and either supported upon the frame of the building at the exterior wall or on 4x4 posts as indicated on the plan.

The posts under platform are to be supported on concrete foundation piers and anchored thereto by metal dowels cast into the piers, the piers to extend no less than 4' below the grade of the ground and no less than 6" above, to be no less than 8" in least cross sectional dimension at the surface of the ground and no less than 10" at the bottom of the pier. If wooden posts are used against the theatre wall and they will not get a bearing on the foundation of that wall, then similar piers will be required under them.

The sketch indicates the floor joists of platform as 2x10 but no such depth of joists is required because of the short span. The joists must be fraxed properly, however, either notched over no less than 2x3 nailing strips spiked to the sills with the edge of nailing strips flush with bottom edge of sill, or joists must get their bearing on the upper edge of sills.

The foundation pier indicated of concrete at the bottom of the steps is to be no less than 8" thick at the grade of the ground and no less than 10" thick at the bottom of pier, to extend no less than 4' below the surface of the ground and no less than 6" above. It is quite common, and is acceptable in this case, to make this pier long enough and wide enough and thick enough to form the bottom step and still support the lower end of the wooden stairway. In that case the handrails are to be carried clear to the lowest riser which would be the face of the concrete pier.

The present stage entrance door is to be equipped with a vestibule latchset, which is one so arranged that any person on the inside can quickly open the door at any time without requiring a key or special knowledge, merely by turning the <u>usual</u> knob—and all other fastenings of every description removed from the door.

You and I today went over the stipulations in my letter to Mr. Gould of June 14, 1951. It appears that all of these requirements are in the way of being met, except anti-panic hardware on the double exit doors facing towards Forest City Landing. Every effort is to be made to procure and install the proper anti-panic hardware (crash bar across each door full width) before the opening date. If that

is not possible due to the difficulty of procurement, if you will file here written acknowledgement of your order for the hardware, we are willing to approve the license on the same temporary basis as last year--leaving all fastenings off the doors except at nighttime and seeing to it that a fireman is on duty at all times when the theatre is open for the public. In any event the hardware is to be procured and installed at the earliest possible time and this office notified when it is installed.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/G

OJH

PERMIT ISSUED
00940
JUN 1 1951
CITY of PORTLAND

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, June 1, 1951

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~install~~ repair ~~demolish~~ the following building ~~structure equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island 84-R-9 Within Fire Limits? no Dist. No.

Owner's name and address Decorators Realty Corp., 639 Utica Avenue, Brooklyn, New York Telephone

Lessee's name and address Telephone

Contractor's name and address owners Telephone

Architect Specifications Plans no No. of sheets

Proposed use of building Theatre No. families

Last use " No. families

Material wood No. stories 1 Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ 1,000. Fee $ 4.00

General Description of New Work

To repair after fire to former condition without alterations and without change of use but if conditions in the areas of repair are found to be dangerously substandard of Building Code requirements, both Building Department and owner will be notified immediately.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** owner

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Decorators Realty Corp.

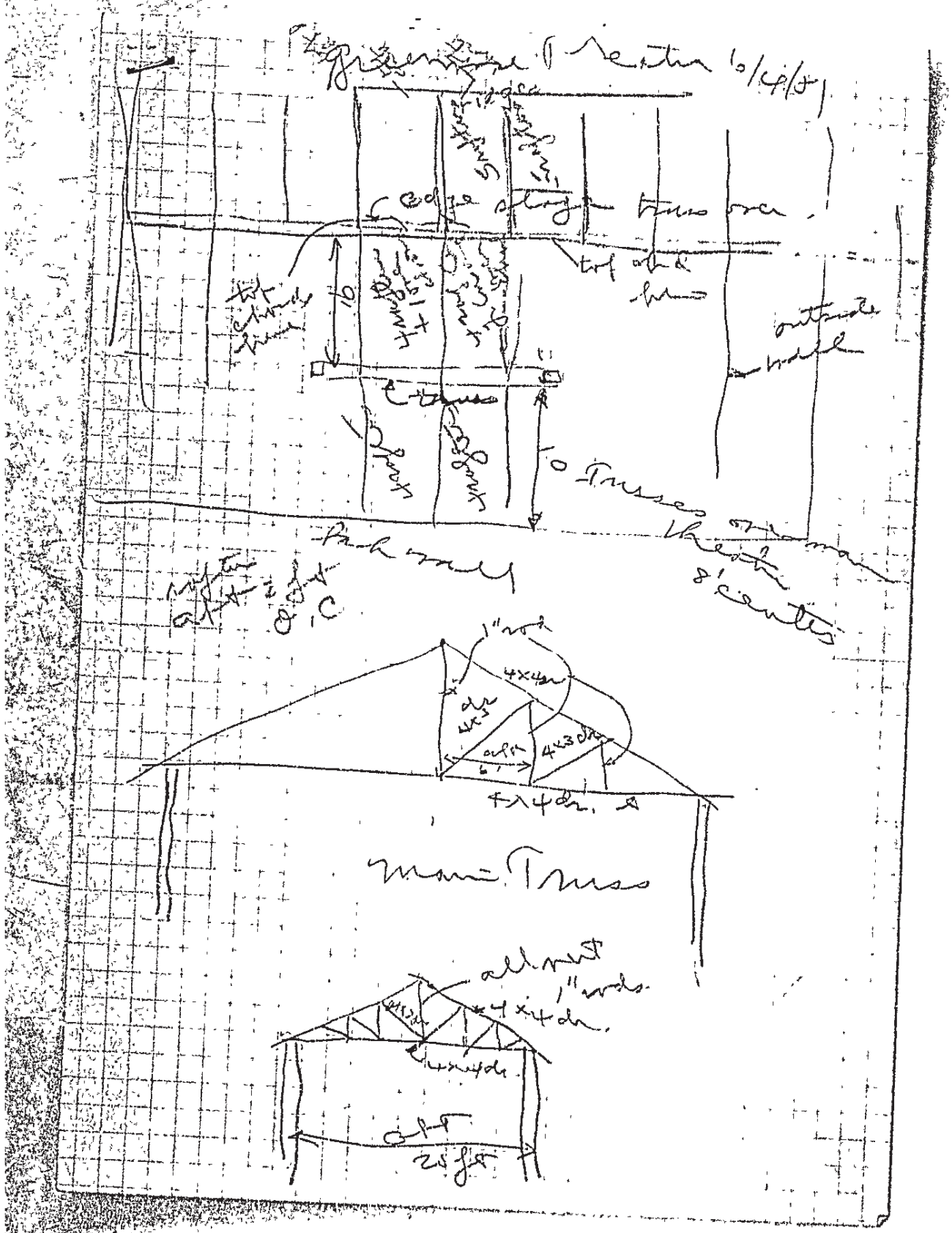
INSPECTION COPY

Signature of owner by: Howard Jones

Permit No. 51/940
Location [illegible]
Owner [illegible]
Date of permit 6/1/51
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 6-14-51 [illegible]
Cert. of Occupancy issued None

NOTES

6-4-51 Zone officer [illegible] 1/50 FT.
can stand damage to roof
but there is considerable smoke
and char. This should be looked
over at close range & determine
depth of char. [illegible]
6-4-51 Inspection by [illegible] in afternoon
see attached plan.
6-12-51 Having up some trouble
out side, work not started [illegible]
6-18-51 Work practically completed
[illegible] of plastering & [illegible]
[illegible] two [illegible] bathrooms
over the shed & town. Permit
[illegible] work [illegible]
[illegible] of trusses. Further
inspection not required. Hold
this for amendment covering
[illegible] work. [illegible]


Truss
Back wall
Main Truss
all nails
1" nds.
4x4 dn.
24 ft

(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
01054
JUN 30 1950
CITY of PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, June 22, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair demolish move~~ the following building ~~structure~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Islan Avenue, Peaks Island Within Fire Limits? no Dist. No.

Owner's name and address Peaks Island Playhouse, Inc., Peaks Island Telephone

Lessee's name and address Telephone

Contractor's name and address owners Telephone

Architect Specifications Plans yes No. of sheets 1

Proposed use of building Theatre

Last use " No. families

Material wood No. stories 1 Heat Style of roof Roofing No. families

Other buildings on same lot

Estimated cost $

Fee $ 1.00

General Des ·ption of New Work

To provide rearrangement of seats, aisles and means of egress as per sketch.

For plans see G. A. file
6/20 57

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** Albert Frederick, Peaks Island Playhouse

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board?

Girders Size Columns under girders Size Size

Studs (outside walls and carrying partitions) 2x1-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Ethan A. Greenwood

CHIEF OF FIRE DEPT.

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Peaks Island Playhouse, Inc.

INSPECTION COPY

Signature of owner by: Albert Frederick

1-750

Permit No. 50/1054

Location Island Ave, Peaks Island

Owner Peaks Island Playhouse, Inc.

Date of permit 6/30/50

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

INSPECTOR'S REPORT

(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, ~~May 15, 1950~~ new plan 5/29/50

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Ave., Peaks Island (Greenwood Garden) Within Fire Limits? _____ Dist. No. _____

Owner's name and address ~~[illegible]~~ Decorators Realty Corp., 639 Utica Ave., Brooklyn, N. Y. Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address Herbert Cail, 52 Kaplewood Street Telephone _____

Architect L.C. Andrew Specifications _____ Plans yes No. of sheets 1

Proposed use of building Summer Theatre No. families _____

Last use " " No. families _____

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost $ 1750. Fee $ 5.00

General Description of New Work

To construct 2-story addition 30' x 24' x 20' high to the stage section.

F 4-F-9-L

not to be built

6/27/50

Sent to Fire Dept. 5/31/50

Rec'd from Fire Dept. 5/31/50

~~This application is preliminary to get settled the question of zoning appeal. In event the appeal is sustained the applicant will furnish complete information, the estimated cost and will pay legal fee.~~

Appeal sustained conditionally 5/18/50

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO***

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters:	1st floor _____,	2nd _____,	3rd _____,	roof _____
On centers:	1st floor _____,	2nd _____,	3rd _____,	roof _____
Maximum span:	1st floor _____,	2nd _____,	3rd _____,	roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

[signature]

CITY OF PORTLAND, MAINE

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Wel-Made Realty Company

Signature of owner By: Howard Jones

INSPECTION COPY

Permit No. [illegible]

Location [illegible]

Owner [illegible]

Date of permit [illegible]

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

6-27-00 Charge [illegible] NOTA[illegible]
work not to be done
W-Mar -(D.G.)

WARREN McDONALD
INSPECTOR OF BUILDINGS

On reply refer
to file AP Island Avenue, Peaks Island-I (Greenwood Garden)
FU 6/26/50/M

CITY OF PORTLAND, MAINE

Department of Building Inspection

Do not sent but send with copy of appl file

Registered Mail-Return Receipt

June 19, 1950

Mr. Edward Gould
Decorators Realty Corporation
835 Utica Avenue
Brooklyn, New York
Mr. George Jordan
Peaks Island, Maine

Copies to: Mr. Edward Gould, Actor's Inn
Island Ave., Corner of Welch Street
Peaks Island, Maine
Walter Tapley, Esq., 465 Congress Street
L. C. Andrew, 187 Brighton Avenue

This letter not sent but read by Mr Gould in this office 6/19/50

Gentlemen:

Following my letter to Mr. Gould about the revised plans of the addition to the Greenwood Playhouse at Peaks Island, no additional plans have been filed, but our inspector did go to the Island and find out what had been done.

Practically all of the concrete piers called for on the foundation plan which Mr. Gould filed here and on which my former letter about non-compliance with the Building Code was based, had been built and the sills laid—without any permit having been issued. In addition to that, a crude attempt has been made to construct the new emergency exit platform on the side toward the harbor, that too without any permit.

Over the telephone Mr. Jordan freely admitted that he was responsible for the construction of the piers without a permit, but claimed that he was instructed to build them over the telephone by Mr. Gould who said that the permit was ready to be issued or had been issued or something to that effect. This is not to excuse Mr. Jordan in any way, for he is well aware that no such work is to be started until the permit card is on the premises.

To add to the difficulty the new piers are not in the right locations to take care of the addition as talked over with the Andrew draftsman, Mr. LaPierre. Neither are the piers in such a location with regard to the property line as to place the wall of the addition at least 3' from the property line as required by the Board of Appeals in granting the Building Code appeal several weeks ago.

We have done everything we know how to do, even considerably beyond our line of duty, to help along this project, and it is difficult to estimate how anyone would allow this work to proceed in this fashion. We shall still try to help straighten the matter out, but it is my own duty to see that the building law is complied with, and it certainly has not been in this case up to now.

This letter is official notice to the owner of violation of the Building Code, and, as authorized and directed by Section 109 of the Building Code (copy enclosed to each of you) this letter is an order to each of you to have this violation made good before June 26, 1950.

To make good the violation it is necessary to remove completely the exit platform and steps on the harbor side of the theatre (employees of the owner freely admitted putting this up), and to remove the sills for the addition and all of the piers which are not in a suitable position to support the addition in compliance with Building Code requirements.

We shall also expect a few of the piers that may be in the right location and can remain, if there are any such, to be uncovered so that we can see the depth below the surface of the ground and the fact that the footings called for by the plan have been provided.

Mr. Edward Gould
Mr; George Jordan----------2

June 19, 1950

Mr. Gould has made several attempts to explain about arrangement of the new seating for the theatre. The last time hewas in the office he took out some cross section paper with him, intending to make a plan of his own showing the arrangement proposed for the seats, distance back to back, width and location of aisles, including cross aisles--leading to the exits. Section 206-i-2 of the Building Code referring to theatres requires that such a change of seating and aisles requires a permit from this department which must be approved by the Chief of the Fire Department, and that to install such seats or change such aisles without such a permit constitutes a violation of the Building Code. It is hoped that we can get this matter right from the outset.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/G

Enclosure to each adressee: Copy of Section 109 of the Building Code

Island Avenue, Peaks Island-I
(Greenwood Garden)

June 2, 1950

Mr. Edward Gould
Peaks Island, Maine

Copies to:
Mr. Herbert Cail, 52 Maplewood Street

L. C. Andrew
187 Brighton Avenue

Walter Tapley, Esq., 465 Congress Street

Gentlemen:

There are discrepancies, uncertainties or omissions in the plan filed with application for permit to cover addition and alterations of the Greenwood Garden Theatre at Peaks Island. Much as we desire to assist in getting started, we cannot issue a permit for any of the work until revised plans have been filed showing compliance with Building Code requirements.

I will try to recite these questions and deficiencies in what seems to me to be the order of their importance with the more important at the beginning:

1. Mr. Gould says he wants the entrance at end toward Forest City Landing. Section 206-a-11 of the Code provides that the auditorium floor shall not be more than 3' above the grade of the ground at the main entrance. The plan shows the floor to be raised 20" above the present level. Therefore, if the present floor is more than 16" above the grade, the floor cannot be raised at least as high as planned.

2. If the record of the floor framing and supports, which we have, is correct, the floor is far short of the usual strength required for theatre floors; so that the added weight of material could not be allowed unless the framing can be so designed that the weight of and weight on the raised floor would go directly to the present foundation piers, which our record shows are generally 10' on centers in both directions.

3. Neither the framing beneath floor of the addition nor that of the raised floor is shown as required for heavy timber construction by Sections 302-b-1, b-2 and b-3 of the Code, called to attention in my letter to Mr. Gould of May 16. The floor of addition is to be designed for 100 pounds per square foot superimposed load and the raised portion of floor for 50 pounds per square foot.

4. I can find on the plan no framing, supports or foundations of the proposed new exit platform and steps or of the entrance platform and steps which are to be raised.

5. Framing and supports and foundations are not made clear where addition will join irregular outline of back stage. Existing exit door, platform and steps from back stage are eliminated and must be replaced by ordinary sized door with suitable hardware and steps to ground. The large sliding door for taking in scenery will not meet the requirements for exit.

6. Seating and aisle arrangement is not shown on latest plan. If not shown now, arrangement must be shown later with application for amendment to construction permit and must be approved by the Chief of the Fire Department as well as comply with Building Code. By this delay you run the risk of not having the arrangement work out with location of exit doors. No seats are to be installed until approved.

7. Anti-panic hardware is to be shown on the new exit doors, and that means a "crash" bar across approximately the full width of each door which will positively operate all fastenings on each door upon pressure from the inside. It is assumed that the entrance doors and the other exit doors already have this type of hardware, if not, it is necessary to provide it now.

8. An exit light is not required to indicate the habitual entrance, but standard exit lights, as described by the Building Code, are required for the new emergency exit and for the other exits if not existing. Note that the standard exit light has letters of the word exit at least 4½" high shown in red on an appropriate background. White lights are required outside all of the exit doors and the entrance doors. An exit light or a clear exit designation always illuminated is required over the passageway and the new exit door from back stage and a white light outside that door also. As far as practicable all of the inside exit lights and the outside white lights are required to be controlled by a single switch marked "exit lights" on the panel.

9. An emergency lighting system is required to be operative in event the main current supply should fail, and this system must be of a type approved by the Chief of the Fire Department.

10. We shall not insist upon the inside of walls of addition being covered or the exposed roof joists, but if they are covered, the covering must be of non-burnable material or flameproofed material. If flameproofed material is used, it will have to be flameproofed to the satisfaction of the Chief of the Fire Department and the method approved by him before the operation is started. This point should be determined and the information given with the revised plans before the permit is issued. Section 206-f-4 of the Building Code.

11. It is my recollection that the present theatre is open beneath the floor so that one can look inside of it from the harbor side at least. We shall not insist upon these openings being closed as indicated on the plans, but the space beneath the floor of the addition will have to be closed, the material being indicated as asbestos siding. It is not clear how this siding would be supported. It would seem easier to stop off the piers 6" above the grade and run posts from the top of piers to the underside of sills, thus giving woodwork to frame onto to hold the siding. The wood posts in that case should be 6x6 dressed all four sides.

12. The 2x8 roof joists will have to be no more than 20" on centers instead of the 24" shown in order to work out for strength, and these joists require no less than 1x3 cross bridging in each span.

13. A number of details as to framing are called to attention which should be shown or corrected on the plan:
Studs in outside walls and corner posts are to go down to the top of the sill for a bearing.
Studs in outside walls require intermediate bracing because their unsupported height would be more than 10'.
Corner posts should be doubled 2x4 or 4x4.

14. Handrails are required on both sides of the steps from new exit platform and on both sides of the steps of the entrance platform to be raised to accommodate the raised floor. There is to be no appreciable step-down, other than the normal threshold, beneath the outward swing of the new exit doors or the entrance doors, but the platform outside is required to be approximately level with the floor inside.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/O

6-14-50.
86.

Peaks Island Playhouse - Greenwood Garden - Peaks
Check on Location of Proposed Work as called for on application of May 15, 1950

There is a total of 27 piers now in (spaced as shown on back of May 29. 1950 print). With the exception of one 24'x28' pier, all piers are 9" dia.

The min. above grade is 6" and max. about 3', crew around said they were down 4', but could not check without digging.

Where addition joins old building at stage entrance there is considerable question. This has two jogs,-in one case a nailer on the outside of the old bldg. (condition of old sill not determined) the other case the new piers are abt. 12" from present bldg.

The old stairs from stage level to grade have been removed, and the new difference between storage bldg. and stage level is 39" to be overcome by stairs or ramp.

The rear fence, which is probably rear line, is quite irregular and questionable as to 3' clearance from rear wall of new storage space as new piers are flush with present bldg. wall not set back as shown on plan filed May 29,1950. The post side of the fence is toward the playhouse so assuming the fence is on playhouse property it is abt. 30" from line at stage door (it is 24" present bldg. to post of fence). This is the minimum and if fence and storage bldg. run parallel, figure would of course follow through.

The new platform, water side, has been built but construction is such that it will be easier to demolish and rebuild. Plan calls for detail.

AP Greenwood Theatre
Peaks Island

June 14, 1950

Mr. Edward Gould, sent to Actor's Inn
Greenwood Theatre,
Peaks Island

Dear Mr. Gould:

You were in the office yesterday(Tuesday), but went away again before I could finish with the telephone call in which I was engaged when you came in. Because I have to be out of the office quite a lot, and because the status of the theatre job requires it, a nunderstanding should be reached immediately--therefore this note in case I should be out when you come in again. In case I am out and you can come back later, if you will tell when I will try to be on hand. I have a fairly lengthy conference with the Planning Director at two, today(Wednesday), however.

Will you be good enough to file the revised plans and also the proposed seating plan, even though I am not in the office, if these plans are finally in shape to show what you want to do?

A new difficulty has arisen, through no fault of ours. I learned yesterday from Contractor Jordan, that he has proceeded to build many, if not all of the foundation piers for the addition based on the former plan. When reproached for building them without a permit, he said that you phoned that your attorney had said that the permit was issued. We are not disposed to fuss for the moment about this work having been done without a permit, but the important thing is that he has probably built the wrong numberof piers and in many of the wrong places. Our inspector is going to the island this morning to find out just what has been done, so we may be in a position to adjust the situation as best we can as soon as possible.

Andrew's draftsman came into the office, and I spent perhaps two hours with him working things out and trying to help get the job straightened out. Surprisingly enough I found that you had not instructed them to omit the raised floor and entrance platform. I told them what you had told me, and that they would have to get confirmation from you.

As soon as you have filed the plan of the layout and have furnished the seating and aisle plan you have decided upon, and we have found out what the foundation situation is, we will check the plans. Till those things have happened we can do little to help you, and we cannot issue the permit until the plans show reasonable compliance with Code requirements.

Very truly yours,

Wm. [illegible]

Inspector of Buildings.

Copy to Mr. MacDonald

187 Brighton Avenue
Portland 4, Maine
June 10, 1950

Mr. Edward Gould
9110 Avenue A
Brooklyn, New York

Dear Sir:

In accordance with a letter recently received from the Building Inspector, Mr. LaPierre has been in the Building Inspector's Office and gone over the details with Mr. MacDonald. The various details on the plan that needed correction have been taken care of. We understand ~~now~~ that the raised platform in the auditorium is now going to be dispersed with.

We thought it best to let you know that our part of the corrections for the new storage building has been taken care of. A copy of this revised plan is at this office for you to present to the Building Inspector. We feel sure that the corrections we have made will take care of your qualifications for the permit.

Very truly yours,

L. C. Andrew

by D. Kilton Andrew

DKA/mcg

At Island Avenue, Peaks Island
(Greenwood Gardens)-I

May 16, 1950

Wel-Made Realty Company
Attn: Mr. Edward Gould
Peaks Island, Maine
639 Utica Avenue
Brooklyn, New York

Copy to: Owner
Mark Barrett, Assistant Corporation Counsel

Gentlemen:

Building permit intended to cover construction of one story addition about 30' x 24' and 20' high to the summer theatre in Greenwood Gardens, Island Avenue, Peaks Island, is not issuable under Section 206c of the Building Code because the allowance in this section that summer theatres may be of wooden frame construction includes the provision that all parts of such buildings shall be no less than 30' from any property line dividing lots of private ownership, while this addition is proposed only 8' from the nearest property line.

You have indicated your desire to seek an exception from the Board of Municipal Officers, which is the Board of Appeals under the Building Code, on the ground that enforcement of the Code in this specific case involves practical difficulty and unnecessary hardship and that relief may be granted without substantially departing from the intent and purpose of the Code.

There is enclosed, therefore an outline of the appeal procedure.

Alterations in the building, other than the above are proposed, and you are to file a completed application for building permit to cover all of the changes with detailed plan of all of the changes, the application referred to above being preliminary to get settled a question of distance from property lines.

If your appeal should be successful, no permit would be issuable until you have satisfied the requirements of the Building Code by furnishing with the final application detailed plans showing all proposed arrangements. While I can appreciate your need of haste in getting the job started on account of the approach of your short season, you can best serve your own ends in that connection by making the plans complete to show compliance with Building Code requirements. The permit when issued will be for the work as shown on the plans and only that.

I have been over the proposition in some detail with Mr. Gould, and a copy of this letter is enclosed for the one who is to make these plans.

With reference to Section 206c of the Code all parts of the proposed addition, if allowed, below first floor level and all parts of the new framing for the raised floor, and all parts of the adjusted entrance and exit platforms are to be Heavy Timber Construction for fire protection purposes. With reference to Section 206-f-4, since the proposed addition would be exposed to the stage and therefore to the auditorium, the interior of the walls is to be covered with incombustible or flameproofed material; the floor of the addition and the raised floor are to be constructed so as to be tight; and space beneath the floor of addition is to be firestopped against fire from outside of building reaching the space beneath the floor of the addition.

A description of the requirements for Heavy Timber Construction will be found in Sections 302-b-1, b-2 and b-3 of the Code.

The Chief of the Fire Department has passed briefly on the plans and says that if the addition is to be built he feels that an additional exit should be provided in the end wall toward Forest City Landing or in the side wall facing the harbor on the end of it toward Forest City Landing.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/G

Enclosure: Outline of appeal procedure

File: Greenwood Theatre, Peaks

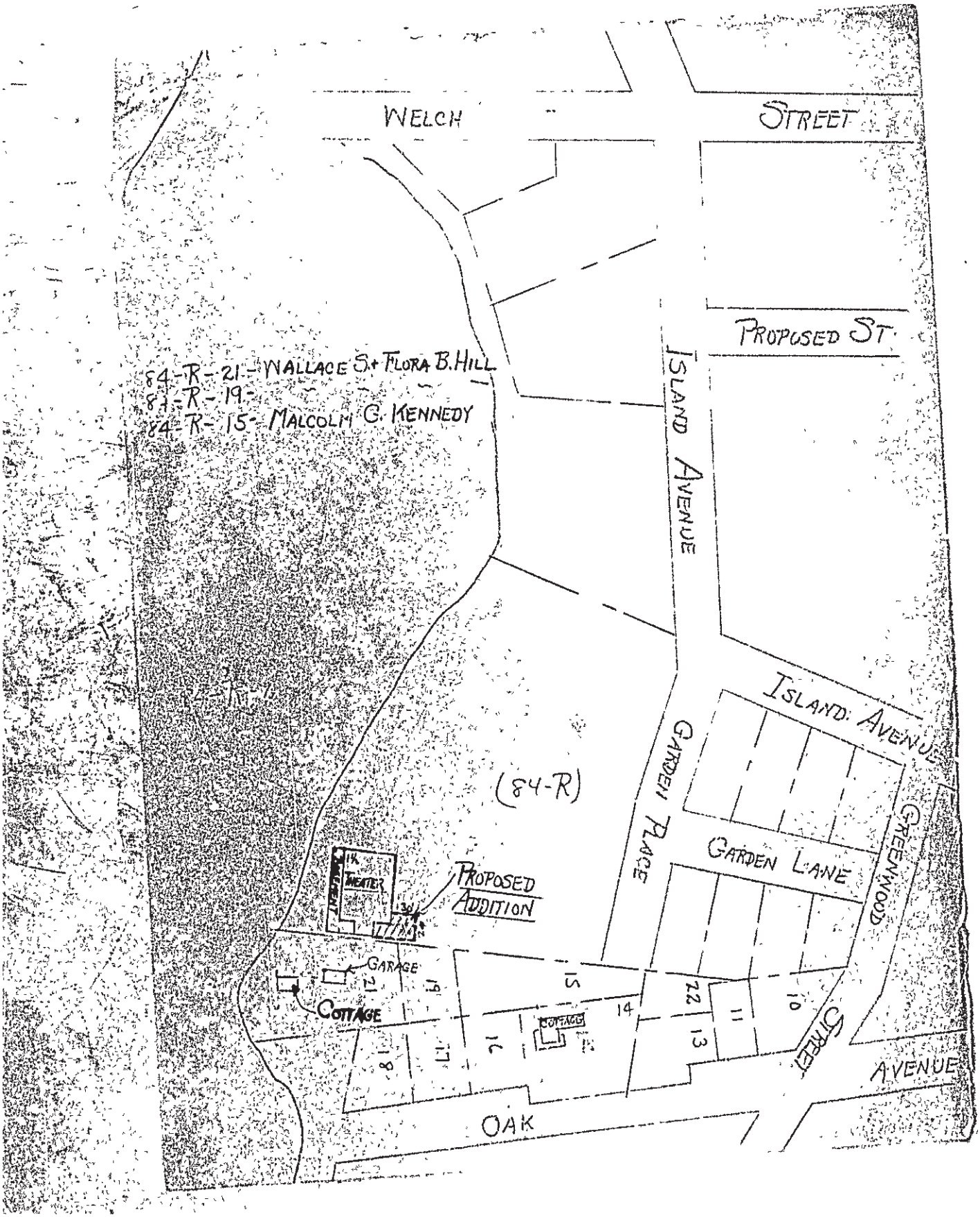
Lyman S. Moore,
City Manager

Warren McDonald,
Inspector of Buildings

Bldg. Code Appeal a/c Greenwood Theatre, Peaks Isld.

In event the Board decides to sustain the appeal relating to closeness to lot line of addition to the theatre, it is recommended that they require the wall includingany overhang of eaves or cornice to be at least thre e feet from the line and that owner be required to care for roof drainage so that water will not run on the adjoining property

Inspector of Buildings.


WELCH
STREET
PROPOSED ST
84-R-21-WALLACE S. + FLORA B. HILL
84-R-19-
84-R-15-MALCOLM G. KENNEDY
ISLAND AVENUE
ISLAND AVENUE
GARDEN PLACE
GARDEN LANE
GREENWOOD
STREET
AVENUE
OAK
(84-R)
PROPOSED ADDITION
GARAGE
COTTAGE
COTTAGE
15
14
22
11
10
13
21
19
18
17
16

Sustained Conditionally 5/18/50

50/44

City of Portland, Maine
Municipal Officers
—BUILDING CODE APPEAL—

May 16, , 19 50

To the Municipal Officers:

84-R-9

Your appellant, Decorators Realty Corporation , who is the owner of property at Island Avenue, Peaks Island , respectfully petitions the Municipal Officers of the City of Portland to permit an exception to the provisions of the Building Code relating to this property, as provided in Section 115, Paragraph a of the Building Code, on the ground that the enforcement of the Code in this case involves practical difficulty or unnecessary hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Building Code.

Building permit to cover construction of one-story addition to stage area, about 30' x 24' x 16' to the summer theatre in Greenwood Gardens, Island Avenue, Peaks Island, is not issuable under Section 206c of the Building Code because the allowance in this section that summer theatres may be of wooden frame construction includes the provision that all parts of such buildings shall be no less than 30' from any property line dividing lots of private ownership, while this addition is proposed only 2' from the nearest property line.

The facts and conditions which make this exception legally permissible are as follows:—

An exception is necessary in this case to avoid practical difficulty or unnecessary hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Building Code.

Decorators Realty Corporation
Appellant By
Edward Fauci

Sustained Conditionally 5/18/50

50/44

City of Portland, Maine
Municipal Officers
—BUILDING CODE APPEAL—
Decision

Public hearing was held on the 18th day of May, 19 50, on petition of Decorators Realty Corporation, owner of property at Island Avenue, Peaks Island, seeking to be permitted an exception to the provisions of the Building Code relating to this property.

Building permit to cover construction of one-story addition to stage area, about 30' x 24' x 16' to the summer theatre in Greenwood Gardens, Island Avenue, Peaks Island, is not issuable under Section 206c of the Building Code because the allowance in this section that summer theatres may be of wooden frame construction includes the provision that all parts of such buildings shall be no less than 30' from any property line dividing lots of private ownership, while this addition is proposed only 2' from the nearest property line.

The Municipal Officers find that an exception is necessary in this case to avoid practical difficulty or unnecessary hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Building Code, provided that the wall, including any overhang of eaves or cornice, is at least 3' from the property line, and that the roof will be drained so that water will not run on adjoining property.

It is, therefore, determined that exception to the Building Code may be permitted in this specific case; provided that the wall, including any overhang of eaves or cornice, is at least 3' from the property line, and that the roof will be drained so that water will not run on adjoining property.

Edward J. Colley
Edward D. Stevens
Robert L. Gilchrist
W. Holt
Gerald A. Cole
John W. Lake
Helen C. Frost
William H. O'Brien

Municipal Officers

DATE: May 18, 1950

HEARING ON APPEAL UNDER THE BUILDING CODE OF DECORATORS REALTY CORPORATION

AT ISLAND AVENUE, PEAKS ISLAND

Public hearing on above appeal

was held before the MUNICIPAL OFFICERS today.

Board of Appeals	VOTE Yes	VOTE No	Municipal Officers
Mr. Colley	(x)	( )	
Mr. Lake	(x)	( )	
Mr. Cole	(x)	( )	
Dr. Holt	(x)	( )	PROVIDED THAT THE WALL, INCLUDING ANY
Mrs. Frost	(x)	( )	OVERHANG OF EAVES OR CORNICE, IS AT LEAST
Mr. Gignoux	(x)	( )	3' FROM THE PROPERTY LINE, AND THAT THE
Mr. O'Brion	(x)	( )	ROOF WILL BE DRAINED SO THAT WATER WILL NOT
Mr. Getchell	(x)	( )	RUN ON ADJOINING PROPERTY.
	( )	( )	

Record of hearing:

CITY OF PORTLAND, MAINE

MUNICIPAL OFFICERS

May 16, 1950

TO WHOM IT MAY CONCERN:

The Municipal Officers will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Thursday, May 18, 1950 at 12 Noon Daylight Saving Time to hear the appeal of Decorators Realty Corporation requesting exception to the Building Code to permit construction of one-story addition to stage area in the summer theatre in Greenwood Gardens, Peaks Island, Maine.

This permit is presently not issuable under the Building Code because the allowance that summer theatres may be of wooden frame construction includes the provisions that all parts of such buildings shall be no less than 30' from any property line dividing lots of private ownership, and this addition is proposed only 2' from the nearest property line.

If you wish to be heard either for or against this appeal, please be present or be represented at this hearing.

Very truly yours,

Edward T. Colley

Chairman

M

Wallace S. and Flora Hill
9 Lafayette Street

Malcolm G. Kennedy
Oak Avenue
Peaks Island

WARREN McDONALD
INSPECTOR OF BUILDINGS

On reply refer to file
AF Island Avenue, Peaks Island
FU (Greenwood Gardens)-I

CITY OF PORTLAND, MAINE
Department of Building Inspection

May 16, 1950

Wel-Made Realty Company
Attn: Mr. Edward Gould
Peaks Island, Maine
639 Utica Avenue
Brooklyn, New York

Copy to: Owner
Mark Barrett, Assistant Corporation Counsel

Gentlemen:

COPY

Building permit intended to cover construction of one story addition about 30' x 24' and 20' high to the summer theatre in Greenwood Gardens, Island Avenue, Peaks Island, is not issuable under Section 206c of the Building Code because the allowance in this section that summer theatres may be of wooden frame construction includes the provision that all parts of such buildings shall be no less than 30' from any property line dividing lots of private ownership, while this addition is proposed only 2' from the nearest property line.

You have indicated your desire to seek an exception from the Board of Municipal Officers, which is the Board of Appeals under the Building Code, on the ground that enforcement of the Code in this specific case involves practical difficulty and unnecessary hardship and that relief may be granted without substantially departing from the intent and purpose of the Code.

There is enclosed, therefore an outline of the appeal procedure.

Alterations in the building, other than the above are proposed, and you are to file a completed application for building permit to cover all of the changes with detailed plan of all of the changes, the application referred to above being preliminary to get settled a question of distance from property lines.

If your appeal should be successful, no permit would be issuable until you have satisfied the requirements of the Building Code by furnishing with the final application detailed plans showing all proposed arrangements. While I can appreciate your need of haste in getting the job started on account of the approach of your short season, you can best serve your own ends in that connection by making the plans complete to show compliance with Building Code requirements. The permit when issued will be for the work as shown on the plans and only that.

I have been over the proposition in some detail with Mr. Gould, and a copy of this letter is enclosed for the one who is to make these plans.

With reference to Section 206c of the Code all parts of the proposed addition, if allowed, below first floor level and all parts of the new framing for the raised floor, and all parts of the adjusted entrance and exit platforms are to be Heavy Timber Construction for fire protection purposes. With reference to Section 206-f-4, since the proposed addition would be exposed to the stage and therefore to the auditorium, the interior of the walls is to be covered with incombustible or flameproofed material; the floor of the addition and the raised floor are to be constructed so as to be tight; and space beneath the floor of addition is to be firestopped against fire from outside of building reaching the space beneath the floor of the addition.

A description of the requirements for Heavy Timber Construction will be found in Sections 302-b-1, b-2 and b-3 of the Code.

The Chief of the Fire Department has passed briefly on the plans and says that if the addition is to be built he feels that an additional exit should be provided in the end wall toward Forest City Landing or in the side wall facing the harbor on the end of it toward Forest City Landing.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/G

Enclosure: Outline of appeal procedure

(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
00416
APR 5 1948
CITY of PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, April 2, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Greenwood Garden, Peaks Island Within Fire Limits? no Dist. No.

Owner's name and address Henry Hoar, Peaks Island Telephone

Lessee's name and address Telephone

Contractor's name and address Roland Hoar, " Telephone

Architect Specifications Plans no No of sheets

Proposed use of building * Kitchen No. families

Last use " No. families

Material frame No. stories 1 Heat Style of roof pitch Roofing asphalt

Other buildings on same lot

Estimated cost $ 100. Fee $ .50

General Description of New Work

To close up end of existing building formerly separated from Merry-go-round.
2x4 studs, 16" O.C., boarded and covered with asphalt shingles

* Mr. Hoar said this might be used as kitchen in connection with picnic grounds.

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. Roland Hoar

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber--Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters:	1st floor,	2nd,	3rd,	roof
On centers:	1st floor,	2nd,	3rd,	roof
Maximum span:	1st floor,	2nd,	3rd,	roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Henry Hoar

Signature of owner By Roland L. Hoar

INSPECTION COPY

Permit No. 48/416

Location Greenwood Gardens Beats

Owner Henry Hoar

Date of permit 4/5/48

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 5/27/48. O.K.

Cert. of Occupancy issued None

NOTES

(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
00117
FEB 3 1948
CITY of PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, February 2, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ or demolish ~~xxxx~~ the following building ~~xxxxxxxxxx~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Within Fire Limits? no Dist. No.

Owner's name and address Henry S. Hoar, Island Avenue, Peaks Island Telephone

Lessee's name and address Telephone

Contractor's name and address Roland S. Hoar, Island Avenue, Peaks Island Telephone

Architect Specifications Plans No of sheets

Proposed use of building ~~Dwelling~~ undetermined No families

Last use Dance Hall (Merry-go-Round Building) No. families

Material wood No. stories 1 Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ 250 Fee $ 1.00

General Description of New Work

To demolish main part of building leaving kitchen 16' x 22'.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Roland S. Hoar

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Roland S. Hoar

INSPECTION COPY

Permit No. 481 117

Location Island Ave. Peakedel.

Owner Henry S. Hoar

Date of permit 4/3 148

Notif. closing-in

Inspn. closing-in 84-R-9

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES.

.emorandum from Department of Building Inspection, Portland, Maine

May 14, 1947

Mr. Walter Randall,
Peaks Island, Maine

Dear Sir:

Gas cylinders to be set on a firm foundation or otherwise firmly secured, and the possible effect of settling or heaving by frost shall be guarded against by a flexible connection or special fitting.

CC: Ernest Vourgarakis,
Seashore Ave.
Peaks Island, Maine

(Signed) Warren McDonald
Inspector of Buildings

FILL IN AND SIGN WITH INK

PERMIT ISSUED
01013
MAY 15 1947

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, May 12, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Greenwood Garden, Peaks Island Use of Building Dance Hall Restaurant No. Stories 1 New Building Existing "

Name and address of owner of appliance Ernest Vourgarakis, Seashore Ave., Peaks Island Telephone 5292

Installer's name and address Earle Hutchens, Peaks Island

General Description of Work

To install gas-fired (philgas) grille and hot water heater

Health Notices to Health Officer and thus

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance

If wood, how protected? Kind of fuel

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace

From top of smoke pipe From front of appliance From sides or back of appliance

Size of chimney flue Other connections to same flue

If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Labelled by underwriter's laboratories?

Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?

Type of floor beneath burner

Location of oil storage Number and capacity of tanks

If two 275-gallon tanks, will three-way valve be provided?

Will all tanks be more than five feet from any flame? How many tanks fire proofed?

Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance 1st Kind of fuel gas Type of floor beneath appliance concrete

If wood, how protected?

Minimum distance to wood or combustible material from top of appliance grille 10' water heater 6'

From front of appliance 4' From sides and back grille 8" water heater 12" From top of smokepipe

Size of chimney flue Other connections to same flue none

Is hood to be provided? yes If so, how vented? chimney

If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Installer did not know whether tanks would be attached to building or separate.

Tanks to be located above ground on concrete foundation to ledge or 4' below grade.

Will be located at least 5' from any window.

Gas-fired appliance (water heater) to be equipped with device which will automatically shut off all gas supply in case pilot flame is extinguished.

Permit Issued with Memo

Amount of fee enclosed? 1.00 ($1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of Installer Forest City Service Station
By: Walter T. Randall

INSPECTION COPY

1/1013

Greenwood Garden, Peabo

Owner Ernest Vourgarakis

Date of permit 5/15/47

Approved 85.47 P 1111

Sup. 47/890
47-558

NOTES

3"

5-17.47 Verd from
Water heater discharges under
hood, about 3 ft. from
chimney. Auto motic
shut off on water
heater

(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
00890
MAY 3 1947

Class of Building or Type of Structure Third Class

Portland, Maine, April 29, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Greenwood Garden, Peaks Island Within Fire Limits? no Dist. No.

Owner's name and address Henry Hoar, Peaks Island Telephone

Lessee's name and address Ernest Vourgarakis, & Cary Karam, Morared, Peaks Islnd Telephone

Contractor's name and address owner lessee Telephone

Architect Specifications Plans yes No of sheets

Proposed use of building Dance Hall No. families

Last use " No. families

Material frame No. stories 1 Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ 90. Health Notices to Fire Officer and this Fee $ .50

General Description of New Work

To construct 16' non-bearing partition in kitchen - 2x4, 16"O.C., sheathing one side.

To provide concrete floor in kitchen and toilet rooms. 2x6's-16"Oc-8' span
The concrete surfacing is to be no less than 2 inches thick at any point, is to be pitched properly to the floor drain, if any, is to be reinforced with suitable wire mesh embedded in concrete, is to be extended up the surface of walls and partitions at least four inches above the surface of the floor at the wall or partition and a curved or other shaped surface provided for sanitary reasons where the horizontal surface joins the vertical surface. Before concrete is placed, suitable waterproof felt is to be laid on the floor surface to be covered. In event the additional weight of concrete would overload present floor framing and supports according to Bldg. Code standards, this floor framing and supports will be permanently strengthened accordingly. It is understood that Health Department stipulates also that concrete is to be waterproofed with acceptable integral waterproofing, and that surface be painted with waterproof paint especially prepared for concrete, preferably of dark red color.

This concrete is to be for portion 8'x8' in kitchen under grille and toilet rooms.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters:	1st floor,	2nd,	3rd,	roof
On centers:	1st floor,	2nd,	3rd,	roof
Maximum span:	1st floor,	2nd,	3rd,	roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Ernest Vourgarakis

INSPECTION COPY

it No. 47/890

Location Greenwood Garden

Owner Peabo Island Oneal Vourgarkis, et al

Date of permit 5/3/47

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 8/5/47 Final

Cert. of Occupancy issued

NOTES

Dec 47/558

5/17/47 Kitchen - 4'x4' - 24"m

Toilet; m Partitions

(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
90866
MAY 16 1946

Class of Building or Type of Structure Third Class

Portland, Maine, May 15, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Within Fire Limits? no Dist. No.

Owner's name and address Henry S. Hoar, Island Ave., Peaks Island Telephone 97

Lessee's name and address Telephone

Contractor's name and address owner Telephone

Architect Specifications Plans yes No. of sheets 1

Proposed use of building Theatre No. families

Last use " No. families

Material frame No. stories 1 Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ 125. Fee $ 1.00

General Description of New Work

5/15/46. O.K. ofc.

To provide concrete footings under remaining posts beneath theatre. 12 posts.
Footings to be 12" at bottom and 10" at top - rest on ledge.

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth ' No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

Signature of owner Henry S. Hoar

INSPECTION COPY

Permit No 41/866

Location Island Ave. Peaks Isl.

Owner Henry S. Howe

Date of permit 5/16/46.

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 6/6/46. OK.

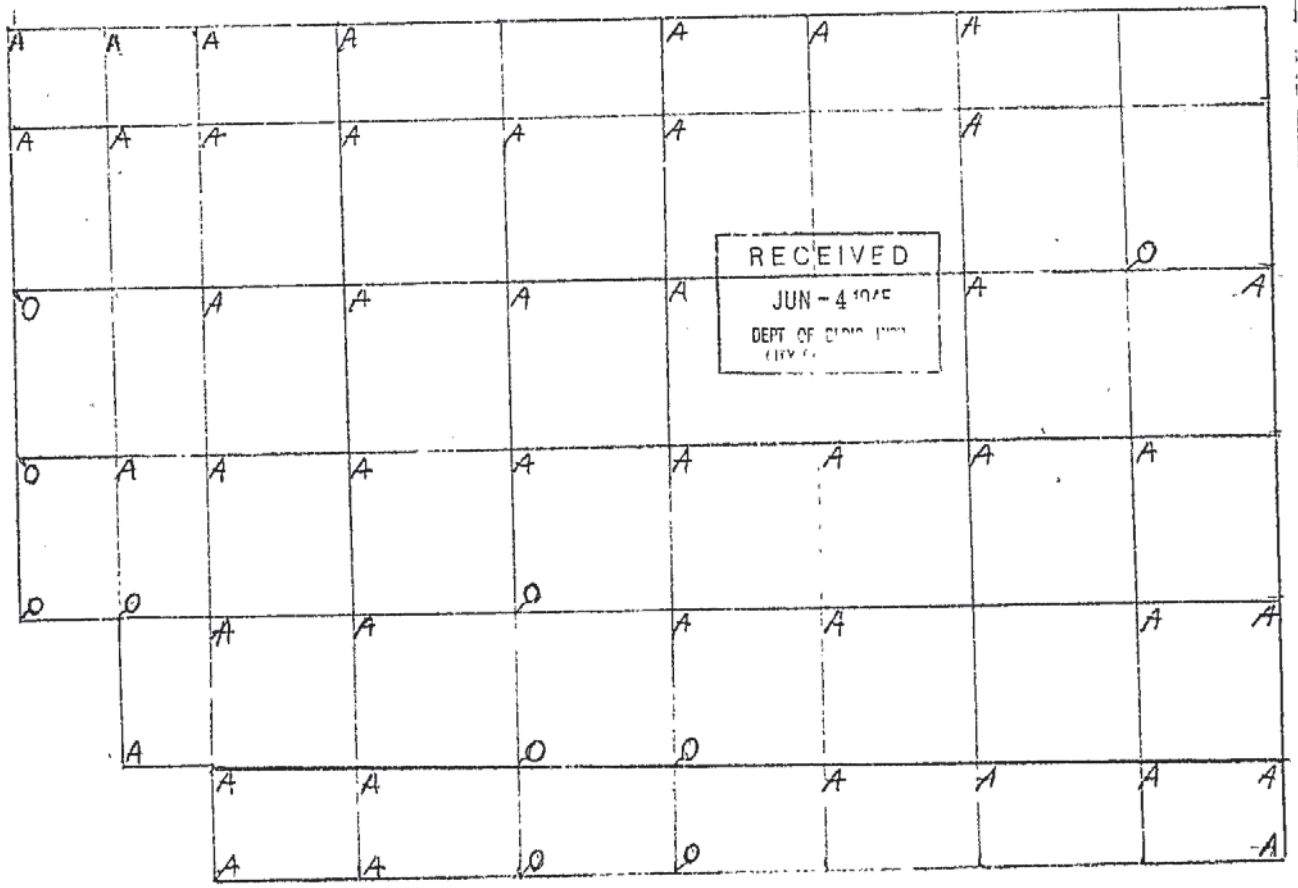
Cert. of Occupancy issued None.

NOTES

This completes all work under this permit. OK

A - cement-footings Pool-plan for Greenwood Theater
O - proposed footings 1945 Scale 1/8 = 1 ft

82 ft 6



(L) LOCAL BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 502
JUN 4 1945

Class of Building or Type of Structure Third Class

Portland, Maine, June 4, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Greenwood Garden, Peaks Island Within Fire Limits? no Dist. No.

Owner's or Lessee's name and address Irene Jensen, Brackett Ave., Peaks Island Telephone

Contractor's name and address Henry S. Hoard, Central Ave., Peaks Island Telephone 157-2

Architect Plans filed yes No. of sheets 1

Proposed use of building Summer Theatre No. families

Other buildings on same lot

Estimated cost $ ~~150~~ 100. Fee $ ~~1.50~~

Description of Present Building to be Altered

Material frame No. stories 1 Heat none Style of roof french Roofing asphalt

Last use Summer Theatre No. families

General Description of New Work

To replace ten cedar posts as per plan- concrete footings.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work?

Is any electrical work involved in this work? Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Irene Jensen By: Henry S. Hoard

ORIGINAL

Permit No. 45/532

Location Greenwood Garden Peaks

Owner Gene Jensen

Date of permit 6/4/45

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 6/25/1951

Cert. of Occupancy issued None

1944 Prots 40/682

NOTES

Inspection copy

B.P. 44/443

out

6/1/50