

ISLAND AVE., PEAKS ISLAND.

94-R-8

(B) LIMITED BUSINESS ZONE



APPLICATION FOR PERMIT

Class of Building or Type of Structure... Third Class

Portland, Maine, June 8, 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter~~ change the following building ~~structure~~ structure in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Ave., Peaks Island 84-R-32 Within Fire Limits? no Dist. No. PO

Owner's name and address William G. Morin, Island Ave., Peaks Island Telephone 6-2733

Lessee's name and address Morin's Market Telephone

Contractor's name and address Ralph Moore, Luther St., Peaks Island Telephone

Architect _____ Specifications _____ Plans NO. _____ No. of sheets _____

Proposed use of building store No. families _____

Last use _____ No. families _____

Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____

Other building on same lot _____

Estimated cost \$ 100 Fee \$.50

General Description of New Work

To remove non-bearing partitions 8' and 11 1/2' to enlarge store space.

11/157
 Permit not issued because adequate information to show compliance with Building Code requirements never furnished. AGJ

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

William G. Morin

Signature of owner, by: Howard P. Martin

INSPECTION COPY

C16-254-114-10-1

Permit No. 561

Location Island One Peaks Island

Owner Marine Market

Date of permit 1/56

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Certi of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

Large blank lined area for notes.

Vertical lined area on the right side of the page.

June 25, 1956

AP Island Avenue, Peaks Island (84-R-32)

Mr. Ralph E. Moore
Luther Street
Peaks Island, Maine

Copy to Mr. William G. Morin
Island Avenue
Peaks Island, Maine

Dear Mr. Moore:-

Examination of your sketch showing location of partitions to be removed in store at the above location and study of roof framing found in our files in connection with work done on the building about two years ago indicate that the partition about 12 feet long and marked A-1 on your sketch, is located directly over a girder supporting first floor framing and in turn supports the roof timbers over this area of the building. This being the case, if the partition is to be removed, a beam of considerable size will need to be provided to take its place, and perhaps one or more columns will need to be provided beneath girder in first floor framing depending upon where the column supporting beam under roof lands in relation to those supporting girder. Under these circumstances we are unable to issue a permit for the proposed alterations until information has been furnished to indicate that construction meeting Building Code requirements is to be provided.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS/G

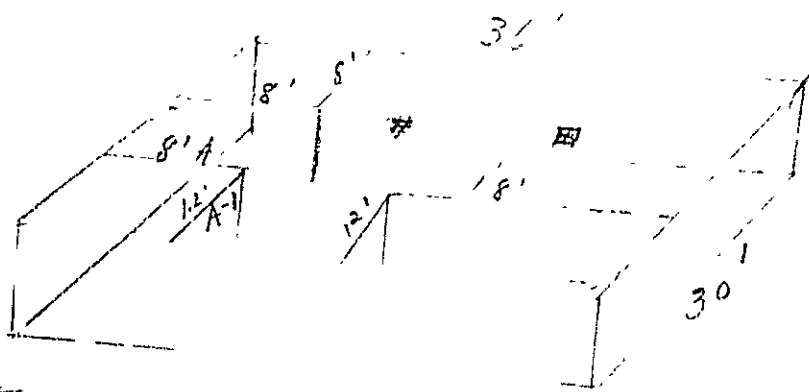
June 18, 1956
Luther Street
Parks Island, Sme.

Mr. Albert J. Sears;
Deputy Inspector of Buildings
Portland, Maine

Dear Mr. Sears:-
Enclosed sketch of floor plan of Mrs.
Sears store on Island Avenue, as requested
for application for permit.

Very truly yours
C. Ralph C. Moore

RECEIVED
JUN 21 1956
DEPT. OF ... 1956
CITY OF ... AND



Partitions marked A and A1 are the items in question for removal. Marked in ink are two post supporting two trusses for roof support. There is 33 in space from top of partition to roof rafters.

RECEIVED
 JUN 21 1956
 DEPT. OF BLD'G. INSP.
 CITY OF PORTLAND

June 11, 1956

AP - Island Ave., Peaks Island (Assessors' Lot No. 81-7-32)

Mr. William G. Morin
Island Avenue
Peaks Island, Maine

Copy to Mr. Ralph Moore
Luther Street
Peaks Island, Me.

Dear Mr. Morin:-

Application for permit for removal of two so-called non-bearing partitions in your store on Island Avenue, Peaks Island, has been filed at this office. Since no information has been furnished as to location of these partitions, we are unable to determine their status as to providing a support for the roof of the building. However, information on file at this office leads us to believe that the larger of the two may be a bearing partition for the roof. It is therefore necessary before a permit can be issued that a layout plan of the store showing the location of all partitions, including those to be removed, be furnished. If it should turn out that one of the partitions to be removed does support the roof, information will be needed as to what is to be introduced in place of partition to replace its carrying capacity.

Very truly yours,

Albert J. Soars
Deputy Inspector of Buildings

AJS/G

(6) LIMITED BUSINESS ZONE



APPLICATION FOR PERMIT

PERMIT ISSUED

NOV 21 1954

CITY OF PORTLAND

Class of Building or Type of Structure

Portland, Maine

Nov. 11 1954

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair or demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Ave., Peaks Island. 54-6-8 Within Fire Limits? no Dist. No. _____

Owner's name and address Branville Angell, Island Ave., Peaks Island Telephone 6-2733

Lessee's name and address _____ Telephone _____

Contractor's name and address Fred Stephenson, Peaks Island Telephone _____

Architect _____ Specifications _____ Plans yes No. of sheets 1

Proposed use of building store No. families _____

Last use _____ " _____ No. families _____

Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____ Fee \$.50

Estimated cost \$ 72x 100.

General Description of New Work

To cut-in new front door in place of window.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size: front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girder _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

Signature of owner

Samuel W. Dugell

INSPECTION COPY



(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Cement Stucco & wood

Portland, Maine, Jan. 26, 1954

PERMIT ISSUED

00118

FEB 3 1954

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~existing~~ ~~structure~~ ~~to~~ ~~erect~~ the following building ~~structure~~ ~~to~~ ~~erect~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 84-R-8 Island Ave., Peaks Island With Fire Limits? no Dist. No. _____

Owner's name and address Granville Angell, Island Ave., Peaks Island Telephone none

Lessee's name and address (former owner Charles Brown) Telephone _____

Contractor's name and address owner Telephone _____

Architect _____ Specifications _____ Plans yes No. of sheets 2

Proposed use of building store No. families _____

Last use _____ " _____ No. families _____

Material stucco & wood No. stories _____ Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost \$ 200. Fee \$ 2.00

General Description of New Work

To provide hung ceiling over store area, using weatherwood, 1x2 strapping hung from rafters with 2x3's, weatherwood is nailed 24" on centers and 16" on centers.

2x8 - 20" O.C. on 14' span =
1240 x 14 x 15 = 260,400
1100
1100
23.6 lbs

Permit issued with Letter

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Granville Angell

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is a connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size front _____ depth _____ No. stories _____ solid or filled land? _____ th or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof: _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4 16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, the thickness of walls? _____ height? _____

If Garage

No. cars now accommodated on same lot _____ to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Granville W. Angell

AP Island Ave., Peaks Island

February 5, 1954

Mr. Granville Angell
Island Ave., Peaks Island
Mr. Charles J. Franco
Winding Way, Peaks Island

Gentlemen:

After my several conversations with Mr. Granville about the framing of the roof of the building proposed for a retail store on Assessors' Lot No. 64-R-8 on Island Ave., Peaks Island, I was quite relieved to find that there was a good explanation for the apparent impossible framing of the roof over this store as you described to our inspector. As a consequence we were able to work out a remedy which seems rather simple and I understand that Mr. Franco is to help to provide two 6x6 posts to strengthen the roof beams.

Accordingly the belated permit to construct the ceiling is issued to Mr. Angell herewith, but subject to the following conditions, concerning which we are relying upon Mr. Franco to keep the job straight.

There are two 4x6 beams running under the 2x8 roof joists and extending from the Island Ave. front back toward the harbor. One of these is about eight feet from the exterior wall toward Greenwood Garden and the other one is about eight feet from that. This latter beam has some truss action but not a great deal but perhaps the strength of two 4x6s, one above the other, can be counted instead of just one.

This trussed roof is really in distress and sags quite badly, and the one toward Greenwood Garden is down a little.

A 6x6 post is to be provided approximately under the center of each of these structural members to extend from the top of the girder in the cellar (in the case of the one toward Greenwood Garden) up through the new ceiling to a form bearing under the 4x6. The other 6x6 post is to extend from a good bearing on the foundation wall which runs through about the center of the building up to the under side of the 4x6 which is at the bottom of the trussed arrangement.

While these measures will not bring the strength of the roof up to what it ought to be and would have to be if being constructed now, it is my belief that there will no longer be any hazard even if there should be a heavy snow load on the roof.

Mr. Granville Angell

Mr. Charles Franco ~~_____~~ 2

February 3, 1954

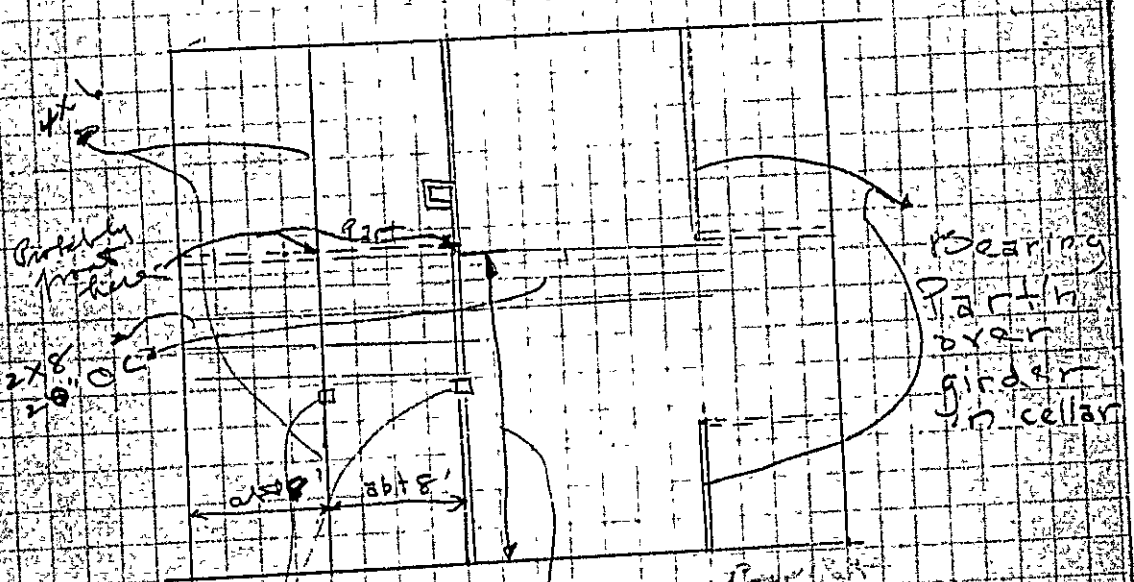
Incidentally, Mr. Angell, if nothing had been done here and you had suffered a rather heavy wet snow load or a heavy ice load on the roof you could easily have suffered some collapse of this so-called "truss".

If these conditions are not understood by all means contact me, personally, before starting to put in the posts.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMC/D/B



new joists
 4x6 with a ^{small} ^{angle} ^{trans} ^{action}
 Island Ave 7/3/50
 See 1st floor framing ^{with}
 attached



need
permitted
drawing
1/25/54

$$W = 85 \frac{H}{C} = 85 \times 2.4 = 204$$

$$W = 85 \times 2.4 = 204$$

$$W = \frac{85 \times 2.4 \times 2.4}{2 \times 2.4} = 85.5$$

$$\frac{204.0}{2.4} = 85.0$$

Perf. 3 11

10	40
40	
53	50

$$9 \times 20 \times 13 = 2340$$

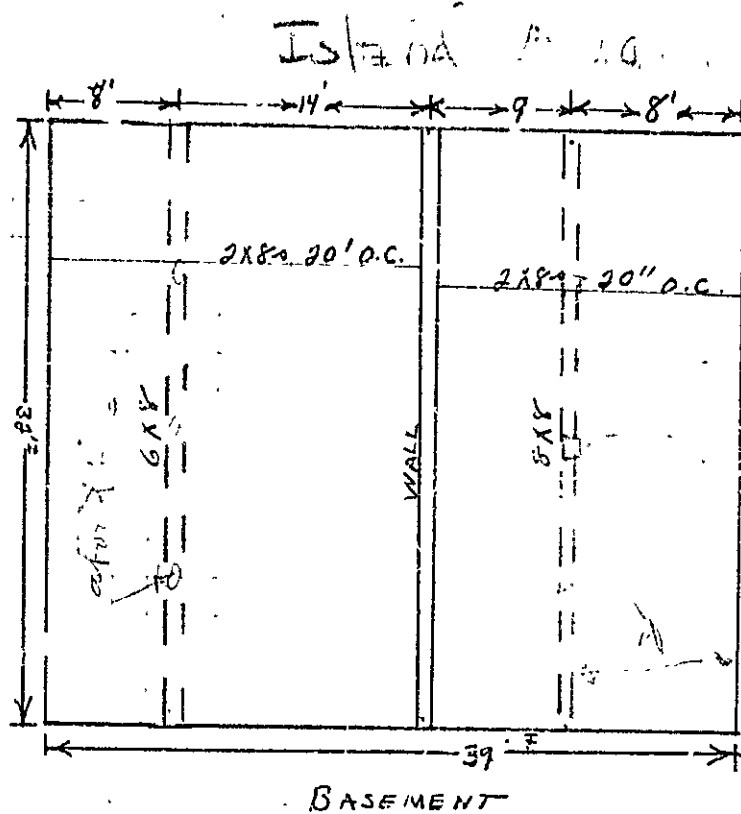
$$2340 \times 20 \times 1.5 = 70200$$

$$\frac{70200}{24} = 2925$$

$$9 \times 20 \times 50 = 9000$$

$$M = \frac{S \cdot I}{C} = \frac{9000 \times 20 \times 1.5}{24} = 11250$$

$$S = \frac{282,000}{24} = 11,750$$

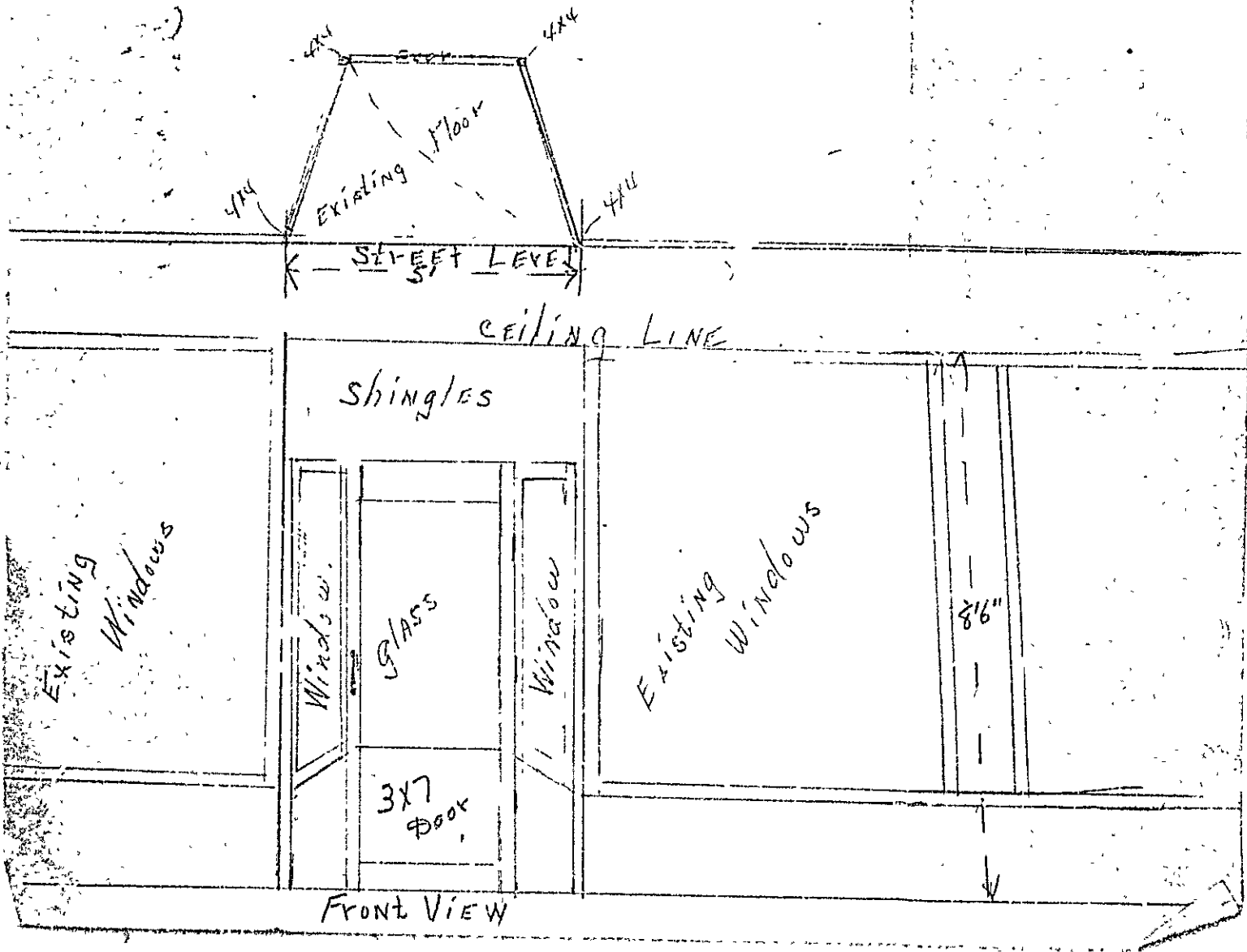


2x8 @ 20' O.C.

2x8 @ 20' O.C.

The girders are well supported, posts every 4.5 feet.

FLOOR PLAN





LIBERATED BUSINESS ZONE
LIBERATED BUSINESS ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
00362
JUN 24 1954
CITY of PORTLAND

Class of Building or Type of Structure Third Class
Portland, Maine, June 22, 1954

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair or demolish the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, Maine and specifications, if any, submitted herewith and the following specifications:

Location Island Ave., Peaks Island 84-1-8 Within Fire Limits? no Dist. No. _____
Owner's name and address Hanna Paine, Island Ave., Peaks Island Telephone _____
(former owner Charles Brown Estate)
Lessee's name and address _____ Telephone _____
Contractor's name and address Fred Stephenson, Elizabeth St., Peaks Island Telephone 6-2835
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building dwelling house No. families 1
Last use _____ " " _____ No. families _____
Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 175. Fee \$ 2.00

General Description of New Work

To provide wooden steps from existing side piazza on left hand side of building.
To construct 1-story open piazza 4' x 6' on right hand side of building removing existing steps.

$2 \times 6 \times 45 = 540$
 $(\text{see edge}) 2 \times 2 \times 4 - 6' = 870$

Permit Issued with Memo

2-2x4 plate - 6' span.

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate 8' Height average grade to highest point of roof 9'
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation concrete piers at least 4' below grade or to ledge _____ Thickness, top 10" bottom 10" cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof shed Rise per foot _____ Roof covering Asphalt Class C Under Laid
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind hemlock Dressed or full size? _____ dressed _____
Corner posts 4x4 Sills 4x6 Cirt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x6 2nd _____ 3rd _____, roof 2x4
On center: 1st floor 24" 2nd _____ 3rd _____, roof 18"
Maximum span: 1st floor 4' 2nd _____ 3rd _____, roof 4'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

with memo by JJS

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Hanna Paine

Signature of owner by

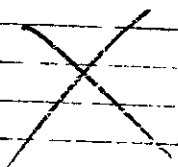
Fred Stephenson

INSPECTION COPY

7/14

NOTES

7/1/54 - work started on
8/2/55 - prep not
complete at E. 9.8



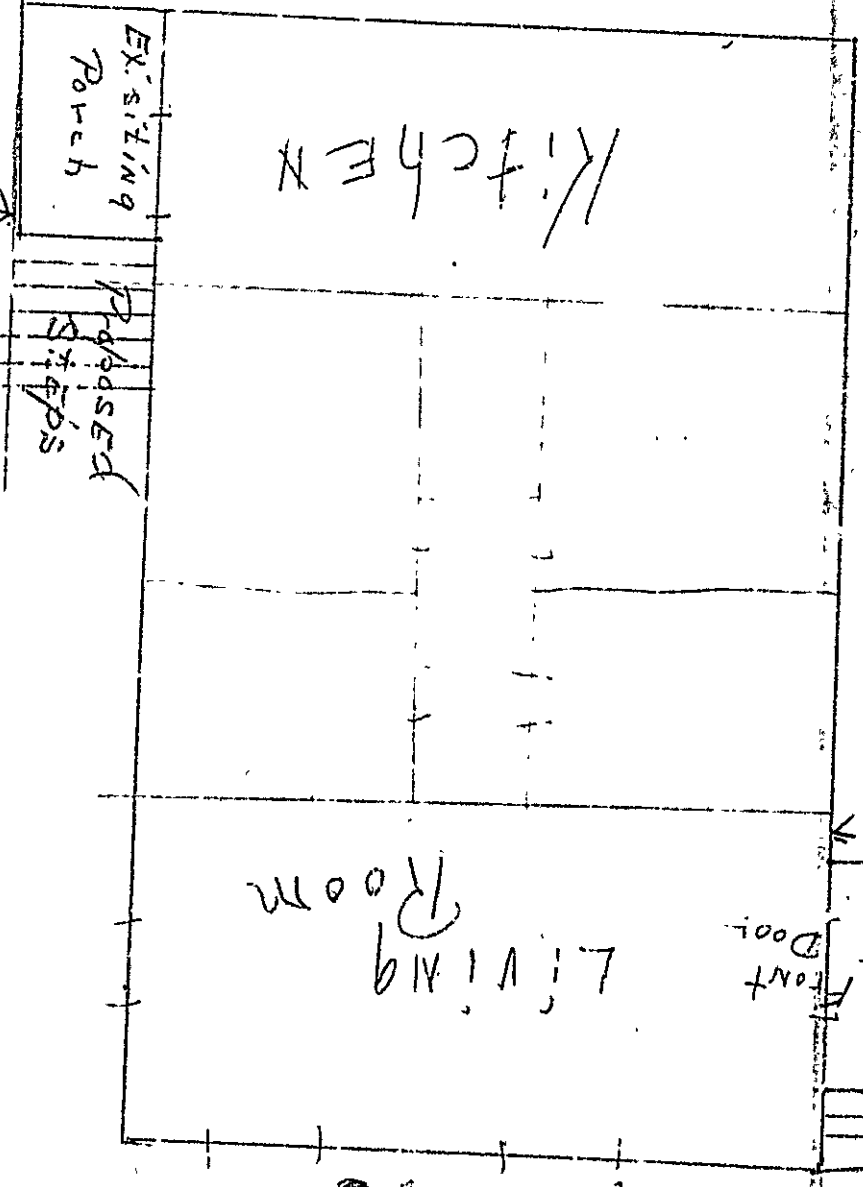
Permit No. 54/862
 Location 84-88 C51 South Blvd
 Owner James H. Stamer
 Date of permit 6/24/54
 Notif. closing-in _____
 Inspn. closing-in _____
 Final Notif. _____
 Final Inspn. W.H.M.
 Cert. of Occupancy issued _____
 Sinking Out Notice _____
 Form Check Notice _____

City of _____
 Department of _____
 Division of _____

Back

LOT LINE

35'



House sets out to street line

LOT LINE

84-R-8

STREET

84-M-9

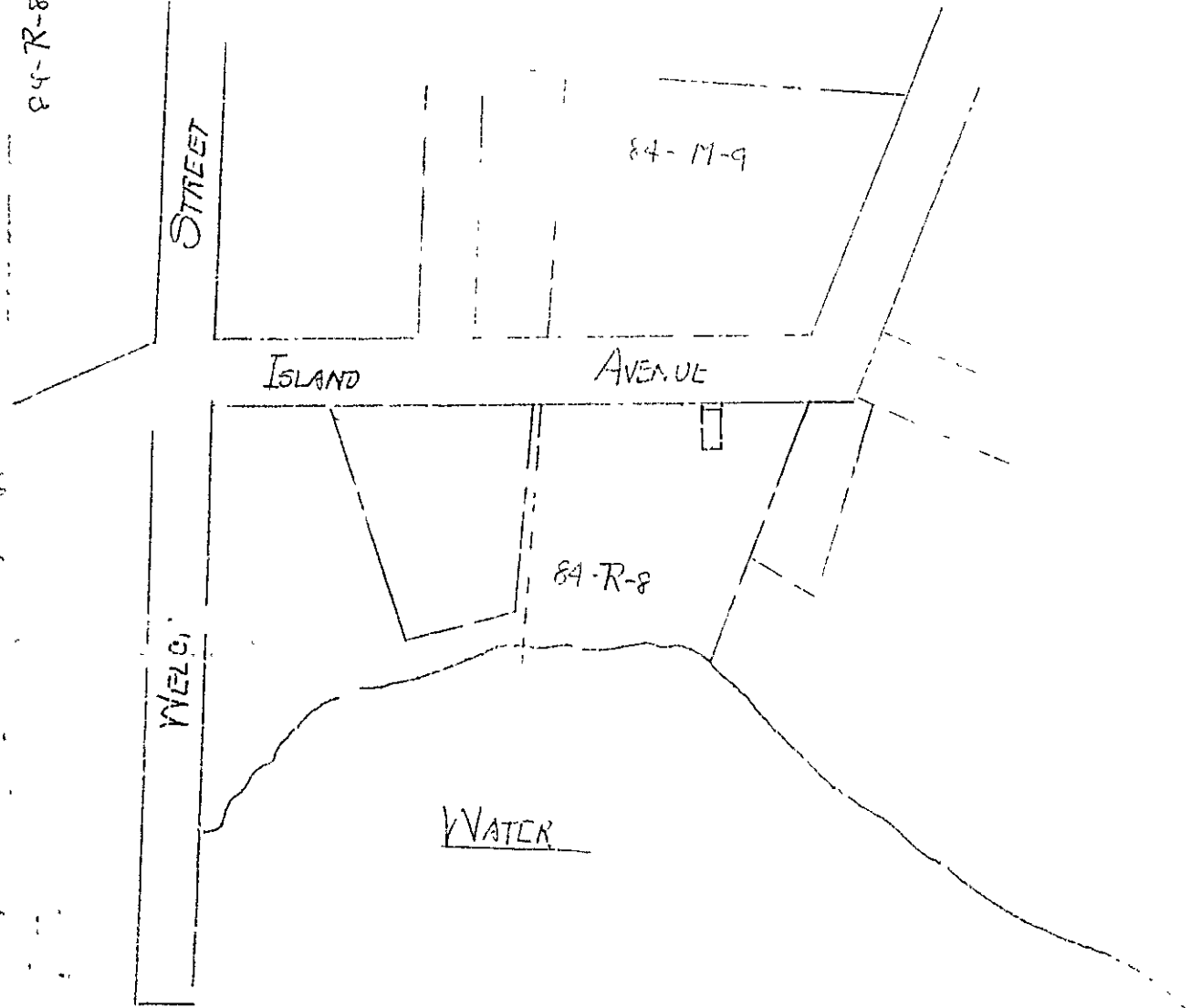
ISLAND

AVENUE

84-R-8

WELCH

WATER



Memorandum from Department of Building Inspection, Portland, Maine

Island Av^r Peaks Island (Assessors' Lot No. 84-R-8) - Building Permit for alterations to dwelling for Hannah Paine by Fred Stephenson - 6/23/54

Building permit for construction of open piazza four feet by six feet on side of dwelling on Island Ave., Peaks Island (Assessors' Lot No. 84-R-8) is issued herewith on the basis that the floor timbers are to be spaced no more than 18 inches on centers instead of the 24 inch spacing indicated unless the flooring is to be thicker than boarding ordinarily used for such a purpose and that the double 2x4's to be used for a plate are to be set side by side on edge rather than being laid flat with one resting on top of the other.

AJS/G

Copy to: Hannah Paine
Island Ave.
Peaks Island

(Signed) Warren McDonald
Inspector of Buildings



IN LIMITED BUSINESS ZONE
CITY OF PORTLAND, MAINE

DEPARTMENT OF BUILDING INSPECTION

COMPLAINT

Location
Island Ave., Peaks Island
84-R-8

INSPECTION COPY

COMPLAINT NO. 54/10 Date Received 3/25/54

Location Island Ave., Peaks Island 84-R-8 Use of Building Store

Owner's name and address Granville, Angell (former owner Charles Brown) Telephone _____

Tenant's name and address Island Ave., Peaks Island Telephone _____

Complainant's name and address George Jordan Telephone _____

Description: Alterations being done without permit. BS

NOTES: 1/26/54 - Dropped ceiling being removed.
owner said he would apply for permit
1:30 P.M.
Monitored for further inspection work
about covering up new wiring.
P. S. S.

Large section of the form is crossed out with a large 'X' and contains faint, illegible text.



LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, October 17, 1952

PERMIT ISSUED
02247
DEC 5 1952
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Av., Peaks Island Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Charles Brown (former owner Rounds) Telephone _____
 Lessee's name and address SH-R-3 Telephone _____
 Contractor's name and address W. E. Brackett, Peaks Island Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building bakery dwelling No. families _____
 Last use bakery No. families _____
 Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 100.00 Fee \$ 2.00

General Description of New Work

To change use from bakery to dwelling.

Erect 3 non-bearing partitions making five rooms partitions to be 2x4 16" on centers

Charles Brown owner, 847M, 847R & 847S on South Beach Ave

11/18/52 Provide new ceiling, not hung from rafters.

To close existing front door, cut in new door on north side, one step to grade.

To cut in two windows on north and three windows on south side.

Concrete slab used in connection with former bakery to be removed. (kitchen floor)

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO

W. E. Brackett

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat stove fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd ceiling _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd 24" _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd 111 _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Charles Brown
W. E. Brackett

Signature of owner By:

W. E. Brackett

ACTION COPY

NOTES

~~11-18-52. The Brackett and others are the
guides in the cellar (working in stone)
as per his letter received 11-17-52. The
guides posts not over 6 inches. The
room arrangement is given to one
and of which is felt certain, was from
room arrangement filed on a certain date.
This is important at the ceiling size
and of which is based on his ideas,
with main span 11'-0" span.~~

Permit No.	57-2247
Location	10-000 (P) 10-000
Owner	Edwin B. Brown
Date of permit	12/15/52
Notif. closing-in	1-22-53 R11213
* Inspn. closing-in	
Final Notif.	None
Final Inspn.	8-18-53, C.E.
Cert. of Occupancy issued	8/19/53

Proposed ceiling ceiling + Max. 3pm. other ->	Present Flat roof
---	----------------------

1st Floor 4x4 dunnid 2' x 2' 6" of

7.9 x 11.00 = 86.72 x 965 = 80 #p

* 1-22-53. C.E.

Ceiling 2x6-14 spans 24' o.c. = 449*

Clotie ceiling 2x14x10 = 280*

Now Rite to be put up going
with plaster or dist. no stone

no electrical or plumbing, if
at time of the inspection

any case necessary to all has
been covered it will be

removed to roof top when
electrical on it and

has been affixed this office
will be satisfied for a

change in or (to) may be
given

2-19-53. No occupancy

AP Island Avenue, Peaks Island
(Assessor's Lot No. 84-R-8)

December 5, 1952

Mr. W. E. Brackett
Peaks Island, Maine
Mr. Charles Brown
Peaks Island, Maine

Gentlemen:

Building permit for making alterations in and converting the bakery on Island Avenue, Peaks Island, (Assessor's Lot No. 84-R-8) is issued to Mr. Brackett, herewith, based mostly on his letter of November 28, 1952 and the additional framing sketches with the letter, with allowances for some of the additional information which we received before the letter; some of it contradictory. We have no record of framing and supports of this building in our files, and I suspect the job several years ago was handled in much the same manner as this one was started by giving us the most meager information and we then worked it out as best we could.

There are still some inconsistencies in the information, and I am not sure that difficulties will not arise, but have concluded that it is best to issue the permit and let the matters get straightened out on the job.

Formerly we were told that the roof joists were 2x6, now it appears they are 2x8 and on spans of only 13 feet 6 inches instead of the 16 feet we had formerly been considering. Apparently the roof joists are 24 inches from center to center. A note on Mr. Brackett's sketch says that these 2x8s are to be supported in the center by a proposed girder (no size given) and that the girder is to be supported on the center partition. It is assumed that this center bearing partition is directly over the center girder beneath the first floor and that the posts beneath the building are 3 feet on centers in both directions.

As far as I have been able to find out you still have not given us any corrected partition arrangement since Mr. Brackett talked with Inspector Hamilton about change in size of living room. The living room was originally shown across the front of the building and to be 10'x16'. Now we find out that the building is not that wide since the roof joists would be on spans of only 13'-6".

Apparently the passageway partition on the right as one faces the building from the street is to be the bearing partition to support the roof joists. If this partition is to be carried clear through to the front wall of the building, and the living room made smaller, no difficulties should arise as to the supports of the roof. If this partition is not to be carried through what was formerly shown as the living room to the front wall, then it is evident that an adequate girder must be provided over the living room on a span of 10 feet to support both ceiling joists and roof joists.

We are no doubt aware that all of the bearing partitions must be no less than 2x4 uprights, not more than 16 inches from center to center, while the non-bearing partitions may have 2x3 uprights but must be no more than 16 inches from center to center.

There is considerable doubt in my mind as to the spacing of studs in the outside walls. Normally they would be required to be no more than 16 inches from center to center, and if they are more than 24 inches from center to center now, something will have to be done to properly support the roof plate.

Mr. W. E. Brackett
Mr. Charles Brown

2

December 5, 1952

Please do not neglect the requirement that notice is to be given this office of readiness for inspection before any of the space to be concealed in walls and partitions are covered from view. No part of wall, partition or ceiling covering is to be applied until our inspector has made inspection and left his green tag at the job.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMCD/B

P. S. Please bear in mind that use of this building for living quarters constitutes a change of use, and the building may not actually be lived in until our certificate of occupancy has been issued. That means that when all features controlled by the Building Code have been completed, you are required to notify this office of readiness for final inspection--when, if everything is found in order, the required certificate will be issued.

1/B

(COPY)

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION Island Ave., Foaks Island
(Assessors Lot No. 84-11-8)

Date of Issue August 19, 1953

Issued to Charles Brown

This is to certify that the building, premises, or part thereof, at the above location, built - altered - changed as to use under Building Permit No. 52/2247, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

One-family Dwelling House

Entire

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

8/18/53

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

10/20/52
copy

Peck Island, Nov. 29 '52

The Warren Mr. Donald
Insp. Bldgs
Trent and Mo.

Dear Sir.

Enclosed find sketches showing
roof framing, sidewall and first floor, as you requested.
Mr. Hamilton gave me the impression that every thing
was fully understood as to the first floor and other framing.
There were no existing partitions in the building and the
main span is 14'-0" of roof and log timbers are 2x8'
instead of 2x6. You must have a record of the structure
of this building as Mr. Brown tells me that Mr. Hamilton
inspected five years ago at the time it was made over
in Kahala. I hope the enclosed answers all your questions.

Yours truly,

A.T.H. you said
how they expect
us to remember everything?
H.M.
11/1/52

RECEIVED
NOV 29 1952
DEPT. OF CITY PL. MAP.
CITY OF PORTLAND

AP Island Avenue, Peaks Island
(Assessor's Lot No. 84-R-8)

November 24, 1952

Mr. W. E. Brackett
Peaks Island, Maine
Mr. Charles Brown
Peaks Island, Maine

Gentlemen:

If you will refer to my letter of November 5 relating to the proposed change of the bakery on Island Avenue, Peaks Island, (Assessor's Lot No. 84-R-8) to a dwelling house, and Mr. Brackett's letter received here November 14, you will see that the matter of sewage disposal, the question of windows of adequate size in each room and the questions of exterior doors and porches have been cleared up.

While Mr. Brackett filed an arrangement plan of rooms and partitions here October 20, his letter does not make clear which of the partitions are existing and which are to be built. The application calls for the erection of only three non-bearing partitions to make five rooms, but Mr. Brackett came to the office on November 18, talked with Inspector Hamilton, and indicated that the owner desired a different arrangement of partitions and rooms than that shown on Mr. Brackett's original sketch.

Instead of making a plan to show the framing of the floor and sills, the supports beneath the first floor and the wall and roof framing, Mr. Brackett has attempted to convey that information in his letter; but the written information is not adequate to establish compliance with the Building Code, as we are required to have shown, before a permit can be issued. This plan was requested in the seventh paragraph of my letter of November 5, and there is no way that I know of to get your permit issued without furnishing this plan and having it checked here; also the actual proposed arrangement of rooms and partitions and a designation as to which are new partitions and which are existing, also any partitions to be removed.

Making this plan is not a difficult job. We are not requiring a blueprint, but the plan must be clear, establish all the necessary information, and I am sure that Mr. Brackett can make it himself if he is willing. Unfortunately the pressure of work in this office and the demands of many owners and contractors that we give fair and equal service to all, prevents our inspector from going to the site to check up and making these plans for you. I am sure you will appreciate the fact that we are to employ enough men to do this work for all, the appropriation for this department would be several times what it is now, an increase which no one, especially the taxpayers, wants.

When Mr. Brackett was talking with me he said that the roof joists ran across the building, and I believe he said that they were only 2x6. This would mean that the 2x6s are on maximum spans of 16 feet, which is far too long a span. Mr. Brackett has indicated in his letter that the roof could be supported upon bearing partitions, if necessary. It evidently will be necessary to so support the roof joists in the main part of the building where it is 16 feet wide, and it seems apparent that the ceiling joists could be supported upon the same bearing partitions. Apparently, since you have shown the greatest span of ceiling joist as 11 feet, you may intend a bearing partition that distance away from one of the side walls. The 2x6 roof joists, if of dressed stock, would not be strong enough on an 11 foot span, if the joists are more than 16 inches from center to center.

Mr. W. E. Srockett
Mr. Charles Brown

2

November 24, 1952

Of course, if bearing partitions are to be used, and they do seem necessary, we shall have to know how their weight and the weight upon them is to be supported upon the girders and posts beneath the first floor.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMD/B

7B

Mr. Warren & Donald

Thursday

Mrs. Building
Portland ME
Dear Sirs

RE
NOV --
DEPT. OF BLDG.
CITY OF PORTLAND

Im request to get

letter regarding information regarding
proposed change in of Basement Part.

As drawing will reflect the
framing of first floor is as follows

Beils 4x8"

Blow joints 4x4"

RECEIVED
NOV 14 1952
CLERK BLDG. DEPT.
CITY OF PORTLAND

Trusses at random sizes 6x6-4x8
4x10 spaced 3 ft. These in turn

are supported by 3" cedar posts
or concrete footings spaced 3 ft.

There is a existing chimney also

4x4 back posts will exist to
ground.

It is proposed to erect a
steam, ~~water~~ ^{oil} boiler
frame with lattice rail board,
belonging to 12' 8" high, and
supported by ~~steel~~ ^{wood} joists.

Roof of messes are ~~to be~~ ^{to be}
supported from center positions.

RECEIVED
NOV 14 1952
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

The windows are 14' x 28' 4 1/2" to
double hung. Outside doors
are 2' 8" x 6' 8". The existing
door on street is to be removed
to N. side and will be replaced
by 2 windows 14' x 28'. All
there will be no porch here
only one step to ground.

If this does not answer
your questions perhaps it would
be better to send Mr. Hamilton

14 Island Avenue, Peaks Island
(Assessor's Lot No. 84-R-8)

November 5, 1952

Mr. W. E. Brackott
Peaks Island, Maine
Mr. Charles Brown
Peaks Island, Maine

Copy to: Health Officer

Gentlemen:

Acknowledging receipt of Mr. Brackott's letter and the sketches relating to proposed change of the bakery on Island Avenue, Peaks Island, (Assessor's Lot No. 84-R-8) to a dwelling house, please note the following:

Since the building has no public sewer available, we must have the approval of the Health Department upon the method of sewage disposal, before a permit may be issued. To expedite that matter a separate letter is enclosed to each of you, asking how to go about securing approval.

Section 212d of the Building Code requires an operative window of adequate size to admit light and air in every room used for living quarters. The meaning of the term "adequate size" has now been determined by the Housing Ordinance to the effect that each such room must have a window area equal to at least one-twelfth of its floor area and that at least one-half of the such area can be open.

The sketch uses various indications for size indicated as 11x28. The window at the bathroom is in the living room one window besides the door is a mullion window with each sash, side by side, 11x28. If all of the windows have four lights 11x28. If not, there are squares in required window areas since a single sash 11x28 contains four feet. Note also that at least one-half the sash area of each must be operable. It is not clear whether or not the windows indicate or whether some of them are to be new. This should be made clear.

The Zoning Ordinance requires at least 10 feet between the proposed dwelling and the shooting gallery. The letter says that you mean to move the shooting gallery to give the required space between the two buildings. This will require a separate building permit, and with the application should be filed a plan giving full details of the proposed location of the building with its existing location, and the location of the proposed dwelling to the former; also the type of foundation proposed, size of sill and center girder, if any, spans and direction of span of floor joists and the spans for the rafters and proposed spacing of posts or piers if a continuous wall is not intended for foundation. This will all have to be worked out and the permit for moving the shooting gallery ready for issuance before we can issue the permit for change of use of the bakery.

It is also important to indicate on the new application what the shooting gallery building will be used for in its new location, and to bear in mind that, if intended for any activity such as a shooting gallery, which requires an annual license by the Municipal Officers, we shall have to be very particular with regard to all details of strength and safety.

It will also be necessary to show a framing and foundation plan of the building

Mr. W. E. Brackett
Mr. Charles Brown

2

November 5, 1952

proposed to be changed to the dwelling, including full information about the present foundation, the size of sill and spans of sill, size, spacing and spans of floor joists and of rafters; the size, spacing and spans of the proposed ceiling joists and how they will be supported, together with the material to be used on the new ceilings; the material to be used on the new non-bearing partitions and existing material on that proposed on existing partitions and on the inside of exterior walls. Incidentally, your sketch should be changed to show which partitions exist, and which are proposed. There will also be question as to whether or not the present floor joists are strong enough to support the partitions, both those which exist and those which are proposed. In short, we need to know everything about this building which will allow us to check up its strength and fitness under Building Code requirements for use as a dwelling house. The only record as to its condition which we have been able to find is that in the Assessor's Record around 1924, which says that the building was then in poor condition. Perhaps it has been fixed up satisfactorily since, or you propose to do so now. If the latter, we should be told how you propose to fix it.

The letter indicates some changes of windows and doors, but the sketch does not make clear what the present situation is and what is proposed, especially with regard to the doors. These changes should be shown and whether or not new porches and steps are to be provided outside of the doors. If so, a framing and foundation plan of each porch is needed.

A chimney is shown on the sketch at the kitchen. Is that the only chimney? Does it exist or is it proposed? How do you propose to heat the proposed dwelling house?

Very truly yours,

Warren McDonald
Inspector of Buildings

WHC/B

Enclosure: Notice about sewage disposal

58

*File
Dept*

*File of
office*

CITY OF PORTLAND MAINE
Department of Building Inspection

November 5, 1952

(Assessor's Lot
Location--Island Avenue, Peaks Island (No. 84-R-8)
Owner--Charles Brown
Contractor--W. El Brackett
Type of Bldg.--Change from former bakery to
single family dwelling

To the Health Officer:

Application for building permit identified as above has been filed in this office; indicating that the proposed dwelling is now and will continue to be connected to a private sewer, which probably serves other buildings as well.

Your approval as to the method of sewage disposal is requested before a building permit is issued, therefore will you complete and return the appended report as expeditiously as possible.

[Signature]
Inspector of Buildings

Attachment:
Copy of this notice
Copy of letter to owner

RECEIVED
NOV 12 1952
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

Proposed sewage disposal method is ~~is not~~ approved.

Remarks: Sewage from this building apparently flows into a line that was constructed to serve the roller skating rink that used to exist next door. Sewage from the Brown grocery store also flows into this same line. From all reports this line runs to below low water. No evidence was found to show sewage is discharging over the ground on above low water. *AMW.*

[Signature]
Health Officer *11/10/52*

This is apparently a private drain, which gives no evidence of malfunction, nor would change of use appear to alter the condition. Therefore we have no grounds for disapproval, even though we frown on such private drains.

AP Island Avenue, Peaks Island
(Assessor's Lot No. 84-R-8)

November 5, 1952

Mr. W. E. Brackett
Peaks Island, Maine
Mr. Charles Brown
Peaks Island, Maine

Gentlemen:

Application by W. E. Brackett to make alterations in and change the use of the former bakery on Island Avenue, Peaks Island (Assessor's Lot No. 84-R-8) for Charles Brown indicates that no connection is possible to a public sewer, and that sewage disposal is to be by means of existing sewer.

The Building Code directs, where connection to a public sewer is not possible, that the proposed method of sewage disposal must be approved by the Health Officer before any building permit is issued.

That the Health Department may be aware of the proposed method of sewage disposal, you should explain, by plan or otherwise, the details and location of the private sewer, where it discharges and what other buildings it serves--to Sanitary Engineer Norman Winch.

Very truly yours,

Warren McDonald
Inspector of Buildings

WED/B

CC: Health Officer

6A

Ulat's Island, Oct 28, 1952

Mr. Warren M. Donald
Ins. of Buildings,
Portland Me.



Dear Sir,

Enclosed find plan showing outline and dimensions of lot, also outline of building, also plan showing first floor arrangement of partitions and windows.

Other than the erection of necessary non bearing partitions, new & ft ceilings, changing windows and doors, no other changes are intended.

Design is to be designed by owner. This is a private record and takes care of all buildings on property.

You will please note that there is only a distance of two feet between Bldg and Shooting Gallery. Old intention is to move Gallery to a distance of 12 ft. or whatever complies with Building Code.

Yours very truly
W.E. Brackett.

AP Island Avenue, Peaks Island
(Assessors' Lot No. 84-R-8)

October 23, 1952

Mr. W. E. Brackett
Peaks Island

Mr. Charles Brown
Peaks Island, Maine

Gentlemen:-

We are unable to issue the permit for making alterations in and changing the use of the bakery on Island Avenue, Peaks Island (Assessors' Lot No. 84-R-8) to a dwelling because not enough information has been furnished with the application to show compliance with the Building Code which must be established before a building permit can be issued.

It is necessary that you furnish a plan showing the outline and dimensions of the lot on which the building is, the location on the lot of the outline of the building, including any existing or proposed porches, outside chimneys and the like. Also to provide a plan to scale showing the first floor arrangement of the proposed building where existing partitions are and where new ones will be provided, and the location and over-all size between frames of all of the windows.

You should also indicate how you intend to dispose of sewage, not merely by saying that it will be disposed of in the same manner as it is now, but in detail so that the matter may be checked by the Health Department.

If any changes are intended other than erection of the three non-bearing partitions indicated on the application, you should be explicit about those changes and give us details. For instance, if new ceilings are to be provided, we should know that. If new doorways are to be cut in, that should be shown on the plan. If new porches of any kind are intended, roofs over existing porches or existing porches enclosed, the details of all of that should be given.

Please bear in mind that before the building can be actually used for a dwelling, it is necessary that final inspection by this department show everything controlled by the Building Code and Zoning Ordinance to be in order and that the required certificate of occupancy covering the dwelling house use is issued from this department.

Very truly yours,

Inspector of Buildings

WMC/D

Island Ave. Peaks & R. & All Bakery & Dwelling. 10-5-52
 Charles Brown, owner
 W. C. Brackett, Contractor
 Check of title and plan of 7 or 29, 32 against title plan of 52.

This check is based on Mr. Brackett's figures in letter of Nov 11th & letter and plan, provided, rather than figures given me, verbally on Nov. 18th by Mr. Brackett (shortages by Mr. Brackett are 3' in 16' span and 15' sill ext. (horizontal) & span - O.K.)

Floor - $15 \times 3 \times 15 = 203$ Sill Ext. $4 \times 4 \times 11.00 = 180.73$
 Wall - $5 \times 10 \times 18 = 540$ $180.73 \times 2 = 361.46 = 401.6$ ⁷/₈ $\times 11.00 = 48.17$
 Curb - $3 \times 4 \times 8 = 96$
 Roof - $3 \times 6 \times 48 = 810$ $180.73 \times 2 = 361.46$ $361.46 + 48.17 = 409.63$
 Total in wall 1649

45	15
18	15
360	22.5
15	180
710	20.25
	1643
	1643
	1507.5
30)	1445.54 (22.16)
	244.1
	38
	212.47

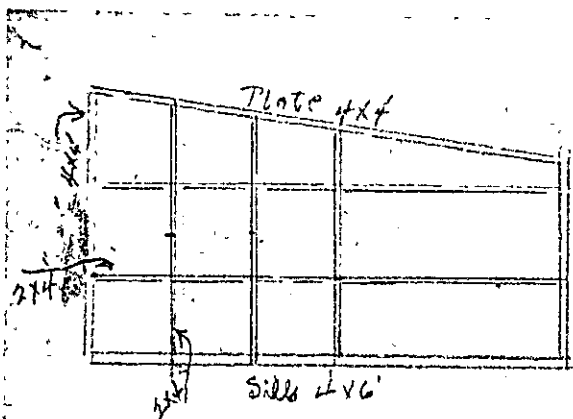
Anten Jorden 4' x 10' in 3' span O.K.
 Floor $15 \times 3 \times 15 = 203$ $18.71 \times 36.0735 = 673.58 = 420$ ⁷/₈ $\times 11.00 = 48.17$ ⁷/₈ $\times 11.00 = 48.17$
 Part. $3 \times 10 \times 18 = 540$
 Curb $3 \times 2 \times 8 = 48$
 Roof $3 \times 8 \times 48 = 1080$ $3 \times 10^2 = 300$ 200 $3 = 67$ ⁷/₈ $\times 11.00 = 48.17$
 1871

45	24
1871	18.0
36	90
1122.6	12.57
5613	
6735.6	
11)	6735.6 (7.6)
	55
	72

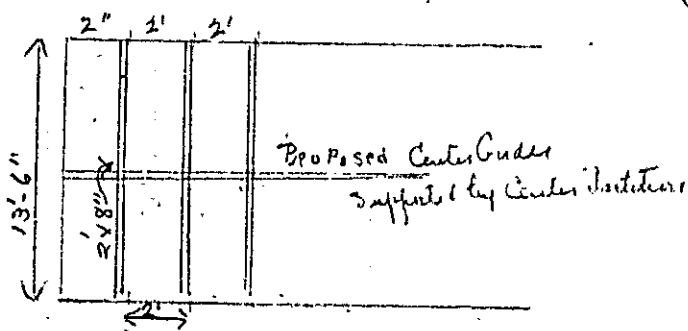
Ceiling 2 x 8 on 8 span 2' o.c. = $1396 = 87$ ⁷/₈ $\times 11.00 = 48.17$ O.K.
 Roof 8 x 8 on 10' span (Plan Oct 30, 52) = $1167 = 56$ ⁷/₈ $\times 11.00 = 48.17$ O.K.

10)	1396 (6.8)
	76
27	27 (39)
	32
	211
20)	1167 (5.7)
	117

These figures are based on a more dimension of 16' width the roof which has been taken as 10' span & ceiling to Oct 30th plan. It has been taken the 8' spacing on 10' span as given by Mr. Brackett in his letter of Nov 14th which of course accounts for the sill and girder over design.
 It seems permit could be issued with understanding that the above dimensions taken are reasonably correct.

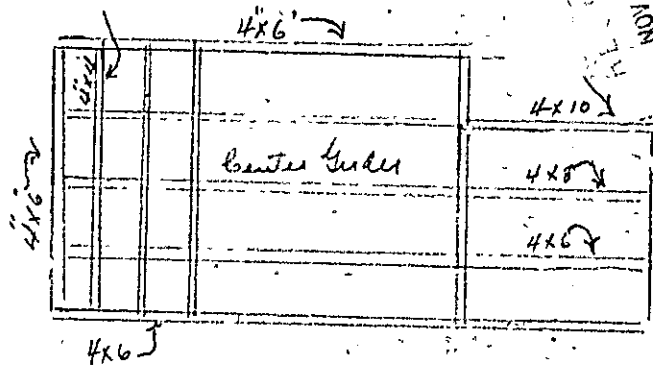


Sketch Side Wall Framing
Vertical Boarding

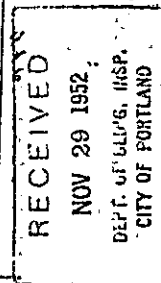
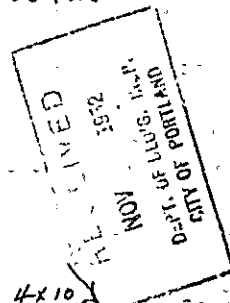


Roof Framing

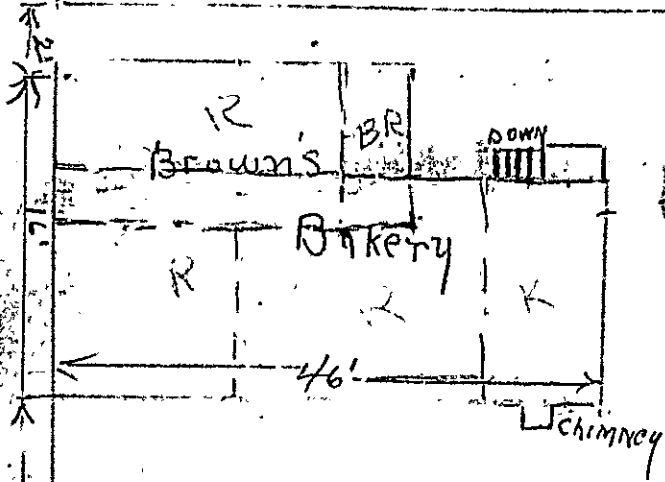
BROWN RESTAURANT
Peaks Island



Framing FIRST FLOOR
Floor Timbers 4x4 - 2' O.C.
Concrete Footings.
Posts - 8-10" diameter - Spaced 3'



Shooting Gallery



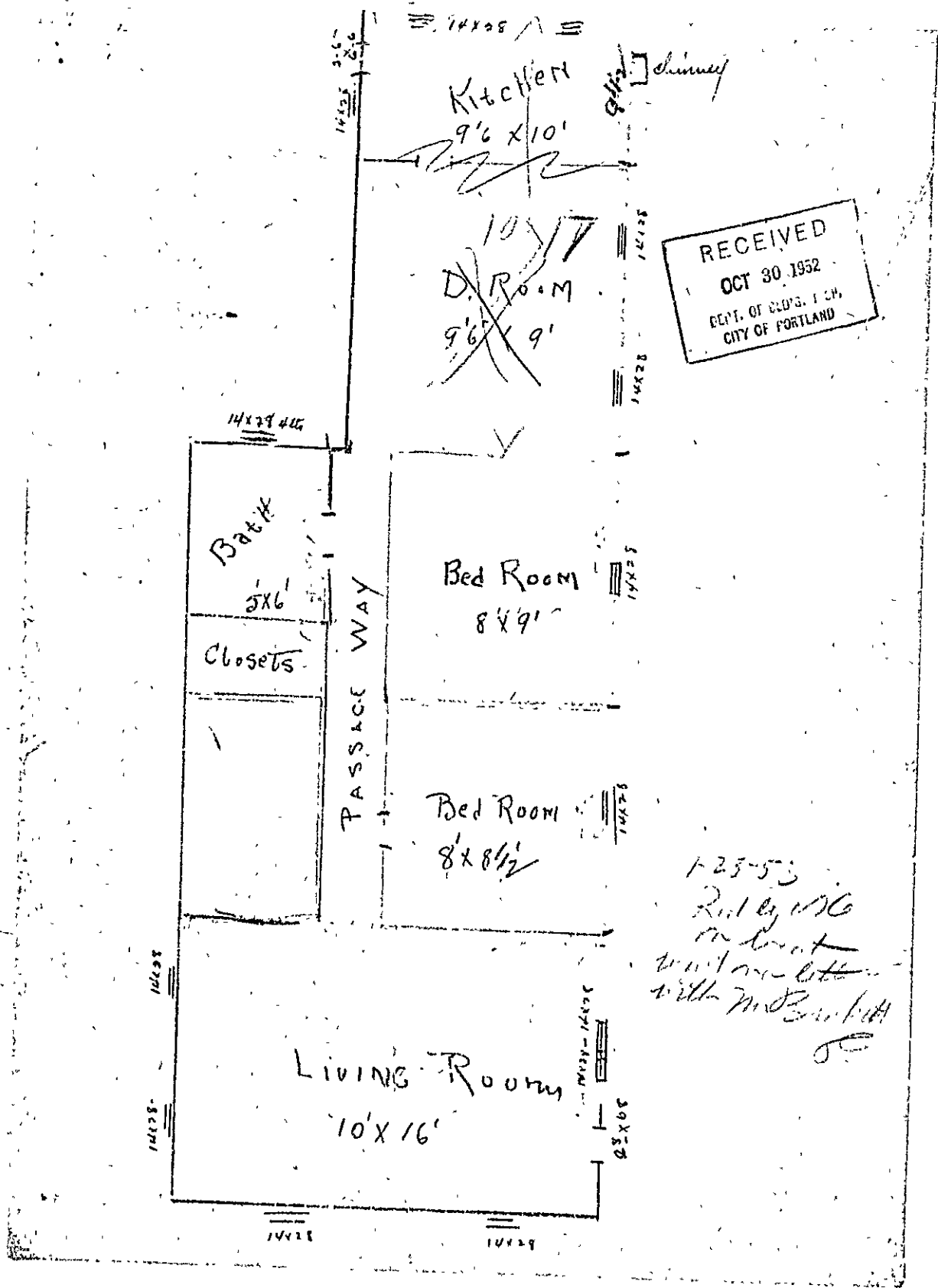
RECEIVED
OCT 30 1952
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

Island Ave

Open Lot to Shore

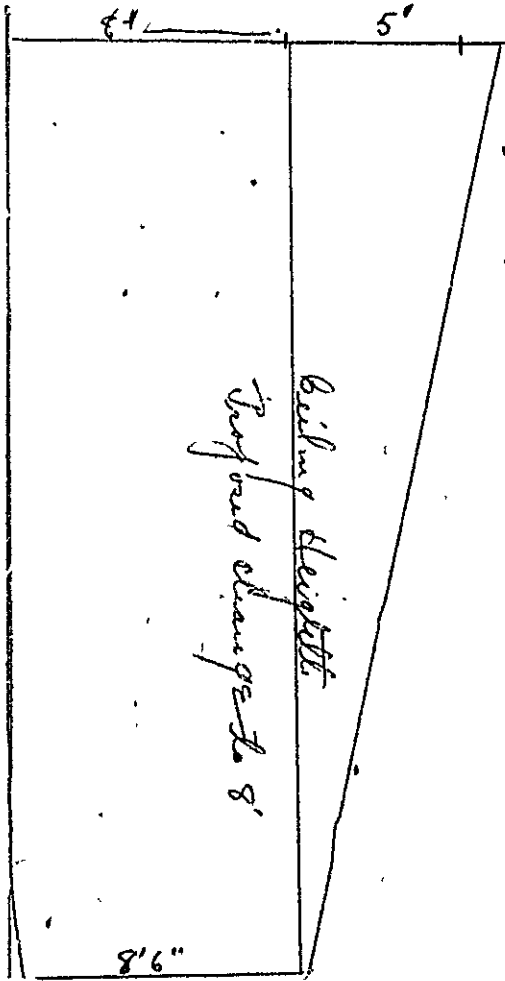
11-15-52. (Reading) & Mr. Brundage
(Particular in Blue) J.C.

Brown's
Store

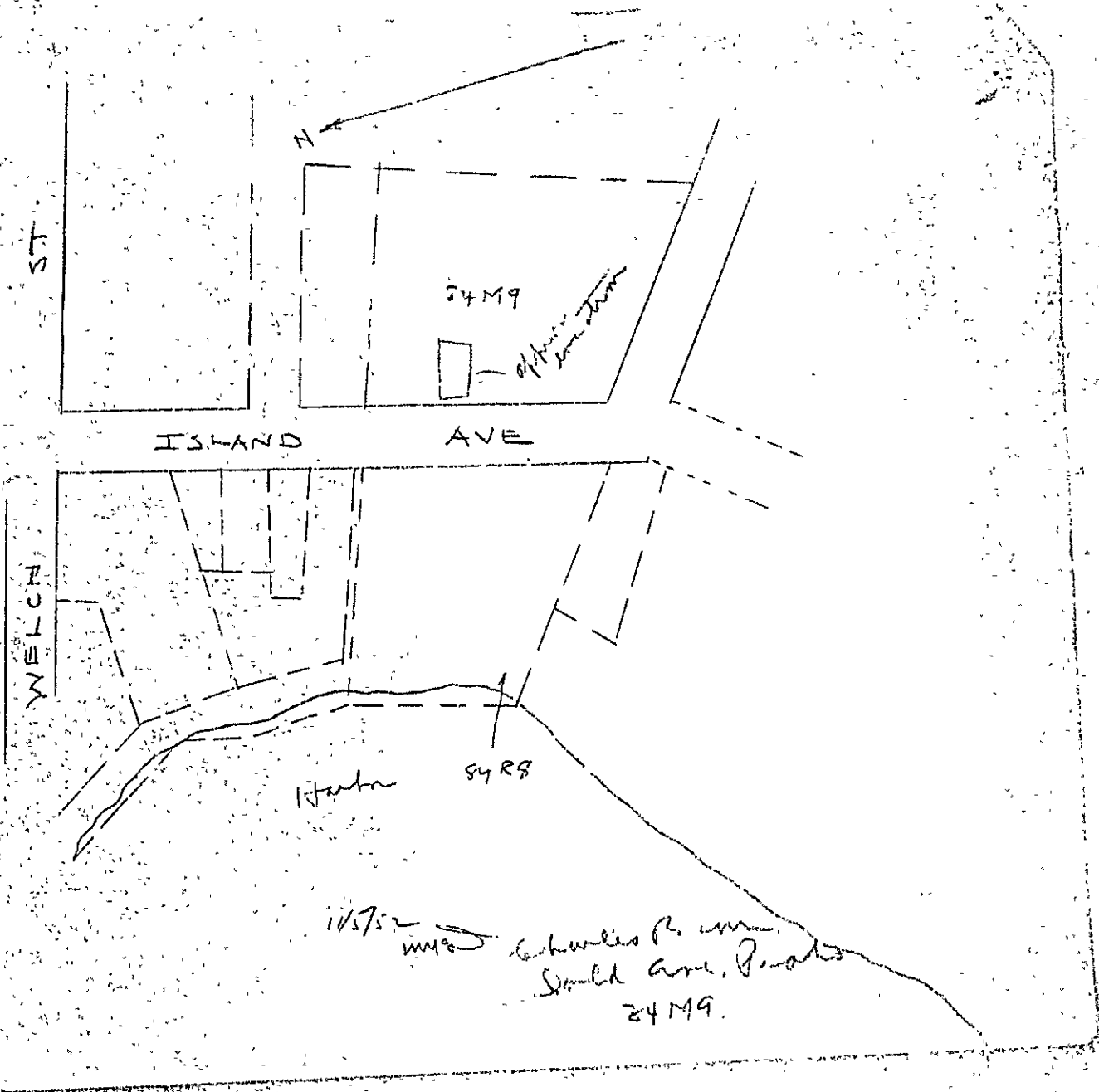


RECEIVED
OCT 30 1952
DEPT. OF CLERK. I. CH.
CITY OF PORTLAND

1-25-53
Red by 196
on lot
with no other
with M. B. Smith
S



RECEIVED
OCT 30 1952
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND





APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, November 18, 1952

PERMIT ISSUED

NOV 18 1952

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ demolish ~~the~~ the following building ~~specifications~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: 84-R-8

Location Island Avenue, Peaks Island Within Fire Limits? no Dist. No. _____

Owner's name and address Charles Brown, Peaks Island Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address W. E. Brackett, Peaks Island Telephone _____

Architect _____ Specifications _____ Plans no No. of sheets _____

Proposed use of building _____ No. families _____

Last use Shooting Gallery No. families _____

Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost \$ _____ Fee \$.50

General Description of New Work

To demolish former shooting gallery approximately 15' x 70'.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO W. E. Brackett**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Charles Brown

Signature of owner by:

W. E. Brackett

INSPECTION COPY

Permit No. 52/2107

Location Island Air Park Island

Owner Charles Brown

Date of permit 11/14/52

Notif. closing-in

Inspn. closing-in

Final Notif.

Final insp. 1-22-53

Cert. of Occupancy issued None

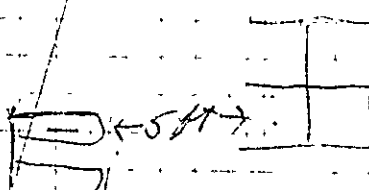
~~1-23-53: All materials in compliance with~~

1. Right of way - 800 sq. ft. on lot 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

RECEIVED
APR 22 1947
DEPT. OF PUBL. WORKS
CITY OF BOSTON

Street

S. Harvard



Memorandum from Department of Building Inspection, Portland, Maine
Island Ave., Peaks Island (Assessors' Lot No. 84-R-8)-Installation of grille fired by
liquefied Petroleum gas (Philgas) for Charles Brown by Earl L. Hutchens-5/2/47

To Installer and Owner: CC Charles Brown, Peaks Island

Standards of good practice for installation^a of liquefied petroleum systems such as those are set up by the Municipal Officers of Portland as Standards of National Board of Underwriters for such systems (Pamphlet No. 58). It is assumed that the installer is familiar with requirements for relief valves, etc. and will observe them. A copy of this pamphlet may be examined at this office, if the installer does not have one. With regard to cylinders the regulations say: "Containers shall be set upon a firm foundation, or otherwise firmly secured; the possible effect of settling shall be guarded against by a flexible connection or special fitting.

It seems particularly important that the cylinders on the outside of the building be supported on a foundation extending at least 4 feet below the surface of



(B) LIMITED BUSINESS ZONE

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, April 22, 1947

00876
MAY 3 1947
April 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Island Avenue, Peaks Isl Use of Building Restaurant No. Stories New Building
 Existing
Name and address of owner of appliance Charles Brown, Peaks Island
Installer's name and address Earl Hutchens, Luther St., Peaks Island Telephone 44-11

General Description of Work

To install gas-fired grille in place of existing grille (oil-fired)
(Philgas) **INSPECTION NOT COMPLETE** 4/25/47 O.K. 1026

Health Notices to
Health Officer and thus IF HEATER, OR POWER BOILER
Location of appliance or source of heat Type of floor beneath appliance
If wood, how protected? Kind of fuel
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour

IF OIL-BURNER

Name and type of burner Labeled by underwriters' laboratories?
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner
Location of oil storage Number and capacity of tanks
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? How many tanks fire proofed?

IF COOKING APPLIANCE

Permit Issued with Memo

Location of appliance 1st Kind of fuel gas Type of floor beneath appliance wood
If wood, how protected? 8" legs
Minimum distance to wood or combustible material from top of appliance 10'
From front of appliance Over 4' From sides and back Over 3' From top of smokepipe
Size of chimney flue Other connections to same flue existing
Is hood to be provided? yes If so, how vented? through roof
If gas fired, how vented? through roof Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of Installer Earl P. Hutchens

8/11/77

Permit No.

471 885-7117

Location

Island Ave, Pearl, Del.

Owner

Charles Brown

Date of permit

5/3/77

Approved

INSPECTION ^{NOTES} NOT COMPLETED

84-R-4

27/11
12/2/76

AP Island Ave. Peaks Island
(James Brown)

ATH
ESS
FMT
PB
SJS
HL
BS

April 23, 1946

Mr. James Brown
Island Avenue
Peaks Island, Maine

Subject: Building permit to cover providing concrete floor surface over a certain area of the store owned by James Brown on Island Ave. Peaks Island

Dear Sir:

Building permit for the above work is herewith, subject to the following:

While you have shown on the application the size of the floor joists and their spans and they seem to work out all right to take the extra load of the concrete surface, you have given no information as to the spans of the 6x8 sills or beams which the application says support the 2x8 joists. Therefore, it is not possible to check the strength of the 6x8 sills or beams.

I note that you are to do the work yourself, and I suggest that you get someone to advise you as to whether or not the 6x8 beams require strengthening by adding additional posts or piers or something of that nature. Ordinarily we would withhold the building permit until you had furnished this information, but the pressure of work in this office is such and the need for keeping work moving causes me to issue the permit without knowing fully as to compliance with the Building Code for strength and relying upon you to make sure about it so that at time of inspection everything will be found all right. The concrete floor surface two inches thick adds 25 pounds per square foot to the dead weight on the floor. That certain added weight over every square foot accumulates to quite a substantial load by the time it reaches a main girder or sill. It is also quite possible that the sills or some of them that support the new floor surface also are called upon to support part of the roof loads. This should be taken fully into account.

Very truly yours,

Inspector of Buildings

MCD/B

(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT



Class of Building or Type of Structure Third Class

Portland, Maine, April 17, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. Application completed 4/20

The undersigned hereby applies for a permit to ~~erect~~ alter ~~reconstruct~~ ~~demolish~~ the following accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, Maine, if any, submitted herewith and the following specifications:

See also equipment in plans and specifications.

Location Island Avenue, Peaks Island Within Fire Limits? no District

Owner's name and address James Brown, Island Ave., Peaks Island Telephone 107-11

Lessee's name and address _____ Telephone _____

Contractor's name and address owner Telephone _____

Architect _____ Specifications _____ Plans no No. of sheets _____

Proposed use of building _____ No. families _____

Last use _____ No. families _____

Material frame No. stories 1 Height _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost \$ 150. Fee \$ 1.00

Health Notices to Health Officer and

General Description of New Work

To provide concrete floor for area 8'x7' front portion of building.

The concrete surfacing is to be no less than 2 inches thick at any point, is to be pitched properly to the floor drain, if any, is to be reinforced with suitable wire mesh embedded in concrete, is to be extended up the surface of walls and partitions ~~at least~~ at least 4" above the surface of the floor at the wall or partition and a curved or other shaped surface provided for sanitary reasons where the horizontal surface joins the vertical surface. Before concrete is placed, suitable waterproof felt is to be laid on the floor surface to be covered. In event the additional weight of concrete would overload present floor framing and supports according to Building Code standards, this floor framing and supports will be permanently strengthened accordingly. It is understood that Health Dept. stipulates also that concrete is to be waterproofed with acceptable integral waterproofing, and that surface be painted with water proof paint especially prepared for concrete, preferably of dark red color.

Existing floor 2x8 joists, 18" O.C., 7' span - 6x8 sill **Permit Issued with Letter**

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber--Kind _____ Dressed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

Signature of owner

James Brown

NON COPY

Permit No. 46/673

Location Island on Pelee Is.

Owner James Brown

Date of permit 4/23/46

Notif. closing-in

Inspn. closing-in

Final Notif

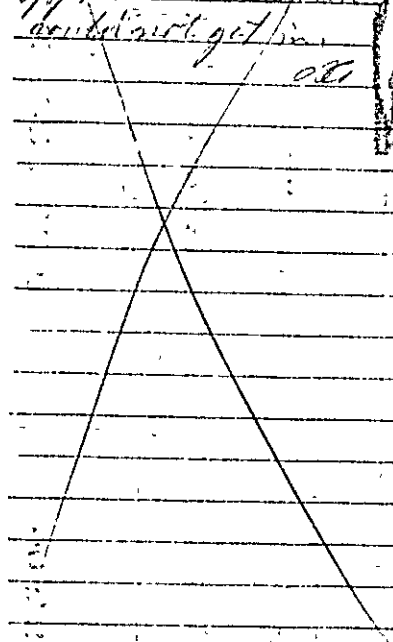
Final Inspn 6-6-46 etc.

Cert. of Occupancy issued None

NOTES

7/7/46. Work started
and not get in.

etc.



No.	Date	Description	Inspector	Remarks
1	4/23/46	Permit issued		
2	6/6/46	Final inspection		
3	7/7/46	Work started		
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(3) LIMITED BUSINESS CONCERN

APPLICATION FOR PERMIT

Permit No. 0249

Class of Building or Type of Structure Third
Second Class

Portland, Maine, March 2, 1942 MAR 8 1942

I, the **INSPECTOR OF BUILDINGS, PORTLAND, ME.**

The undersigned hereby applies for a permit to erect, alter, install, the following building structure—equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue Peaks Island Within Fire Limits? no Dist. No. _____
 Owner's or Lessee's name and address James Brown, Island Ave. Peaks Telephone _____
 Contractor's name and address Geo. Kaening, Willow St. Peaks Telephone _____
 Architect _____ Plans filed _____ No. of sheets _____
 Proposed use of building store No. families _____
 Other buildings on same lot _____
 Estimated cost \$ 65. Fee \$.50

Description of Present Building to be Altered

Material stucco No. stories 1 Heat oil heater Style of roof _____ Roofing _____
 Last use Store No. families _____

General Description of New Work

To build one inside brick chimney

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF DULY MADE
REQUIREMENT IS WAIVED

Is any plumbing work involved in this work? _____
 Is any electrical work involved in this work? _____ Height average grade to top of plate _____
 Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation concrete Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys 1 Material of chimneys brick of lining tile
 Kind of heat stove Type of fuel _____ Is gas fitting involved? _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____
 If a Garage _____
 No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 Signature of owner James Brown
 Signature of contractor Geo. Kaening

INSPECTION COPY

Permit No. 42/214

Location Island Ave. Peabody

Owner James P. Brown

Date of permit 3/3/42

Notif. closing _____

Inspn. closing-in _____

Final Notif. _____

Final Inspection NOT COMPLETED

Cert. of Occupancy issued _____

NOTES

*5/25/42 this work done check
later with Mr. Brown, acts
how brickwork is placed
through partition. etc.*



APPLICATION FOR PERMIT

Permit No. **1468**

Class of Building or Type of Structure extra

SEP 30 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, Sept. 30, 1940

The undersigned hereby applies for a permit to erect alter ~~etc.~~ the following building structure and equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Ave Forest City Ldg. Within Fire Limits? Dist. No.
 Owner's or lessor's name and address Peaks Island Charles Brown Island Ave. Telephone
 Contractor's name and address George Jordan Telephone
 Architect Telephone
 Proposed use of building Plans filed No. of sheets
 Other buildings on same lot No. families
 Estimated cost \$ Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 1 Heat Style of roof Roofing
 Last use Amusement No. families

General Description of New Work

Demolish building 15' x 35'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work?
 Is any electrical work involved in this work? Height average grade to top of plate
 Size, front depth No. stories Height average grade to highest point of roof
 To be erected on solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Material of underpinning Height Thickness
 Kind of Roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining
 Kind of heat Type of fuel Is gas fitting involved?
 Framing, Lumber—Kind Dressed or Full Size?
 Corner posts Sills Girt or ledger board? Size
 Material columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-10" C. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor , 2nd , 3rd , roof
 On centers: 1st floor , 2nd , 3rd , roof
 Maximum span: 1st floor , 2nd , 3rd , roof
 One story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated
 Total number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Charles Brown James Brown



APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. **0441**

Class of Building or Type of Structure Third Class

APR 29 1940

Portland, Maine, April 30, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect/alter/install the following building structure/equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Within Five _____ Dist. No. _____
 Owner's or Lessee's name and address Charles Brown, Peaks Island Telephone _____
 Contractor's name and address George Jordan, Island Ave, Peaks Telephone 78-2
 Architect _____ Plans filed _____ No. of sheets _____
 Proposed use of building _____ No. families _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 1.00

Description of Present Building to be Altered

Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Last use Restaurant "Contessa" No. families _____

General Description of New Work

To demolish building 18' x 25' no sewer connection

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____
 Is any electrical work involved in this work? _____ Height average grade to top of plate _____
 Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing Lumber—Kind _____ Dressed or Full Size? _____
 Corner posts _____ Sill _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Or centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____; to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 Signature of owner Charles Brown

INSTRUCTION COPY

Signature of owner

By George Jordan

67765

Permit No. 40/441

Location *Delta Ave. Peaks*

Owner *Charles Brown*

Date of permit *4/30/40*

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspection: NOT COMPLETED

Cert. of Occupancy issued :

NOTES

*6/7/40. General note
not started. etc.
8/13/40. Same etc.
8/20/40. Mr. Brown said this
is to be done shortly. etc.*