



PERMIT TO INSTALL PLUMBING

Date Issued **4-4-77**
 Portland Plumbing Inspector
 By **ERNOLD R. GOODWIN**

Address **84-10-1 Island Ave. Pks. Island** PERMIT NUMBER **1111**
 Installation for **one family**
 Owner of Bldg **Mike Donaldson**
 Owner's Address: **same**
 Plumber: **William H. Carr 378 Long Mt Falmouth**

App. First Insp.
 Date
 By
 App. Final Insp.
 Date
 By
 Type of Bldg.
 Commercial
 Residential
 Single
 Multi Family
 New Construction
 Remodeling

NEW	REPL		DATE	PRICE
		SINKS		
x		LAVATORIES	1	2.00
x		TOILETS	1	2.00
		BATH TUBS		
		SHOWERS		
		DRAINS FLOOR SURFACE		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
x		OTHER	1	2.00
		Urinal		
		base fee		3.00
		TOTAL		9.00

*11/18/77
 NO FEE
 R.A.
 E.A.*

Building and Inspection Services Dept.: Plumbing Inspection

CITY OF PORTLAND, MAINE

Application for Permit to Install Wires

Permit No. 5792A
 Issued 6/24/69
 June 24... 1969

Portland, Maine

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out - Minimum Fee, \$1.00)

84-L-9-10

Owner's Name and Address Deady School Center Tel.

Contractor's Name and Address Robert L. Hoar, P.E. Tel.

Location Island Ave. & Helms St. Use of Building Service Sta.

Number of Families _____ Apartments _____ Stores _____ Number of Stories 1

Description of Wiring: New Work Additions _____ Alterations _____

Pipe _____ Cable _____ Metal Molding _____ BX Cable _____ Plug Molding (No. of feet) _____

No. Light Outlets 2 Plugs 3 Light Circuits 1 Plug Circuits 1

FIXTURES: No. _____ Fluor. or Strip Ligating (No. feet) _____

SERVICE: Pipe _____ Cable Underground _____ No. of Wires 3 Size #3

METERS: Relocated _____ Added _____ Total No. Meters 1

MOTORS: Number 2 Phase 1 H. P. 1 Amps _____ Volts 240 Starter _____

HEATING UNITS: Domestic (Oil) _____ No. Motors _____ Phase _____ H.P. _____

Commercial (Oil) _____ No. Motors _____ Phase _____ H.P. _____

Electric Heat (No. of Rooms) _____

APPLIANCES: No. Ranges _____ Watts _____ Brand Feeds (size and No.) _____

Elec. Heaters _____ Watts _____

Miscellaneous _____ Watts _____ Extra Cabinets or Panels _____

Transformers _____ Air Conditioners (No Units) _____ Signs (No. Units) _____

Will commence .. 19 _____ Ready to cover in 19 _____ Inspection ... 19 _____

Amount of Fee \$ 6.00

Signed Robert L. Hoar

DO NOT WRITE BELOW THIS LINE

SERVICE	METER	GROUND
VISITS: 1	2	3
..... 7	8	9
		10
		11
		12

REMARKS:

INSPECTED BY J.W. Hartman
 (OVER)

Peaks
 LOCATION Island Av.
 INSPECTION DATE 7/9/69
 WORK COMPLETED 7/9/69
 TOTAL NO. INSPECTIONS
 REMARKS:

FELS FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING		
1 to 80 Outlets		\$ 2.00
31 to 60 Outlets		3.00
Over 60 Outlets, each Outlet		.05
(Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet)		
SERVICES		
Single Phase		
Three Phase		
MOTORS		
Not exceeding 50 H.P.		2.00
Over 50 H.P.		4.00
HEATING UNITS		
Domestic (Oil)		3.00
Commercial (Oil)		4.00
Electric Heat (Each Room)		
APPLIANCES		
Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Built-in Dishwashers, Dryers, and any permanent built-in appliance — each unit		2.00
		4.00
		.75
MISCELLANEOUS		
Temporary Service, Single Phase		1.50
Temporary Service, Three Phase		
Circuses, Carnivals, Fairs, etc		
		1.00

CITY OF PORTLAND, MAINE

Application for Permit to Install Wires

Permit No. **54812**

Issued

Portland, Maine

, 19...

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out - Minimum Fee, \$1.00)

Owner's Name and Address *Mildred W. Whittam*, Tel. _____
 Contractor's Name and Address *Raymond Bayle*, Tel. *7622-66*
 Location *Beaks Island*, Use of Building *Home*
 Number of Families *1* Apartments _____ Stores _____ Number of Stories _____
 Description of Wiring: New Work Additions _____ Alterations _____

Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet)
 No. Light Outlets Plugs Light Circuits Plug Circuits
 FIXTURES: No. Light Switches Fluor. or Strip Lighting (No. feet)
 SERVICE: Pipe Cable Underground No. of Wires *3* Size *2 X 4*
 METERS: Relocated Added Total No. Meters _____
 MOTORS: Number Phase H. P. Amps Volts Starter
 HEATING UNITS: Domestic (Oil) No. Motors Phase H.P. _____
 Commercial (Oil) No. Motors Phase H.P. _____
 Electric Heat (No. of Rooms) _____
 APPLIANCES: No. Ranges Watts Brand Feeds (Size and No.)
 Elec. Heaters Watts _____
 Miscellaneous Watts _____ Extra Cabinets or Panels _____
 Transformers Air Conditioners (No. Units) Signs (No. Units) _____
 Will commence *4/29* 19 *66* Ready to cover in *4-28* 19 Inspection *4/30* 19 *66*
 Amount of Fee \$ _____ Signed _____

DO NOT WRITE BELOW THIS LINE

SERVICE		METER		GROUND		
VISITS: 1	2	3	4	5	6	
7	8	9	10	11	12	
REMARKS						

INSPECTED BY

Raymond Bayle
 (ELECTRICIAN)
 Norman Butterfield

Pooks Island

LOCATION City Pt. Rd.
INSPECTION DATE 4/28/66
WORK COMPLETED 4/28/66
TOTAL NO INSPECTIONS 1

REMARKS.

CKL - 5-10
87-1-13-14
8-1-20-6

FEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING

1 to 30 Outlets (including switches) \$ 2.00
31 to 60 Outlets (including switches) 3.00
Over 60 Outlets, each Outlet (including switches) .05
(Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).

SERVICES

Single Phase 2.00
Three Phase 4.00

MOTORS

Not exceeding 50 H.P. 3.00
Over 50 H.P. 4.00

HEATING UNITS

Domestic (Oil) 2.00
Commercial (Oil) 4.00
Electric Heat (Each Room) .75

APPLIANCES

Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Dish-washers, etc. — Each Unit 1.50

TEMPORARY WORK (limited to 6 months from date of permit.)

Service, Single Phase 1.00
Service, Three Phase 2.00
Wiring, 150 Outlets 1.00
Wiring, each additional outlet over 50 .02

84-1-9-10

CITY OF PORTLAND, MAINE Application for Permit to Install Wires

Permit No. 54813

Issued

Portland, Maine

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out - Minimum Fee, \$1.00)

Owner's Name and Address Whitton's Gas Service Tel. 7662722
 Contractor's Name and Address Raymond H. Doyle Tel. 7662266
 Location Delane Ave Whit Peak Building Cammit Block Garage
 Number of Families _____ Apartments _____ Stores _____ Number of Stories _____
 Description of Wiring: New Work yes Additions _____ Alterations _____

Pipe Cable _____ Metal Molding _____ BX Cable _____ Plug Molding (No. of feet) _____
 No. Light Outlets _____ Plugs 5 Light Circuits 1 Plug Circuits 2

FIXTURES: No. 6 Light Switches _____ Fluor. or Strip Lighting (No. feet) _____
 SERVICE: Pipe Cable _____ Underground _____ No. of Wires 3 Size 375

METERS: Relocated _____ Added _____ Total No. Meters 2
 MOTORS: Number _____ Phase _____ H. P. _____ Amps _____ Volts _____ Starter _____

HEATING UNITS: Domestic (Oil) _____ No. Motors _____ Phase _____ H.P. _____
 Commercial (Oil) _____ No. Motors _____ Phase _____ H.P. _____
 Electric Heat (No. of Rooms) _____

APPLIANCES: No. Ranges _____ Watts _____ Brand Feeds (Size and No.) _____
 Elec. Heaters _____ Watts _____
 Miscellaneous _____ Watts _____ Extra Cabinets or Panels _____

Transformers _____ Air Conditioners (No. Units) _____ Signs (No. Units) _____
 Will commence _____ 19 _____ Ready to cover in _____ 1966 Inspection _____ 19 _____

Amount of Fee \$ 2.00 Signed Raymond Doyle

DO NOT WRITE BELOW THIS LINE

SERVICE	METER				GROUND	
	1	2	3	4	5	6
VISITS	1	2	3	4	5	6
	7	8	9	10	11	12
REMARKS.						

INSPECTED BY James B. Murphy (OVER)
W. H. Hebert

Peak Island
 Island Av.
 LOCATION
 INSPECTION DATE 4/28/66
 WORK COMPLETED 4/28/66
 TOTAL NO. INSPECTIONS 1
 REMARKS:

FEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING
 1 to 30 Outlets (including switches) \$ 2.00
 31 to 60 Outlets (including switches) 3.00
 Over 60 Outlets, each Outlet (including switches) .05
 (Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).

SERVICES

Single Phase
 Three Phase

MOTORS

Not exceeding 50 H.P. 2.00
 Over 50 H.P. 4.00

HEATING UNITS

Domestic (OH) 3.00
 Commercial (OH) 4.00
 Electric Heat (Each Room) 2.00

APPLIANCES

Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Dishwashers, etc. — Each Unit .75

TEMPORARY WORK (Limited to 6 months from date of permit)

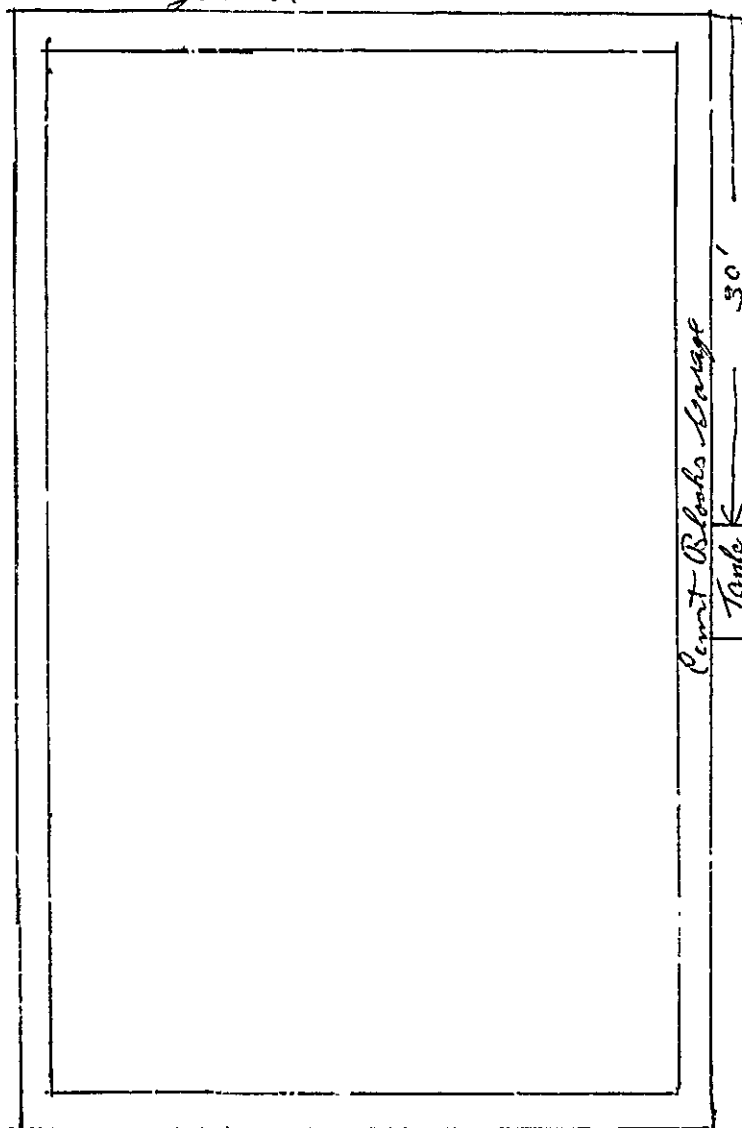
Service, Single Phase 1.50
 Service, Three Phase 1.00
 Wiring, 1-50 Outlets 2.00

Wiring, each additional outlet over 50 1.00
 Circuses, Carnivals, Fairs, etc. .02

MISCELLANEOUS

Distribution (Charge) 10.00

Island ave



Cement Blocks Garage

50'

275 galon

W. L. L. L.

Whitton's Ice Service
Peaks Island
Maine



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, April 14, 1966

PERMIT ISSUED APR 14 1966 CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Island Ave. Peaks Island Use of Building Garage No. Stories 1 New Building Existing Name and address of owner of appliance Whitton's Gas Service, Island Ave. Peaks Island Installer's name and address OWNERS Telephone

General Description of Work

To install Oil-fired forced hot air heating system

IF HEATER, OR POWER BOILER

Location of appliance suspended from ceiling Any burnable material in floor surface or beneath? none If so, how protected? Kind of fuel? oil Minimum distance to burnable material, from top of appliance or casing top of furnace 12" (Plenum Chamber) From top of smoke pipe 18" From front of appliance over 4' From sides or back of appliance over 3' Size of chimney flue 7" (Van Packer Prefab Chimney) Other connections to same flue none If gas fired, how vented? Rated maximum demand per hour Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? Yes

IF OIL BURNER

Name and type of burner General Electric-gentype Labeled by underwriters' laboratories? Yes Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom Type of floor beneath burner concrete Size of vent pipe 12" Location of oil storage outside above ground Number and capacity of tanks 275 Gal. Low water shut off Make No. Will all tanks be more than five feet from any flame? Yes How many tanks enclosed? Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath? If so, how protected? Height of Legs, if any Skirting at bottom of appliance? Distance to combustible material from top of appliance? From front of appliance From sides and back From top of smokepipe Size of chimney flue Other connections to same flue Is hood to be provided? If so, how vented? Forced or gravity? If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Heating unit located at least 8' above floor

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., \$1.00 additional for each additional heater, etc., in same building at same time.)

APPROVED:

Signature of Joseph R. Cronin, Chief of Fire Dept.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Whitton's Gas Service

Signature of M. A. Whitton, Installer

INSPECTION COPY

NOTES

1	Rail Pipe	
2	Vent Pipe	
3	Kind of Vent	
4	Burner Height & Diameter	
5	Name of burner	
6	Stack Cap used	
7	Height of Stack	
8	Remote Control	
9	Phone No. of N. Y. Station	
10	Valves: Supply	
11	Control at Tank	
12	Tank Capacity & Supports	
13	Tank Distance	
14	Oil Gauge	
15	Instruction Card	
16	Low Water Shut-off	

Permit No. 66/241
 Issued to Edward Caspary, West Hill, N.Y.
 Owner Walter's Garage
 Date of permit 4/14/66
 Approved _____

9-16-66 Completed
AW

Outside fan to be changed



B2 BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure 2nd. class
Portland, Maine April 12, 1966

PERMIT ISSUED

00242

APR 24 1966

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Cor. Jelme Ave. & Welch St. Peaks Island (8-1-7, 9, 10, 11) Within Fire Limits? _____ Dist. No. _____

Owner's name and address Whitten's Gas Service, Island Ave. Peaks Island Telephone 766-2722

Lessee's name and address _____ Telephone _____

Contractor's name and address _____ Telephone _____

Architect _____ Specifications _____ Plans nc No of sheets _____

Proposed use of building Garage No. families _____

Last use _____ No. families _____

Material conc. blk. No. stories 1 Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost \$6.00 Fee \$ 2.00

General Description of New Work

To erect Prefab Chimney (for concrete blk. garage)

Type heat and fuel-oil-forced hot air.
Make-Van Packer-7"
Supported on frame of building.
Lot cleanout fitting.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO OWNERS**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewerage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled and? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max. on corners _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

O. C. s: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED: N. C. M.

Miscellaneous

Will work require disturbing of any trees on a public street? no

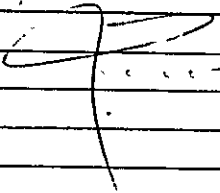
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Whitten's Gas Service

INSPECTION COPY Signature of owner by: M. A. Whitten

NOTES

9-10-66 Completed *SD*



Permit No. 66/341

Location *Belmont Ave. N. 11th St. S.E.*

Owner *Walter's Gas Service*

Date of permit 4/14/66

Notif. closing-in

Inspn. closing-in

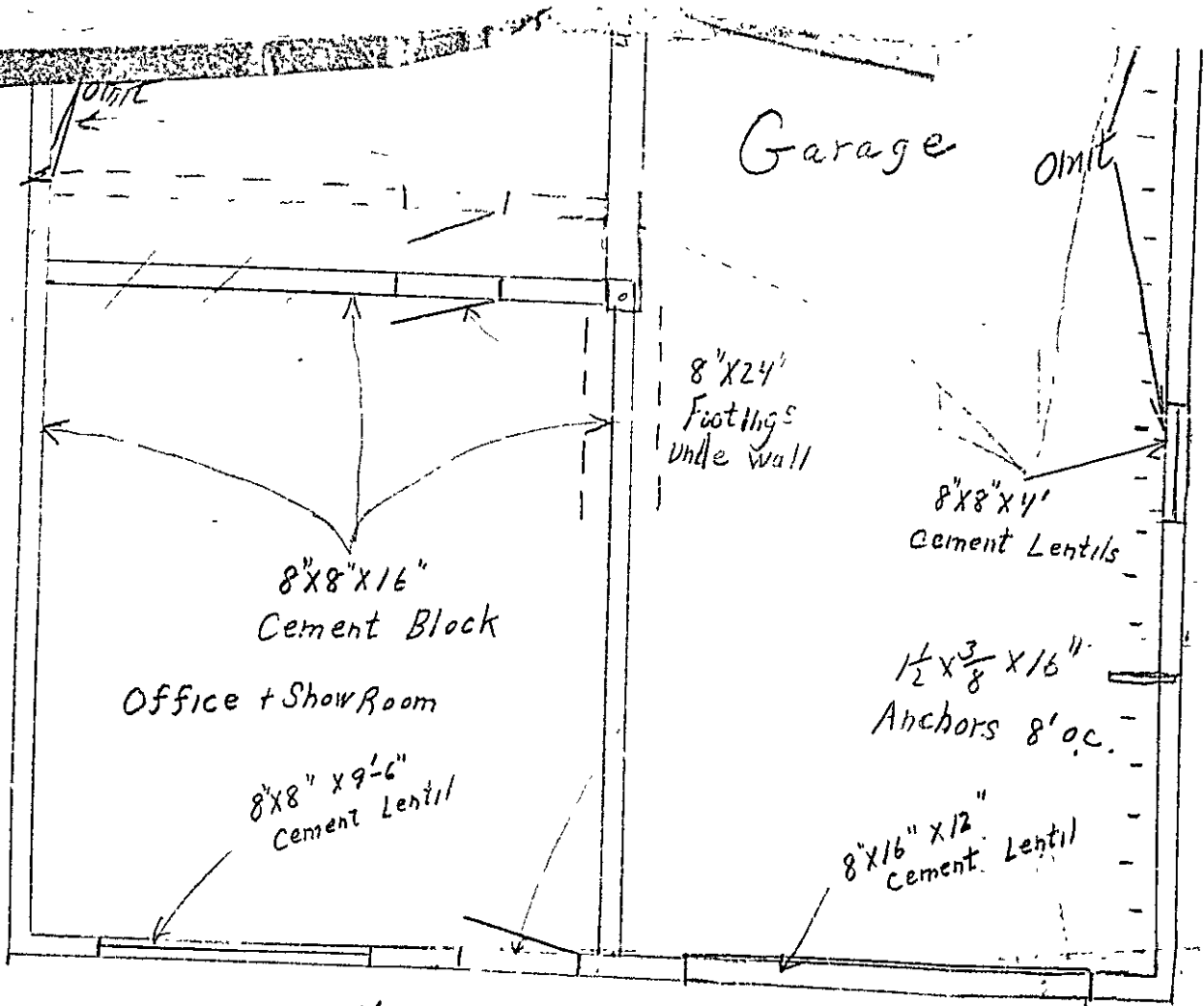
Final Notif.

Final Inspn.

Cert. of Occupancy Issued

Staking Out Notice

Form Check Notice



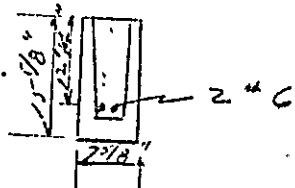
35' x 60'

12'
Overhead Door

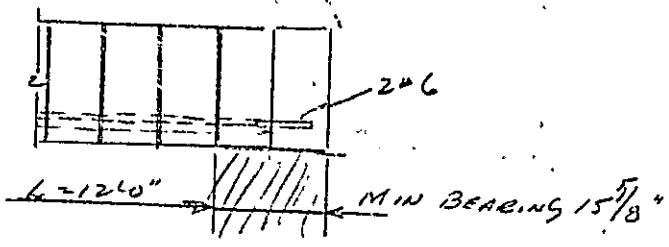
Scale $\frac{1}{4}'' = 1''$

Island Ave.

R.S. Hoar



LINTOL SECTION



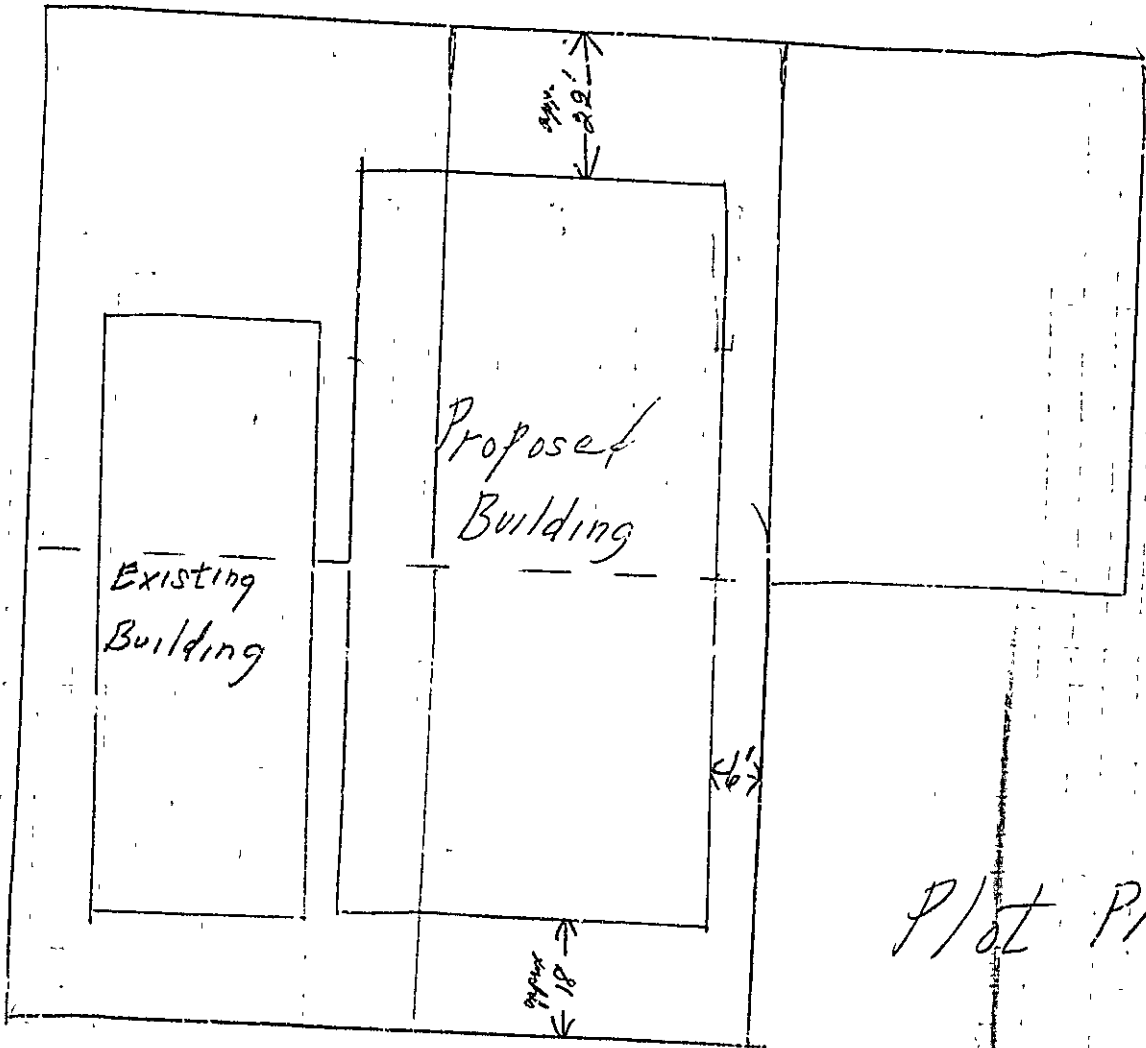
SIDE ELEV.

Project: → WHITONS GAS STATION

RECEIVED
 OCT 22 1964
 DEPT. OF BLDG. INSP.-
 CITY OF PORTLAND

MAINE CEMENT PROD CO
 PORTLAND - BANGOR
Luther Engman

Welsh St.



Plot Plan

Island Ave



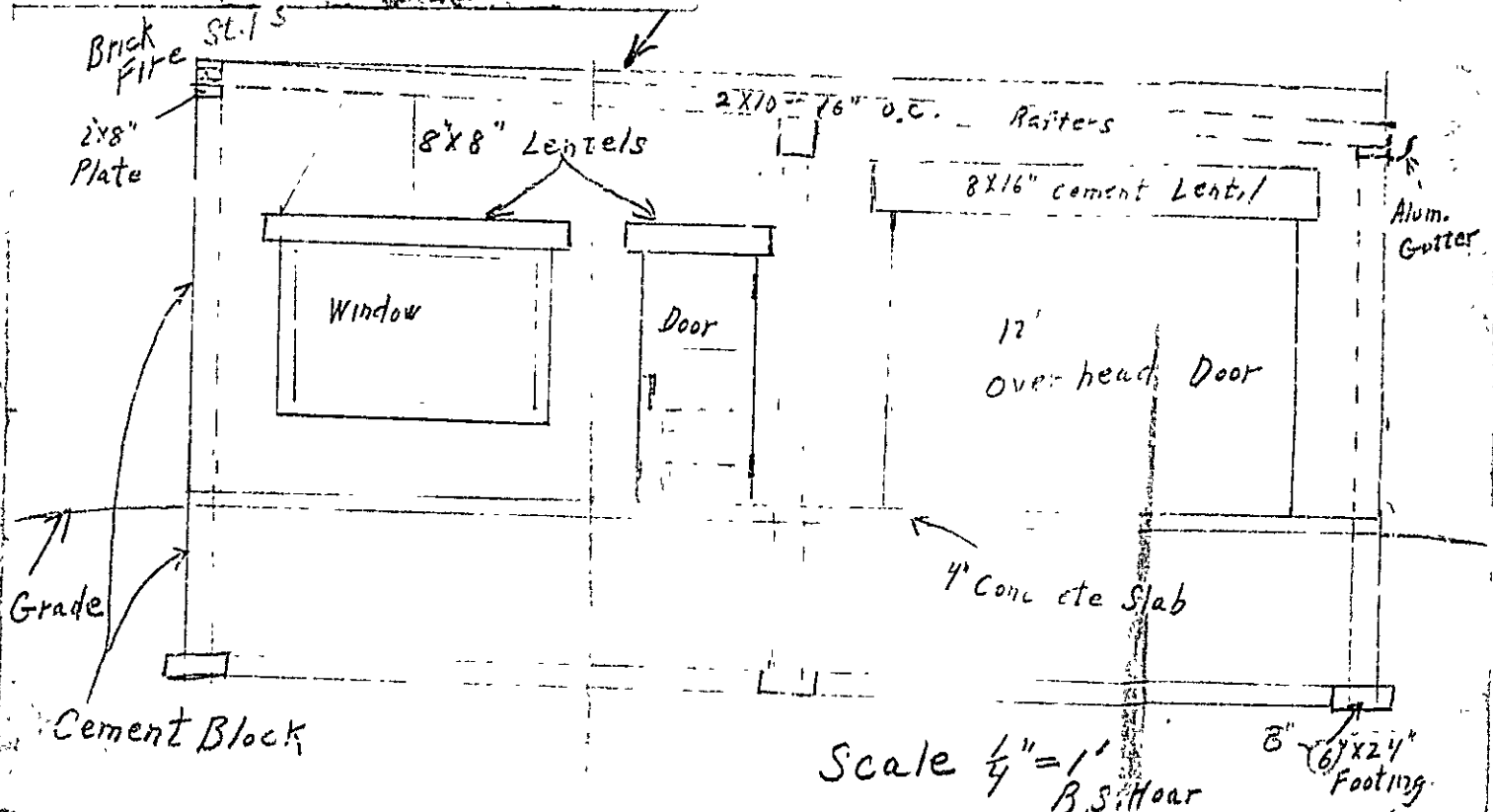
These plans (sheets) and the specifications
accompanying the same, covering construction work on

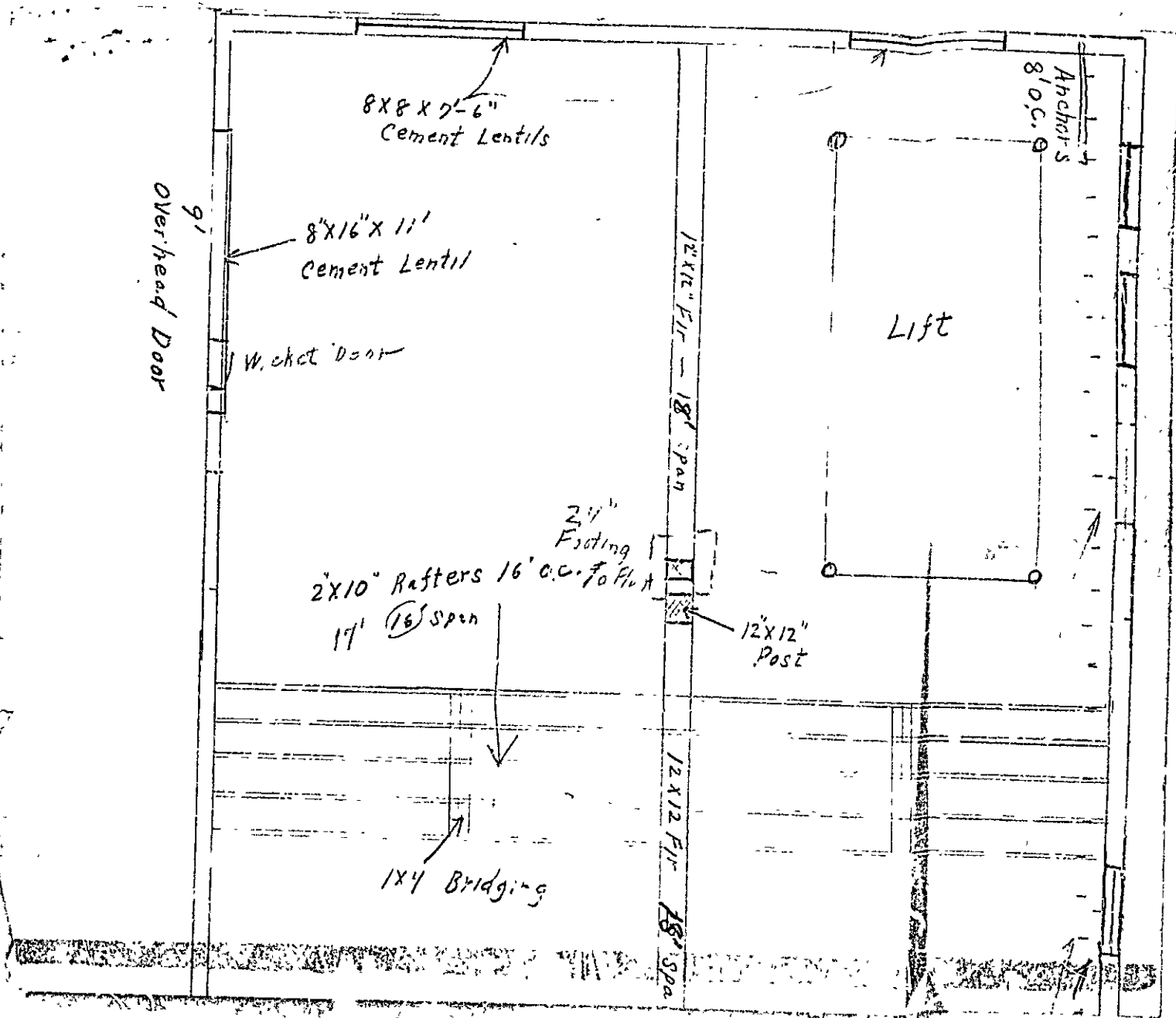
Whitman's Store
have been designed and drawn up by the undersigned
according to the latest rules of engineering practice
and to comply with the allowable working stresses,
floor loads, etc., required by the Building Code of
the City of Portland.

(Signature) *John L. Smith*

This statement is to be signed by the individual
responsible for the design and he should indicate in
the blank provided the particular work to which the
statement applies.

Double Coverage Roofing





84 L 7-11
84 L 9-10
87 W-6

A.P. - Island Avenue, corner Welch St.
Peaks Island

Oct. 19, 1934

Mr. H. A. Whitton
Whitton's Gas Service
Island Ave., Peaks Island

cc to: Roland Hoar
Peaks Island

Dear Mr. Whitton:

Permit to construct a 1-story masonry repair garage and showroom will need to be withheld in order to comply with Building Code restrictions:

1. Sect. 204-b-2 of the Building Code states: all openings in exterior walls of garage, less than 30 feet from the opposite side of a street on which such openings face, from a property line dividing privately owned lots, from an unprotected opening in another building, or from any part of a building of Third Class Construction shall be protected by standard fire-resistive windows and doors. Metal mesh and wireglass will be allowed. Doors will need to have a two-hour fire rating. This restriction pertains to all exterior walls except the front wall on Island Avenue.
2. There is no indication of anchorage of rafters, as specified by Sect. 302-c-1. Anchors are required to be at least 1 1/2" x 3/8" x 16" in length, fastened to the bottoms of the joists at intervals of not more than 8 feet and long enough to engage three joists where timbers run parallel to wall.
3. The concrete footings will need to be of minimum thickness of 8" instead of the 6" as indicated on the drawings.
4. The 8" block walls are permissible if the wall height between finish grade and rafters does not exceed 12 feet.
5. Information as to the size and height of footing at the 12x12 column.
6. The 12x12 D.P. girder at the roof is inadequate for the span shown. Type and size of girder will be necessary.
7. Concrete block at the plate and the points of bearing for girders and lintels will need be filled with concrete.
8. Fire stops must be of incombustible material.
9. The type of roof covering must be given.
10. Type of lintels to be used, their reinforcement, and a statement of design must be furnished.

Mr. H. A. Whitton
Whitton's Gas Service

Page 2

Oct 19, 1964

11. Heating permit is necessary for heat generating apparatus which must be separated from all parts of the building where motor vehicles are kept by 2-hour rated separations with 6-inch raised thresholds at the doors. Approved direct fired unit heaters installed at least 8 feet above the floor may be installed without this enclosure.

Very truly yours,

Archie L. Seckins
Deputy Building Inspection Director

ALS:m

enc.



B2 BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class
October 13, 1964
Portland, Maine

PERMIT ISSUED

OCT 21 1964

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: (34-7, 9, 10, 11)

Location Island Ave. cor. Welch St. Peaks Island Within Five Limits? Dist. No.
Owner's name and address Whitten's Gas Service, Island Ave. Peaks Island Telephone 766-2722
Lessee's name and address
Contractor's name and address Roland Hoar and Owner, Island Ave. Peaks Island Telephone 766-2864
Architect Specifications Plans YES No. of sheets 3
Proposed use of building Repair Garage and Snowroom No. families
Last use No. families
Material masonry No. stories 1 Heat Style of roof Roofing
Other buildings on same lot Garage
Estimated cost \$ 4800.00 Fee \$ 9.00

General Description of New Work

To construct 1-story masonry building 25' x 60' building as per plans wide long

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Whitten's Gas Service, Island Ave. Peaks Island

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation cement block on at least 4' below grade Thickness, top bottom cellar
Kind of roof concrete forming 6x24 Rise, foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of wall? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

J. E. M.

Miscellaneous

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person who can see that the State and City requirements pertaining thereto are observed? YES

Whitten's Gas Service

CS 301

INSPECTION COPY

Signature of owner

by:

Whitten's Gas Service
M. A. Whitten

NOTES

5/3/65 - Framing
 Lamb Wall being
 laid by
 Wenton letter
 2 hours with owner
 5/18/65 - ~~Wenton~~ on wall
 show about 2 rows above
 ground level - ~~Allen~~
 4/13/65 - Same with
 proper S.D.S.
 10/18/65 - Wall being
 laid
 11/20/65 - Prof on ~~Allen~~
 followed place, make a 12' x 13'
 deck - ~~Allen~~
 4/18/65 - ~~Allen~~
 much of work done - ~~Allen~~
 4/18/65 - ~~Allen~~ Mr. ~~Allen~~ as
 could find no permit for
 deck. He is to call & tell
 us the number of permit or
 file for a permit for ~~Allen~~

9-01-66 by ~~Allen~~
 Completed
~~Allen~~

Permit No. 647131399
Location Allen
Inspector Allen
Date of permit Allen
Notif. closing-in Allen
Inspr. Closing-in Allen
Final Notif. Allen
Final Inspr. Allen
Cert. of Occupancy Issued Allen
Staking/Cut Notice Allen
Form Check Notice Allen

General Notes
 1 to cover the 1-story porch & building
 The name of the building contractor
 is to be furnished & noted in the work
 is to be noted in the work
 This is to be noted in the work
 Six foot
 Materials of foundation
 concrete & 1/2" rebar
 Framing number - kind



APPLICATION FOR PERMIT

Class of Building or Type of Structure _____ Installation _____
Portland, Maine, December 31, 1954

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE
The undersigned hereby applies for a permit to ~~erect a new building~~ ^{remove existing kerosene tank and install the following heating apparatus equipment} in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Ave., Peaks Island 84-L-9-10 Within Fire Limits? no yes Dist. No. 2722
Owner's name and address M. A. Whitton, Peaks Island Telephone 6-8223
Lessee's name and address _____ Telephone _____
Contractor's name and address OWNER Telephone _____
Architect _____ Telephone _____
Proposed use of building _____ Specifications _____ Plans _____ No. of sheets _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ No. families _____
Other buildings on same lot _____ Roofing _____
Estimated cost \$ _____ Fee \$ 1.00

General Description of New Work

To remove existing 1000 gallon ^{kerosene} fuel tank and
To install 1-2000 gallon ^{kerosene} fuel tank
Tank to be in same location as existing tank - to be buried at least 3' below grade; bears Underwriters' label; coated with asphaltum, 1" piping from tank to pump.

EMERGENCY CALLING PLANK and
REPAIRS PERMITTED BY FIRE
DEPT. Required.

Permit not actually issued

Sent to Fire Dept. 12/31/54
Rec'd from Fire Dept. 1/3/55

All installed all materials
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Column, under girders _____ Size _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:
[Signature]
CHIEF OF FIRE DEPT.

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner M. A. Whitton

PH

Permit No. 51

Location Island Ave, Pecker Island

Owner M. A. Whitlow

Date of permit 1/15

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

Form Check Notice

Form Check Notice

Form Check Notice

Form Check Notice

Form Check Notice

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NOTES

8/21/55 - 1100 map
made 2 l.l.

~~_____~~
~~_____~~
~~_____~~
~~_____~~
~~_____~~

Permit No: 54/2314
Location: Old Mill Pond, Cambridge
Owner: M. A. Harris
Date of permit: 12/27/54
Notif. closing-in: _____
Inspn. closing-in: _____
Final Notif: _____
Final Inspn: none
Cert. of Occupancy issued: _____

PROPOSED LOCATION FOR OUTDOOR PUBLIC TELEPHONE BOOTH ON THE PROPERTY OF M. A. WHITTON'S GARAGE, ISLAND AVENUE, PEAKS ISLAND, MAINE AS SUBMITTED BY THE NEW ENGLAND TELEPHONE & TELEGRAPH CO:

VANDERBILT STREET

ISLAND AVENUE

FILLING STATION

SIDE WALK LINE

ISLAND AVENUE

C. L. BARKER
Commercial Representative



(B) LIMITED BUSINESS 7059
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, March 10, 1947

PERMIT ISSUED
00379
MAR 12 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Welch St., Peaks Island, Cor. Island Ave. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Walter T. Randall, Central Ave. Peaks Island Telephone Peaks 77
Lessee's name and address Forest City Service Station Telephone _____
Contractor's name and address Earl L. Hutchens, Luther St. Peaks Island Telephone Peaks 11
Architect: _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building Filling Station No. families _____
Last use _____ No. families _____
Material wood No. stories 1 Heat stove Style of roof Pitch Roofing Asphalt
Other buildings on same lot _____
Estimated cost \$ 100. Fee \$.50

General Description of New Work 9-11-47 O.K. O.P.

To finish ^{inside} walls with plaster board.
Existing studs 2x4 16" OC.

9-4-4-9-10

INSPECTION NOT COMPLETE

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dress-d or full size? _____
Corner posts _____ Sills _____ Cirt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 6 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Walter T. Randall

INSPECTION NOT COMPLETED

Permit No. 47/379

Location Welch St. Peabody

Owner Walter Randall

Date of permit 3/12/47

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 7/30/47 OK

Cert. of Occupancy issued Permit

NOTES

*Specific appearance
of display area for signs
and like equipment etc.*

INSPECTION NOT COMPLETED



PERMIT ISSUED

Original Permit No. 29/425

Amendment No. 1

MAY 16 1936

AMENDMENT TO APPLICATION FOR PERMIT

To the INSPECTOR OF BUILDINGS, PORTLAND, ME

Portland, Maine

The undersigned hereby applies for an amendment to Permit No. 29/425 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, and specifications, if any, submitted herewith, and the following specifications:

Location Inland Avenue, Pekis Island Ward 1st, 2

Owner's or lessee's name and address Cor. Welch St. Within Fire Limits? NO Dist. No.

Contractor's name and address F. R. Temple

Plans filed as part of this Amendment yes

Increased cost of work No. of Sheets 1

Description of Proposed Work To relocate tank as shown on plan Additional fee

Approved Oliver B. [Signature]
Chief of Fire Department

F. R. Temple
By Valvoline Oil Co.
Signature of Owner
Approved [Signature]

INSPECTION COPY - Commissioner of Public Works.

WELCH STREET

EMBANKMENT

1000 GAL
RESERVOIR

PROPOSED
LOCATION

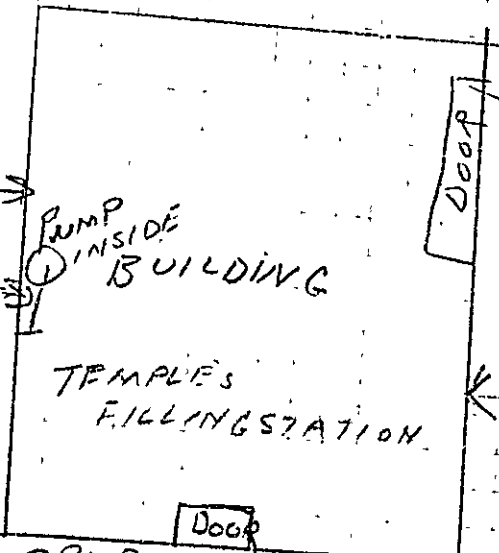
5 FT
DIA

1000 GAL
TANK

5 FT
DIA

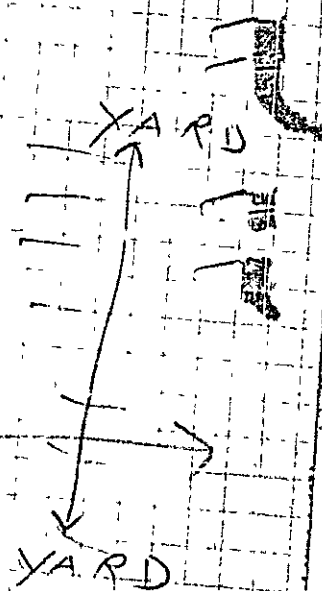
1000 GAL
TANK

5 FT
DIA



DRIVE WAY

PUMP



ISLAND AVENUE

PEAKS ISLAND

TOPPER

RECEIVED
 APR 8 1939
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND



APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 125

Kind of Building or Type of Structure Kerosene Tank R 1939

Portland, Maine, April 16, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect and install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Within Fire Limits? NO Dist. No. _____
 Owner's or lessee's name and address Corner Birch St., E. F. Temple, Peaks Island Telephone _____
 Contractor's name and address Valvoline Oil Co., P. O. Box 1630 Telephone _____
 Architect _____ Plans filed YES No. of sheets 1
 Proposed use of building _____ No. families _____
 Other buildings on same lot _____
 Estimated cost \$ 35. Fee \$.50

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To install one 1000 gallon tank for Kerosene - tank will bear Underwriter's label, will be at least 3' below grade, coated with asphaltum

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 To be erected on solid or filled land? _____ Height average grade to highest point of roof _____
 Material of foundation _____ earth or rock? _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas lighting involved? _____
 Framing Lumber—Kind _____ Dressed or Full Size? _____
 Corner post _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work involve removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 Signature of owner E. F. Temple
 By Valvoline Oil Co.

INSPECTION COPY
[Signature]
 OFFICE OF FIRE DEPT.

Permit No. 39/425

Location Island A. Peaks

CW E. P. Temple

Date of permit 4/21/39.

Notif. closing-in

Insp. closing-in

Final Notif.

Final sign. 6/7/39. O.K.

Cert. of Occupancy issued None

NOTES

~~5/2/39. Sta. for building
work was here after that
5/10/39. Sta. for work
condition of ground here
unsuitable for building
the 36" H.P. pipe work
& top of foundation
Capt. C. W. Fairbank
Island A. H. O. 36
6/7/39. Went O.K. O.C.~~

6 FT EMBANKMENT

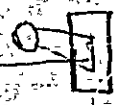
PARKING AREA

GASOLINE STA.
BLDG.

E. R. Temple
PEAKS ISLAND

100g Kerosene TANK
100g Kerosene TANK
D.P.M. RACK
ALREADY INSTALLED

ELECTRIC PUMP
TO BE INSTALLED



8' 12' 12'

36" inches below grade
Do to very wet clay

10 GAS
pump

12 GAS
pump

DRIVE WAY

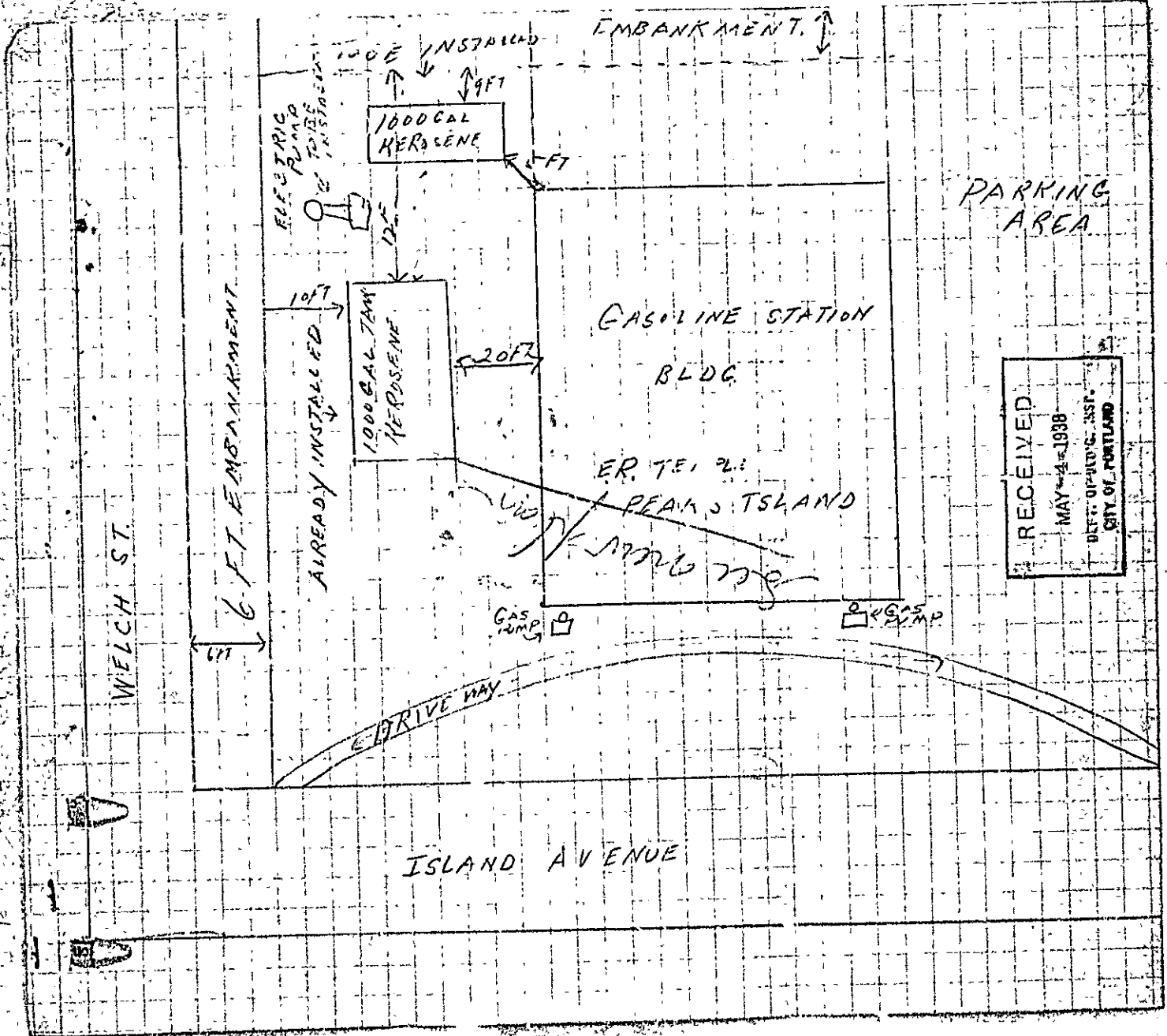
WELCH ST

SIDE WALK

EMBANKMENT

ISLAND AVE

5/11/88 Made on job by
installations man JMB.



RECEIVED
 MAY 4 1988
 DEPT. OF PUBLIC WORKS
 CITY OF PORTLAND



LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT

Permit No. **0620**

PERMIT ISSUED

Class of Building or Type of Structure Kerosene Installation

Portland, Maine, 5/2/38

MAY 5 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Ward Isl. 2 Within Fire Limits? no Dist. No. _____
 Owner's or Lessee's name and address Cor. Welch St. E. R. Temple, Welch St. Peaks Telephone _____
 Contractor's name and address Valvoline Oil Co., P. O. Box 1800 Telephone 5-3018
 Architect _____ Plans filed yes No. of sheets _____
 Proposed use of building _____ No. families _____
 Other buildings on same lot _____
 Estimated cost \$ 100. Fee \$ 50.

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To remove and 1,000 gallon tank and electric pump for kerosene from present location on Herman Avenue and locate at above address, as shown on plan. Tank will bear Underwriters' Label, coated with asphaltum, will be at least 5' below grade minimum diameter of piping tank to pump 1 1/2"

5/11/38, See & note conditions at P.O. by Chief Engineer

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY

Height average grade to top of plate _____ REQUIREMENT IS MET

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____ roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____ roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____ roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY
 Signature of owner Edwin A. Lamborn By E. R. Temple
 Valvoline Oil Co.

CHIEF OF FIRE DEPT.

Ward D. 2 Permit No. 38/620

Loc. Island Ave. Park

Owner E. P. Temple

Date of permit 5/5/38

Notif. closing-in 5/11/38 11:28 AM

Inf. closing-in 6/11/38 2:16

Final Notif.

Final Insp. 6/11/38 O.B.

Cert. of Occupancy issued None

NOTES

84

Sticker L

9-10

5/11/38 date of work

different from the

filed (as per plan)

Found 20" below grade

instead of 36" the course

of wet conditions found

Crystalline in the

and this is K.K. by Fine

Dept. in places & ends

of field K. etc.

File: 37/1683-I Assn. No. 2
R-3-17-33-d

March 8, 1939

Mr. E. R. Taspie,
Peaks Island,
Portland, Maine

Dear Sir:

I would like to have you explain to me how it happens that you removed certain partitions in the rear of the building at the corner of Island Avenue and Melch Street, Peaks Island, last summer, and have just gotten around to applying for the permit for this change on March 7th, this year.

It hardly seems possible that you are unaware of the requirements for getting permits after your experiences with your buildings in the past few years. If you do not already understand, let me say that a permit is issued for a certain definite kind of work and any substantial change in the work intended to be covered by a permit must be covered by a permit or an amendment to the original permit. I can understand that you are busy about many things but must insist that you observe the requirements of the Building Code in a more careful way than this situation indicates.

You have now applied for an amendment to your original permit, issued in 1937, to remove the partitions which were put in under the original permit, which also included changing the use of the rear part of this building to a garage, which house. I understand that you now intend to use the rear part of the building for the storage of coal, wood, etc. in connection with your business and the car garage.

We shall not be able to accept this application for an amendment to the original permit, and it will be necessary for you to apply for a new permit to cover this change in the building, the fee of 25 cents which you have paid for the amendment application applying on the fee for the new permit. With this application it will be necessary for you to furnish a sketch or plan of the building to scale, showing the part that is used for front office, the part to be used for coal and wood and the part to be used for the garage; including the location of all interior partitions and all of the doorways in those partitions. This plan should be to a definite scale and clear. We must secure the approval of the Chief of the Fire Department on this new permit, and we are unable to give him a clear idea of what it is intended until you furnish the plan. The fact that you have the work already done has no bearing upon the matter, because that work has been done illegally.

When a former tenant had this building there was a question concerning making the partition between the garage and the front office fire resistive on the garage side with a self-closing fire door and a raised threshold. Either those protective features were required or an approved garage heater was to be used in the office. When you decided to eliminate the garage, that problem disappeared. Since you now intend to use a part of the building for a garage, it comes up again, and it would be well for you to decide what you intend to do about this protection before applying for this permit.

Mr. E. R. Apple-----2

March 8, 1939

I shall expect to have this application for the new permit filed
in your order with the plan mentioned at least by March 10, 1939.

Very truly yours,

McD/E

Inspector of Buildings

File: P.37/1833-I

November 17, 1937

Mr. E. R. Temple,
Peaks Island,
Maine

Dear Sir:

You may consider this letter as a temporary certificate of occupancy so that you may legally occupy the former garage at the corner of Island Avenue and Welch Street as a dwelling, while the building is being finished.

When the essential details are completed, please, notify this office for final inspection, when, if everything is found in order, the regular and final certificate of occupancy will be issued.

Very truly yours,

KCD/H

Inspector of buildings



AMENDMENT TO APPLICATION FOR PERMIT

Original Permit No. 37/1839
PERMIT ISSUED

Oct 11 1937

Date 12 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine

The undersigned hereby applies for an amendment to Permit No. 37/1839 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, and specifications, if any, submitted herewith, and the following specifications:

Location Leland Ave., Peaks Island Ward Isl. 2 With the Fire Limits? No Dist. No. _____

Owner's or Lessee's name and address E.R. Temple, Peaks Island

Contractor's name and address George Aernig, Peaks Island

Plans filed as part of this Amendment No No. of Sheets _____

Increased cost of work None Additional fee 25

Description of Proposed Work

To erect chimney outside of building instead of inside as per application. The brickwork of the chimney is to be corbelled so as to be outside wall of the building at the point where the smokepipe enters need of carrying the smokepipe through the outside wall.

original as through the as to obviate the

Approved: _____
Chief of Fire Department.

Signature of Owner By E.R. Temple

Approved: 10/12/37

INSPECTION COPY Commissioner of Public Works.

Inspector of Building.

3300

6th R Temple

RECEIVED

SEP 22 1937

DEPT. OF BLDG. INSP.
CITY OF PORTLAND

150 ft

20 ft

Bath

Bed R

Bed R

19 1/2

20 ft

20 ft

Station

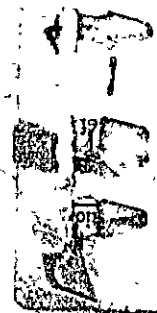
Nitrogen

Door

20 ft

30 ft

Wool St



LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure: Third Class

Permit No. 163
PERMIT ISSUED

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, September 22, 1937

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Ave., Peaks Island Ward 1st Within Fire Limits? no Dist. No. _____
 Owner's or Lessee's name and address E. R. Temple, Peaks Island Telephone 8024
 Contractor's name and address Fred Stephen, Peaks Island Telephone _____
 Architect _____
 Proposed use of building Filling Station Office Plans filed _____ No. of sheets _____
 Other buildings on same lot none No. families _____
 Estimated cost \$ 100. Fee \$.50

Description of Present Building to be Altered

Material frame No. stories 1 Heat stove Style of roof flat Roofing asphalt roofing
 Last use Filling Station Office No. families _____
Service Station and garage (1 car)

General Description of New Work

To construct partition 20' long, non-bearing, to divide room in half. (Partition to be wallboard, studs 2x4, 16" O.C.)
 To change existing window in side wall of kitchen to a door. Existing window at least three square feet in area will be used for ventilation of new bathroom.
 To construct two non-bearing partitions 10' long to make three rooms, 2 bedrooms and a bath.
 To construct one inside brick chimney in rear left hand corner of kitchen.

Appeal sustained and permit granted by Special Order of Board of Municipal Officers 10/4/37

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 To be erected on solid or filled land? _____ Height average grade to highest point of roof _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys 1 Material of chimneys brick of lining tile
 Kind of heat stove Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner E. R. Temple

9212

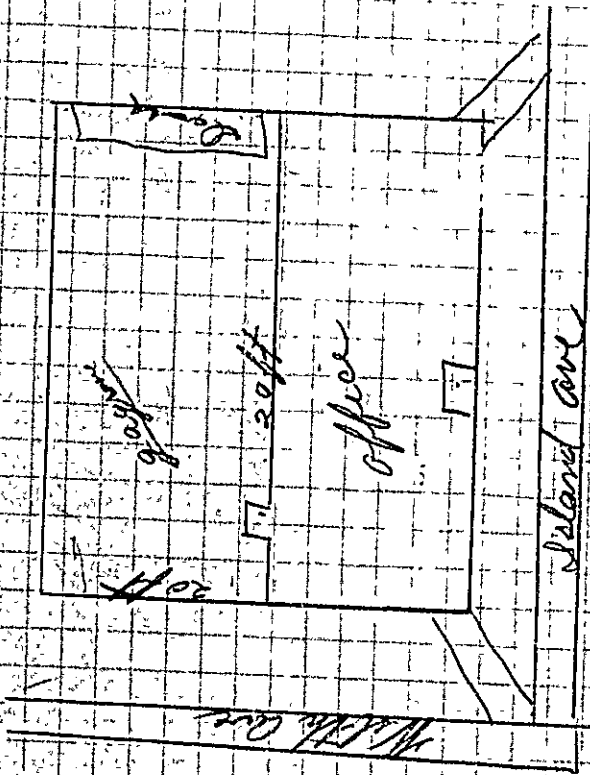
Wordal 2 Permit No. 37/1639
Island Ave, Oest
C. K. Temple
at permit 10/6/39

Notif closing-in
In closing-in 11/4/37
Final Notif. 84
Final Inspn. 3/16/39
Superseded by 39/241
Cert. of Occupancy issued 9-10

NOTES

10/16/37 outside chimney
completed. Partitions
started. etc.
10/26/37 same. etc.
11/8/37 inside partitions
completed. etc.
11/15/37 Mr Temple
planned today and
would like temporary
certs for site of occupancy
which work is being
completed. etc.
11/17/37 - Temporary cert
granted by letter. none
12/8/38 Nothing more
done. etc.
4/13/38 same. etc.
1/20/38 for Temple will

receiving them as called
from publication etc
It should be to
storage for this work
and should be
1/20/38 Partitions
completed in this
application to change
purpose to dwelling
should be removed
and other section
will now be used
for coal and wood
storage. etc.
1/20/38 Mr Temple is
in charge of the
arrangement for dwelling
plans for dwelling
etc.
1/16/39 - none





APPLICATION FOR PERMIT **PERMIT ISSUED**

Permit No. **0241**

Class of Building or Type of Structure

MAR 17 1939

Portland, Maine, March 16, 1939

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Island Avenue, Peaks Island Within Fire Limits? no Dist. No. Peaks
Owner's or lessor's name and address E. R. Temple, Peaks Island Telephone 24
Contractor's name and address Owner Telephone _____
Architect _____ Plans filed _____ No. of sheets _____
Proposed use of building Filling Station Office and 2 car garage No. families _____
Other buildings on same lot _____

Estimated cost \$ 10 Description of Present Building to be Altered Fee \$.25
Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____
Last use filling station office and dwelling house No. families 1

General Description of New Work
To remove interior partitions in the rear of this building housing a combined filling station office and dwelling house in the rear and change the rear part back from dwelling house use to that of a two car garage, not more than one commercial vehicle to be stored there and no repairs to be made other than repairs to motor vehicles habitually stored there.
There is to be heat in the office part of the building and this stove will be changed out to an approved garage heater, and a separate permit will be secured before this heater is actually set up.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

no _____ no _____
Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing Lumber—Kind _____ Dressed or Full Size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Ends (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over R feet. Sills and corner posts all one piece in cross sect.on.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot 2 none _____, to be accommodated 1 2
Total number commercial cars to be accommodated 1
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY _____ Signature of owner E. R. Temple
CITY OF FIRE DEPT. _____

Permit No. 39/241

Location Island C. Peak

Owner E. R. Temple

Date of permit 3/17/39

Notif. closing-in

Ins. closing-in

Final Notif.

Final Inspn. 6/19/39. 025

Supercedes 37/1639

Cert. of Occupancy issued

NOTES

~~4/20/39. Could not get
into the house to inspect work
done. This will be re-
checked in next report.~~

~~5/18/39. 11th floor. Hold
to see removal of
concrete p.c.s.~~



City of Portland, Maine

Sustained 10/4/57
8/1/46

84-L-11 (w/del ft) Charles L + Emily S. Tofford
134 Large ft

Appeal to the Municipal Officers to Change the Decision of the

Inspector of Buildings Relating to the Property Owned

by Everett R. Temple at Island Ave., Peaks Island
Cor. Welch Street

84-L-9+10

September 28, 19 57

To the Municipal Officers:

Your appellant, Everett R. Temple

who is the owner of property at Island Ave., Peaks Island

respectfully petitions the Municipal Officers of the City of Portland to change the decision of the Inspector of Buildings relating to this property, as provided by Section 13, Paragraph of the Zoning Ordinance, on the ground that the enforcement of the ordinance in this case involves unnecessary hardship and because relief may be granted without substantially derogating from the intent and purpose of the Zoning Ordinance.

The decision of the Inspector of Buildings denies a permit to alter the existing two car garage in the rear of the filling station office on the above property for use as a dwelling house because the garage portion, if used as a dwelling house, would be located closer than 12 feet to the rear property line, the required rear yard distance for a dwelling house under the Building Code.

The reasons for the appeal are as follows: The appellant has recently rented his own house and desires to change the use of this garage to a dwelling for his own family in connection with the filling station business on the same property. He believes that this change will in no way be detrimental or objectionable to surrounding property.

37/93
PUBLIC HEARING ON THE APPEAL OF EVERETT R. TEMPLE AT ISLAND AVE., COR. WELCH ST.

October 1, 1937

A public hearing on the above appeal was held before the Committee on Zoning and Building Ordinance Appeals today. Present for the city were Councillors Leighton, Ward and Eskilson, Corporation Counsel Payson and the Inspector of Buildings.

Mrs. Temple appeared in support of the appeal and there were no opponents present.

After consideration the committee unanimously decided since the lot adjoining the Temple lot is a large vacant one and since the grade of this adjoining lot is much higher than that of the Temple lot, that the closer location of the existing garage proposed as a dwelling house to the rear line and permitted by the precise terms of the Building Code would not interfere with light and air or fire prevention to the Temple building or to future buildings on the adjoining lot and a favorable report was directed on this basis.

Warren McDonald

37/96

October 4, 1937

To The Municipal Officers:

The Committee on Zoning and Building Ordinance Appeals to which was referred the appeal under the Building Code of Everett R. Temple relating to the proposed conversion of a two car garage for use as a dwelling house on Island Avenue, Peaks Island, corner of Welch Street, reports as follows:

It is the belief of this committee that failure to grant this permit involves unnecessary hardships and that desirable relief may be granted without substantially derogating from the intent and purpose of the Building Code because, although the rear wall of the garage is closer to the rear property line than ordinarily permitted by the precise terms of the Building Code in the case of a dwelling house, the lot in the rear is very much higher than the Temple lot and is vacant so that the proposed arrangement could hardly interfere with the needs of light and air of the Temple building or buildings proposed in the future on the adjoining lot.

It is recommended, therefore, that the appeal be sustained and that the permit be granted subject to full compliance with all terms of the Building Code not involved in this appeal.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS

Chairman

37/95

, that the appeal of Everett R. Temple, Island Avenue, corner Welch Street, Peaks Island from the decision of the Inspector of Buildings be sustained and that a building permit be granted said Everett R. Temple as prayed for in his original appeal, subject to full compliance with all terms of the Building Code not involved in this appeal.

37/25

Room 21, City Hall
September 23, 1937

To Whom It May Concern:

The Committee on Zoning and Building Ordinance Appeals of the Municipal Officers will hold a public hearing at the City Council Chamber, City Hall on Friday, October 1, 1937 at 11:00 o'clock in the forenoon upon the appeal of Everett R. Temple relating to conversion of an existing two car garage into a dwelling house on the two lots on Island Avenue at the corner of Welch Street.

There is attached to the present filing station office on this property a two car garage, and the appellant desires to convert the two car garage part of the structure for use as a habitation. The Inspector of Buildings was unable to issue the permit for the conversion of this portion of the building because the rear wall of the building is apparently only eight feet and six inches from the rear property line. Under the Building Code garages are permitted to be built close to the rear property line as the building is now located, but at least 12 feet is required between the rear property line and the rear wall of a dwelling house. Therefore the Inspector of Buildings was unable to issue this permit.

All persons interested either for or against this appeal will be heard at the above time and place.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS

Adam F. Leighton, Chairman

Charles L. & Emily S. Telford
134 Cottle Street
Portland, Maine

37/45

September 9, 1937

Mr. Everett R. Temple,
Peaks Island
Portland, Maine

Dear Sir:

The Committee on Zoning and Building Ordinance Appeals of the Municipal Officers will hold a public hearing at the City Council Chamber, City Hall on Friday, October 1, 1937 at 11:00 o'clock in the forenoon upon your appeal with relation to converting the two car garage on your property on Island Avenue, corner of Welch Street for use as a dwelling house.

Please be present or represented at this hearing in support of your appeal.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS

Adam P. Leighton, Chairman

3795

File: Rcpt. 321C-I

September 27, 1937

Mr. Everett Temple,
Peaks Island,
Maine

Dear Sir:

I am unable to issue the building permit applied for to cover minor alterations in the former garage attached to the filling station office at the corner of Island Avenue and Welch Street on Peaks Island, because, while this portion of the building, if used as a garage, was a sufficient distance from the rear property line, the Building Code requires that the same building to be used as a dwelling house should be at least 12 feet from the rear line.

The original application for a permit to build the garage shows that the building six feet from the rear line while you, in your application, have shown the rear of the building to be eight feet and six inches from the rear property line

You have appeal rights with relation to this clause in the Building Code, and if you desire to exercise them and will file your appeal at this office before Wednesday night, September 29th, the appeal will be heard on Friday morning at 11:00 o'clock in the City Council Chamber and you will probably secure action upon it on Monday, October 4th, when the City Council meets.

If you file an appeal, please make sure what the correct distance is from the rear of the building to the rear property line and correct the dimension shown on the plan with the application, if that is not correct now.

Very truly yours,

McD/H

Inspector of Buildings

WELCH ST.

6 FT EMBANKMENT

PROPOSED
FURNISHING OPERATION

1000 GAL. TANK
KEROSENE

12'

10'

20'

GAS
STATION
BLDG.

F.R. TEMPLE

PARKING
AREA

RECEIVED
SEP 20 1937
DEPT. OF BLDG. DSP.
CITY OF PORTLAND

GAS
PUMP

GAS
PUMP

ISLAND AVENUE

PEAKS ISLAND



(A) APARTMENT HOUSE 2111
APPLICATION FOR PERMIT

PERMIT ISSUED
 Permit No. 37

Class of Building or Type of Structure Kerosene Gasoline Installation **SEP-21 1937**

Portland, Maine, September 20, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure, equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plus and specifications, if any, submitted herewith and the following specifications:

Location Island Ave., Peaks Island Ward Isl. 2 Within Fire Limits? no Dist. No. _____
 Owner's or Lessee's name and address E. R. Temple, Peaks Island Telephone _____
 Contractor's name and address Valvoline Oil Co., 59 Main St., So. Portland Telephone 2-3816
 Architect _____ Plans filed _____ No. of sheets _____
 Proposed use of building _____ No. families _____
 Other buildings on same lot Gasoline filling station Fee \$ 1.50
 Estimated cost \$ 55.

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Last use _____ No. families _____

General Description of New Work

To install 1000 gallon tank and one six inch hand pump, new installation, public use, tank will be at least 5' below grade, coated with asphaltum, minimum diameter of piping from tank to pump 1 1/2". Vent pipe to be at least 1 1/2".
 Work installed under this permit are subject to the regulations of the State Sealer of Weights and Measures promulgated as of Jan. 1, 1937.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____
 Material of underpinnin: _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____, height? _____

If one story building with masonry walls, thickness of walls? _____ height? _____
 If a Garage
 No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY
 Signature of owner By: E. R. Temple
Valvoline Oil Co.
 CHIEF OF FIRE DEPT.

2472

Ward 2 Permit No. 37/1497

Ld Stamford Ave. Peabody

Owner E. P. Temple

Dt Permit 9/21/37

Notif. closing-in 84

Inspn. closing-in K

Fin. Notif. 9-10

Final Inspn. 10/18/37. C.R.

Cert. of Occupancy issued None

NOTES

~~Sticker
9/27/37 Part installed
C.R.
10/18/37 Verif. O.K. Zomb
inspected before
closing in C.R.~~

File: P.55/537B-I

October 1, 1936

Mr. Thomas C. Kenyon,
Peaks Island,
Portland, Maine

Dear Sir:

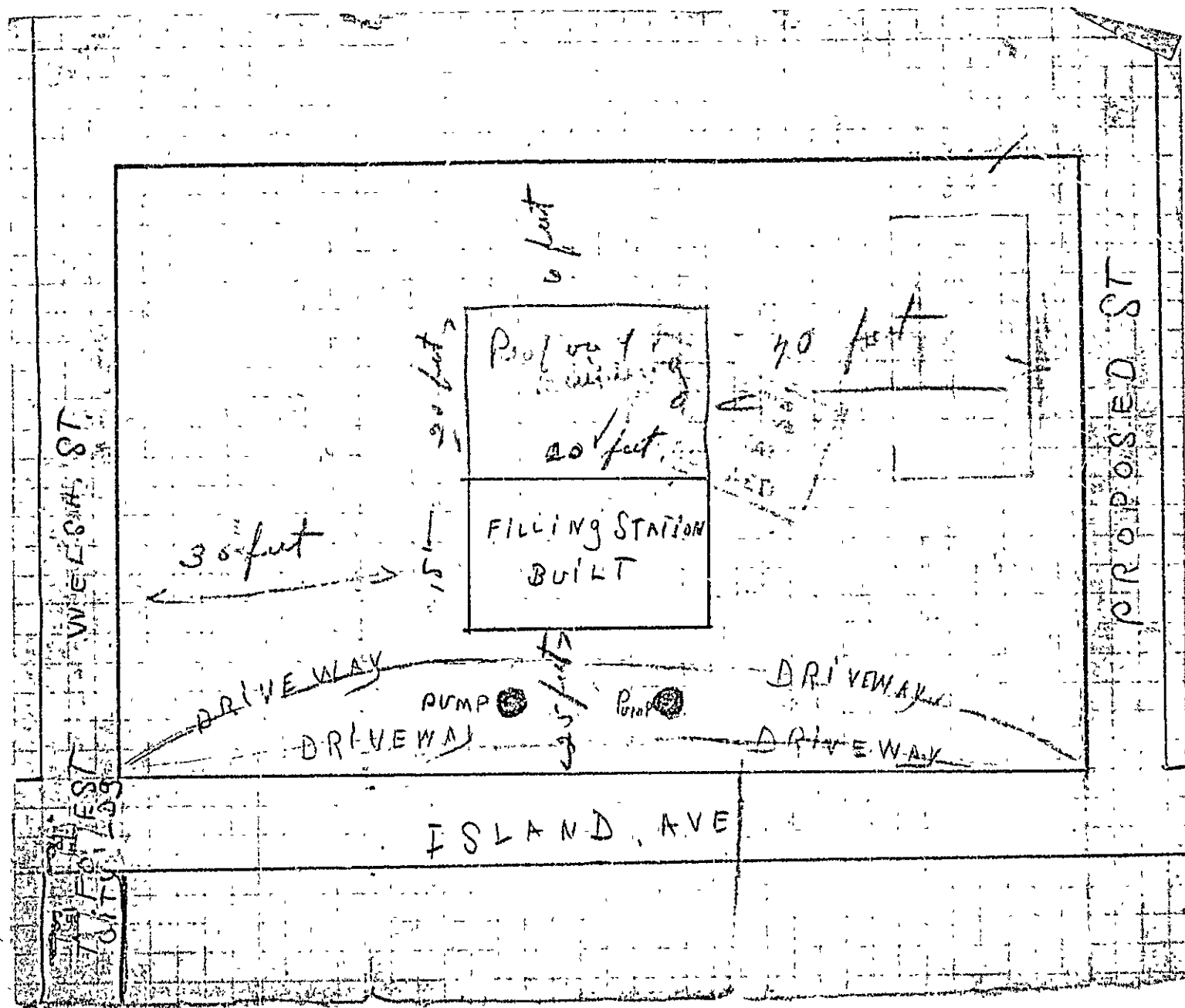
With reference to your application for a building permit on April 12, 1935 to cover construction of a two car garage attached to your filling station building at the corner of Welch Street and Island Avenue, Peaks Island, the permit having been issued on April 13, 1935, I find that in that application is the agreement, over your signature, as follows: "Owner will either provide fire door and legal protection on wall between garage and balance of building or will provide approved garage heater in filling station."

An inspector from this office reports that you have not provided a fire door and the protection on the dividing wall, and that apparently you are using, in the winter time an ordinary parlor pipe stove in the filling station with a homemade burner using drainings from crank cases for fuel oil, at least partially. It seems obvious that you have not complied with the terms of your agreement when applying for the permit.

Please put yourself in compliance with the Building Code and with your own agreement either by providing the required protection or by providing an approved garage heater in the filling station on or before October 15, 1936. May I call your attention to the fact that the use of drainings from crank cases of automobiles for fuel oil is always questionable as to its safety on account of the possible gasoline contents. This practice is not approved by the Fire Department, and, while we have no right to require that you discontinue this practice, I respectfully urge that you do so for your own safety and safety of your buildings. You are now aware of the ease with which a conflagration may be started, especially on Peaks Island, and I am sure that you are the type of citizen that always has and always will do everything in their power to keep from being the cause of such a conflagration.

Very truly yours,

Inspector of Buildings





UNLIMITED BUSINESS ZONE PERMIT ISSUED
APPLICATION FOR PERMIT 0357

Class of Building or Type of Structure Third Class APR 13 1935

Portland, Maine, April 12, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter or install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: Island

Location SE Cor. Beach St. & Island Ave. Peaks Island Within Fire Limits? no Dist. No. P. 11 23-14
 Owner's or Lessee's name and address Lydia E. Kenyon, Peaks Island Telephone 8024
 Contractor's name and address Owner Telephone _____
 Architect's name and address _____
 Proposed use of building Filling station bldg and 2 car garage No. families _____
 Other buildings on same lot _____
 Plans filed as part of this application? yes No. of sheets 1
 Estimated cost \$ 150. Fee \$.75

Description of Present Building to be Altered

Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Last use filling station building No. families _____

General Description of New Work

To construct one story frame addition 20' x 20' to existing filling station building for 2 car storage garage. Owner will either provide fire door and legal protection on wall between garage and balance of building or will provide approved garage heater in filling station

NOTIFICATION BEFORE
OR CLOSING IN IS
REQUIRED IN THE NAME OF
CERTIFICATE OF OCCUPANCY

It is understood that this permit does not include installation of heating apparatus which is to be taken out of the building and in the name of the heating contractor.

Details of New Work

Size, front 20' depth 20' No. stories 1 Height average grade to top of plate _____
 Height average grade to highest point of roof 12'
 To be erected on solid or filled land? solid earth or rock? earth
 Material of foundation concrete slab Thickness, top _____ bottom _____
 Material of underpinning none Height _____ Thickness _____
 Kind of Roof flat Rise per foot 1" Roof covering Asphalt roofing CLASS O Und. Lab.
 No. of chimneys none Material of chimneys _____ of lining _____
 Kind of heat none Type of fuel _____ Is gas fitting involved? _____
 Corner posts 2-2x4 Sills 4x8 Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x10
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof 18"
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 20'
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot none, to be accommodated 2
 Total number commercial cars to be accommodated none
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 Signature of owner Lydia E. Kenyon

INSPECTION COPY

Oliver T. Sanborn

CHIEF OF FIRE DEPT.