

Permit # 940657 Portland BUILDING PERMIT APPLICATION Fee 215.00 Zone \_\_\_\_\_ Map # \_\_\_\_\_ Lot# \_\_\_\_\_  
 Please fill out any part which applies to job. Proper plans must accompany form. 300.00 Site Plan.

Owner: James Lausier Phone # 766-5157  
 Address: 16 Adams St Peaks Island, ME 04108  
 LOCATION OF CONSTRUCTION Adams/Welch Sts  
 Contractor Bricks & Sticks Sub: \_\_\_\_\_  
Peaks Island Steve Neilson Phone # 766-59691  
 Address: \_\_\_\_\_  
 Est. Construction Cost: 39,000 Proposed Use: 1-fam - retail sales  
 Past Use: Vacant Land  
 # of Existing Res. Units \_\_\_\_\_ # of New Res. Units \_\_\_\_\_  
 Building Dimensions L \_\_\_\_\_ W \_\_\_\_\_ Total Sq. Ft. \_\_\_\_\_  
 # Stories: \_\_\_\_\_ # Bedrooms \_\_\_\_\_ Lot Size: \_\_\_\_\_  
 Is Proposed Use: Seasonal \_\_\_\_\_ Condominium \_\_\_\_\_ Conversion \_\_\_\_\_  
 Explain Conversion Minor Site Plan - Const 1-Fam / Retail Sales

**For Official Use Only**

Date: 6 June '94 Subdivision: \_\_\_\_\_  
 Inside Fire Limits: \_\_\_\_\_ Name: \_\_\_\_\_  
 Bldg Code: \_\_\_\_\_ Lot: \_\_\_\_\_  
 Time Limit: \_\_\_\_\_ Ownership: Public  
 Estimated Cost: \_\_\_\_\_ Private \_\_\_\_\_

**PERMIT ISSUED**

**CITY OF PORTLAND**

084-L-001/006 013/015 Garden Center

Foundation:  
 1. Type of Soil: \_\_\_\_\_  
 2. Set Packs - Front \_\_\_\_\_ Rear \_\_\_\_\_ Side(s) \_\_\_\_\_  
 3. Footings Size: \_\_\_\_\_  
 4. Foundation Size: \_\_\_\_\_  
 5. Other: \_\_\_\_\_

Floor:  
 1. Sills Size \_\_\_\_\_ Sills must be anchored.  
 2. Girder Size: \_\_\_\_\_  
 3. Lally Column Spacing: \_\_\_\_\_  
 4. Joists Size: \_\_\_\_\_ Spacing 16" O.C.  
 5. Bridging Type: \_\_\_\_\_  
 6. Floor Sheathing Type: \_\_\_\_\_  
 7. Other Material: \_\_\_\_\_

Ex' rior Walls:  
 1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_  
 2. No. windows \_\_\_\_\_  
 3. No. Doors \_\_\_\_\_  
 4. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_  
 5. Bracing: Yes \_\_\_\_\_ No \_\_\_\_\_  
 6. Corner Posts Size \_\_\_\_\_  
 7. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_  
 8. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_  
 9. Siding Type \_\_\_\_\_ Weather Exposure \_\_\_\_\_  
 10. Masonry Materials \_\_\_\_\_  
 11. Metal Materials \_\_\_\_\_

Interior Walls:  
 1. Studding Size \_\_\_\_\_ Spacing \_\_\_\_\_  
 2. Header Sizes \_\_\_\_\_ Span(s) \_\_\_\_\_  
 3. Wall Covering Type \_\_\_\_\_  
 4. Fire Wall if required \_\_\_\_\_  
 5. Other Materials \_\_\_\_\_

Zoning: \_\_\_\_\_  
 Street Frontage Provided: \_\_\_\_\_  
 Provided Setbacks: Front \_\_\_\_\_ Back \_\_\_\_\_ Side \_\_\_\_\_  
 Review Required:  
 Zoning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning Board Approval: Yes \_\_\_\_\_ No \_\_\_\_\_ Date: \_\_\_\_\_  
 Conditional Use: \_\_\_\_\_ Variance \_\_\_\_\_ Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_  
 Shoreland Zoning Yes \_\_\_\_\_ No \_\_\_\_\_ Floodplain Yes \_\_\_\_\_ No \_\_\_\_\_  
 Special Exception \_\_\_\_\_  
 Other (Explain) \_\_\_\_\_

Ceiling:  
 1. Ceiling Joists Size: \_\_\_\_\_  
 2. Ceiling Strapping Size \_\_\_\_\_ Spacing \_\_\_\_\_  
 3. Type Ceilings: \_\_\_\_\_  
 4. Insulation Type \_\_\_\_\_ Size \_\_\_\_\_  
 5. Ceiling Height: \_\_\_\_\_

Roof:  
 1. Truss or Rafter Size \_\_\_\_\_ Span \_\_\_\_\_  
 2. Sheathing Type \_\_\_\_\_ Size \_\_\_\_\_  
 3. Roof Covering Type \_\_\_\_\_

Chimneys:  
 Type: \_\_\_\_\_ Number of Fire Places \_\_\_\_\_  
 Structure: \_\_\_\_\_

Heating:  
 Type of Heat: \_\_\_\_\_

Electrical:  
 Service Entrance Size: \_\_\_\_\_ Smoke Detector Required Yes \_\_\_\_\_ No \_\_\_\_\_

Plumbing:  
 1. Approval of soil test if required Yes \_\_\_\_\_ No \_\_\_\_\_  
 2. No. of Tubs or Showers \_\_\_\_\_  
 3. No. of Flushes \_\_\_\_\_  
 4. No. of Lavatories \_\_\_\_\_  
 5. No. of Other Fixtures \_\_\_\_\_

Swimming Pools:  
 1. Type: \_\_\_\_\_  
 2. Pool Size: \_\_\_\_\_ Square Footage \_\_\_\_\_  
 3. Must conform to National Electrical Code and State Law.

Received By: \_\_\_\_\_  
 Signature of Applicant: James Lausier Date 6 June 1994  
 CEO's District: \_\_\_\_\_

**PERMIT ISSUED WITH LETTER**

**PERMIT ISSUED WITH LETTER**

White - Tax Assessor

Ivory Tag - CEO

6 MA, Rowe

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

|   |   |  |                    |   |
|---|---|--|--------------------|---|
| Location of Construction:<br>40 Adams St Peaks Island                                 |   | Owner:<br>Lausier, James   | Phone:<br>766-5157 | Permit No:<br><b>94-056</b>                   |
| Owner Address:<br>51 Sargeant St P.I. 04108   |   | Lease/Buyer's Name:  | Phone:             | Business Name:<br>Mary's Brick                |
| Contractor Name:<br>Bricks & Sticks   |   | Address:<br>Peaks Island, ME   |                    | Phone:<br>766-5969                            |
| Past Use:<br>End Only   | Proposed Use:<br>1-fam dwelling<br>1 greenhouse | COST OF WORK:<br>\$ 61,000.00 <i>work paid for on previous permit 29,000</i> |                    | PERMIT FEE:<br>\$ 130.00                      |
| Proposed Project Description:<br>Construct 1-fam dwelling and greenhouse as per plans |   | FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied |                    | INSPECTION:<br>Use Group B Type 5 B<br>000-93 |
|   |   | Signature:   |                    | Signature:                                    |

**PERMIT ISSUED**  
SEP 9 1994

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  
Action:  Approved  Approved with Conditions  Denied  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Zoning Approval  
*DDM*  
Special Zone or Reviews:  
 Shoreland  
 Wetland  
 Flood Zone  
 Subdivision  
 Site Plan  minor  none

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

*770-2685 call*  
**PERMIT ISSUED WITH LETTER**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

*James Robert Lausier* 40 Adams St Peaks Island  
SIGNATURE OF APPLICANT James Lausier ADDRESS: DATE: 17 Aug 94 PHONE: 766-5157

Historic Preservation  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review  
Action:  
 Approved  Approved with Conditions  Denied  
Date: *9/18/94*

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT **6**  
A.P.



**CITY OF PORTLAND, MAINE**

**SITE PLAN REVIEW**

**Processing Form**

Applicant: James Laugier Adams St. Date: 6 June 1994  
 16 Adams St. Peaks Island, ME 04106 Welch & Adams Sts Peaks Isl.  
 Mailing Address: 33ng la Family Dwelling/Retail Sales-Garden Center Address of Proposed Site: 084-L-001 to 6 13 to 14  
 Proposed Use of Site: XXXXXX 974 sq ft Site Identifier(s) from Assessors Maps: XXXXXX  
 Acreage of Site: XXXXXX Ground Floor Coverage: XXXXXX Zoning of Proposed Site: 1 1/2  
 Site Location Review (DEP) Required: ( ) Yes ( ) No Proposed Number of Floors: XXXXXX  
 Board of Appeals Action Required: ( ) Yes ( ) No Total Floor Area: 1,388 sq ft  
 Planning Board Action Required: ( ) Yes ( ) No  
 Other Comments: Construct 1-fam dwelling - Operate Retail Sales - Garden Center  
James Laugier - 766-5157 w/776-7149  
 Date Dept. Review Due: 30 Jun 1994 Permit # 940657  
Foundation Permit Issued

**FIRE DEPARTMENT REVIEW**

6/8/94  
(Date Received)

|                        | ACCESS TO SITE | ACCESS TO STRUCTURE | SUFFICIENT VEHICLE TURNING ROOM | SAFETY HAZARDS | HYDRANTS | SIAMSE CONNECTIONS | EXISTING OR WATER SUPPLY | OTHER |                            |
|------------------------|----------------|---------------------|---------------------------------|----------------|----------|--------------------|--------------------------|-------|----------------------------|
| APPROVED               |                |                     |                                 |                |          |                    |                          |       |                            |
| APPROVED CONDITIONALLY |                |                     |                                 |                |          |                    |                          |       | CONDITIONS SPECIFIED BELOW |
| DISAPPROVED            |                |                     |                                 |                |          |                    |                          |       | REASONS SPECIFIED BELOW    |

REASONS:

(Attach Separate Sheet if Necessary)

[Signature]  
SIGNATURE OF REVIEWING STAFF/DATE  
FIRE DEPARTMENT COPY

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant James Lauster Date 6 June 1994  
16 Adams St Peaks Island, ME 04106 Adams St  
Mailing Address Single Family Dwelling/Retail Sales-Garden Center Welch & Adams Sts Peaks Isl.  
Address of Proposed Site 984-L-001 to 6 13 to 15  
Proposed Use of Site XXXXXXXXXX 974 sq ft Site Identifier(s) from Assessors Maps  
Acreage of Site / Ground Floor Coverage 3,000 sq ft / Zoning of Proposed Site 1 1/2  
Site Location Review (DEP) Required: ( ) Yes ( ) No Proposed Number of Floors XXXX  
Board of Appeals Action Required: ( ) Yes ( ) No Total Floor Area 1,388 sq ft  
Planning Board Action Required: ( ) Yes ( ) No  
Other Comments: Construct 1-fam dwelling - Operate Retail Sales - Garden Center  
James Lauster - 766-5157  
Date Dept. Review Due: \_\_\_\_\_

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received) \_\_\_\_\_

|                        | TRAFFIC CIRCULATION | ACCESS | CURB CUTS | ROAD WIDTH | PARKING | SIGNALIZATION | TURNING MOVEMENTS | LIGHTING | CONFLICT WITH CITY CONSTRUCTION PROJECT | DRAINAGE | SOIL TYPES | SEWERS | CURBING | SIDEWALKS | OTHER |                            |
|------------------------|---------------------|--------|-----------|------------|---------|---------------|-------------------|----------|---|----------|------------|--------|---------|-----------|-------|----------------------------|
| APPROVED               |                     |        |           |            |         |               |                   |          |   |          |            |        |         |           |       |                            |
| APPROVED CONDITIONALLY |                     |        |           |            |         |               |                   |          |   |          |            |        |         |           |       | CONDITIONS SPECIFIED BELOW |
| DISAPPROVED            |                     |        |           |            |         |               |                   |          |   |          |            |        |         |           |       | REASONS SPECIFIED BELOW    |

REASONS: INSTALL ADEQUATE EROSION CONTROL MEASURES  
TO PREVENT OFF-SITE SEDIMENT TRANSPORT

(Attach Separate Sheet if Necessary)

[Signature] 7/6/94  
SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

**CITY OF PORTLAND, MAINE  
SITE PLAN REVIEW  
Processing Form**

Jesus Lausier 6 June 1994

Applicant 16 Adams St Peaks Island, ME 04108 Adams St Date  
 Mailing Address Welch & Adams Sts Peaks Isl. Address of Proposed Site  
 Proposed Use of Site Single Family Dwelling/Retail Sales-Garden Center 084-L-001 to 6 13 to 15  
 Acreage of Site / Ground Floor Coverage 3,600 sq ft / ~~1,338 sq ft~~ 974 sq ft Site Identifier(s) from Assessors Maps  
 Zoning of Proposed Site 1 1/2

Site Location Review (DEP) Required: ( ) Yes ( ) No Proposed Number of Floors ~~XXXX~~  
 Board of Appeals Action Required: ( ) Yes ( ) No Total Floor Area 1,388 sq ft  
 Planning Board Action Required: ( ) Yes ( ) No

Other Comments: Construct i-fam dwelling - Operate Retail Sales - Garden Center  
Jesus Lausier - 766-3157

Date Dept. Review Due: \_\_\_\_\_

**PLANNING DEPARTMENT REVIEW**

(Date Received) \_\_\_\_\_

- Major Development — Requires Planning Board Approval: Review Initiated
- Minor Development — Staff Review Below

|                           | LOADING<br>AREA | PARKING | CIRCULATION<br>PATTERN | ACCESS | PEDESTRIAN<br>WALKWAYS | SCREENING | LANDSCAPING | SPACE & BULK<br>OF STRUCTURES | LIGHTING | CONFLICT WITH<br>Y PROTECTS | FINANCIAL CAPACITY | CHANGE IN<br>SITE PLAN |
|---------------------------|-----------------|---------|------------------------|--------|------------------------|-----------|-------------|-------------------------------|----------|-----------------------------|--------------------|------------------------|
| APPROVED                  | ✓               | ✓       | ✓                      | ✓      | ✓                      | ✓         | ✓           | ✓                             | ✓        | ✓                           | ✓                  | ✓                      |
| APPROVED<br>CONDITIONALLY |                 |         |                        |        |                        |           |             |                               |          |                             |                    |                        |
| DISAPPROVED               |                 |         |                        |        |                        |           |             |                               |          |                             |                    |                        |

CONDITIONS SPECIFIED BELOW

REASONS SPECIFIED BELOW

REASONS:

(Attach Separate Sheet, if Necessary)

*Deborah G. Andrews* 2/2/94

SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Town, City, Plantation

PORTLAND (PEAKS ISLAND)

Street, Road, Subdivision

38 MAPLE STREET  
SITE PLAN

Department of Human Services  
Division of Health Engineering

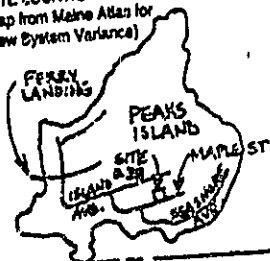
Applicant Name

SPRINGER, RICHARD

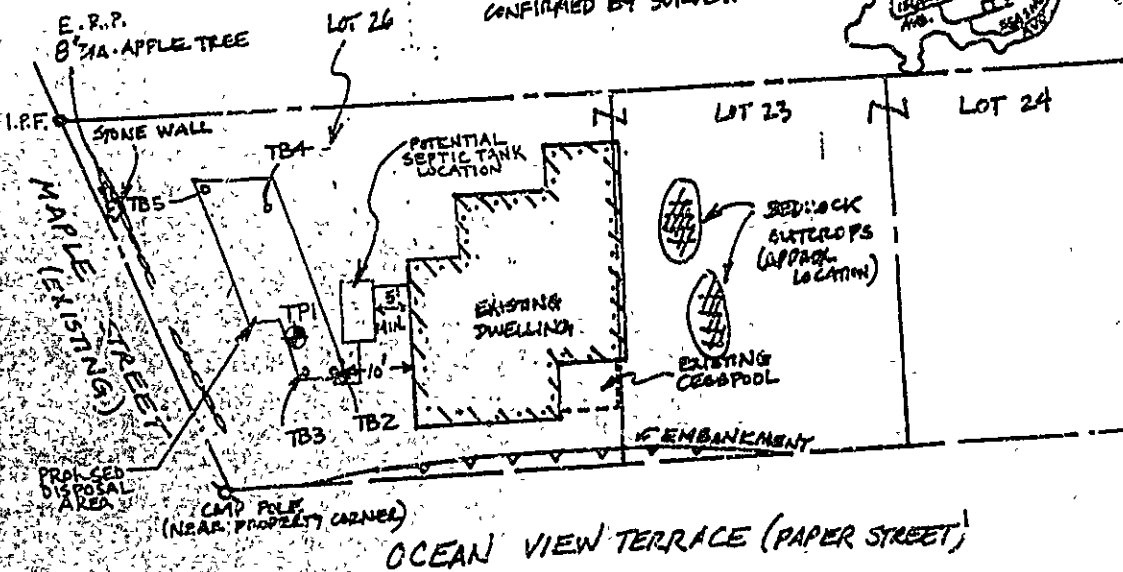
SITE LOCATION PLAN (Attach

Map from Maine Atlas for New System Variance)

Scale 1" = 20' PL.



NOTE: PROPERTY LINES & LOCATION OF DWELLINGS TO BE CONFIRMED BY SURVEY.



**SOIL DESCRIPTION AND CLASSIFICATION** (Location of Observation Holes Shown Above)

Observation Hole: TP 1  Test Pit  Boring

Depth of Organic Horizon Above Mineral Soil: \_\_\_\_\_

| Depth Below Mineral Soil Surface (Inches) | Texture | Consistency | Color           | Mottling |
|---|---------|-------------|-----------------|----------|
| 0-2                                       |         |             | DARK BROWN      |          |
| 2-10                                      | FINE    | FRAGILE     | DARK            | ABOVE    |
| 10-15                                     | SANDY   |             | YELLOWISH BROWN | EVIDENT  |
| 15-20                                     |         |             |                 |          |
| 20-50                                     | BEDROCK |             |                 |          |

Soil Profile: 2 Classification: A Slope: 34 Limiting Factor: 34

Soil Classification: 2 Limiting Factor: 25

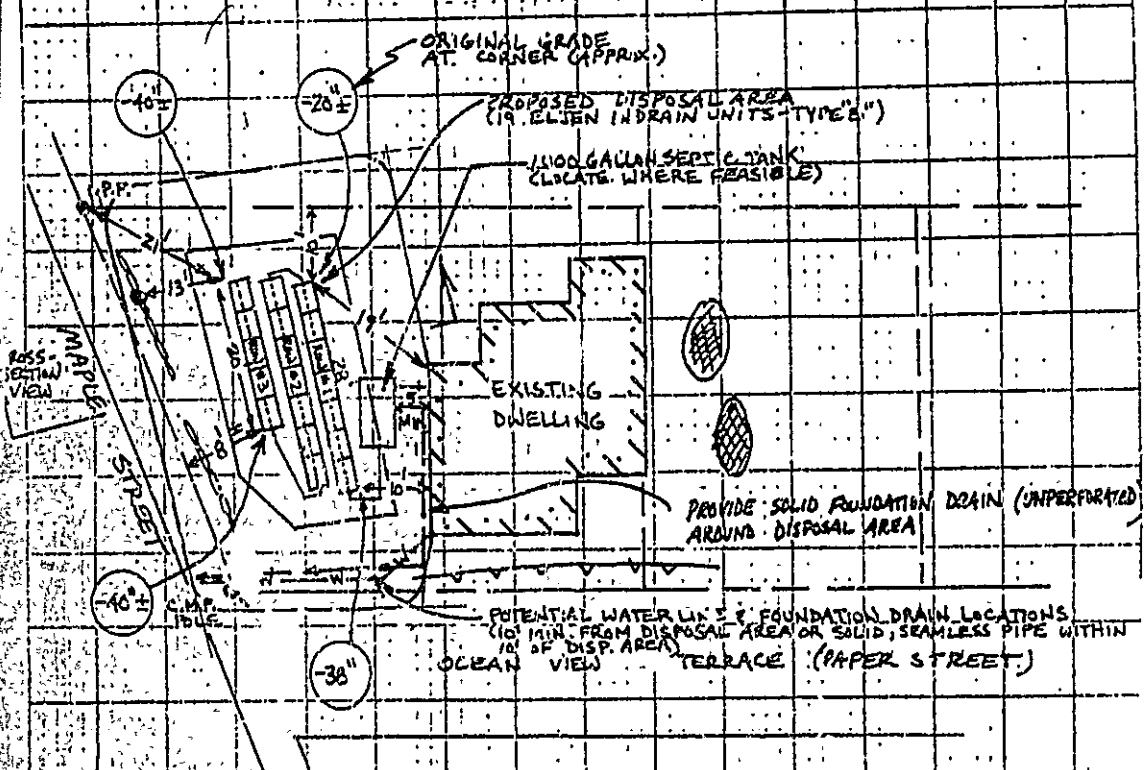
Robert Frick

163 10/15/93 Date

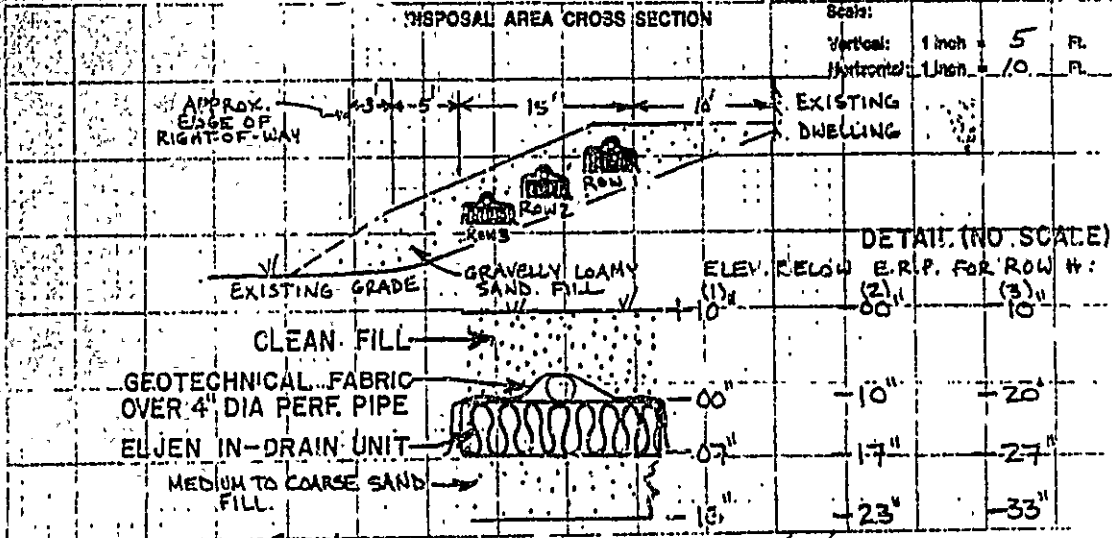
# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services  
Division of Health Engineering  
Owner: *same*

Town, City, Parish: **PORTLAND (PEAKS ISLAND)** Street, Road, Subdivision: **38 MAPLE STREET SPRINGER, RICHARD**  
SUBSURFACE WASTEWATER DISPOSAL PLAN Scale 1" = 20' PL.



| FILL REQUIREMENTS             | CONSTRUCTION ELEVATIONS               | ELEVATION REFERENCE POINT LOCATION & DESCRIPTION                 |
|-------------------------------|---------------------------------------|--|
| Depth of Fill (Upslope) 30" ± | Reference Elevation is 40             | NAIL IN 8" DIA. APPLE TREE, DETAIL BELOW 62" ABOVE BASE OF TREE. |
| Depth of Fill (Downslope) 30" | Bottom of Disposal Area               |  |
|                               | Top of Distribution Lines or Chambers |  |



*Albert Grack* 163 4/29/94 Date Page 3 of 1  
 WWS-999 D.



38 Maple St. P.I.

## SPRINGER HOUSE SPECIFICATIONS :

11-27-93

The scope of all work, materials, labor, equipment and services required for the proper installation and completion of this project is as shown on the Drawings, as described in the Specifications, as Reasonably Inferable from them, and as required for a "normal" completed project. Notify Architect of any major items required yet not covered on the drawings or in these specifications and corrections will be made through addenda.

- GENERAL :**
- All work performed shall be in a workman-like manner and of the highest quality and in compliance with all applicable codes, standards, specifications, and governing authorities.
  - Substitutions of equivalent quality shall be approved by the Architect.
  - All dimensions shall be verified and the Architect notified in case of any discrepancies.
  - All dimensions are to face of studs except center line dimensions of doors and windows and any other designated center line dimensions.
  - Drawings shall not be scaled for measurements.
  - The Contractor shall prepare and submit to the Architect estimated Construction Progress Schedules for the Work, showing the complete sequence of construction by activity, dates for the beginning, and completion of, each major element of construction, with projected percentage of completion of each item.
  - Provide to the Architect a Schedule of Values allocated to the various portions of the Work, identifying each line item with the number and title of the respective major section of this specification, all used only as the basis for the Contractor's Application for Payment.
  - The Contractor shall also provide additional information as required by Peoples Heritage bank.
  - The Contractor shall be responsible in maintaining a reasonably clean construction site both interior and exterior.
  - Extra care shall be taken to keep all construction materials and waste on Owners property and not invade adjacent properties.

- At final completion of project, the Contractor shall facilitate the cleaning of : all glass (inside and out), all plumbing fixtures, lighting fixtures and hardware, the cleaning and required polishing of all flooring, and the removal of all nails and debris from the surrounding lawn and driveways.

- At the close of the project and prior to final payment, the Contractor shall provide : Release of Waiver of Liens; All guarantees in excess of one year from date of substantial completion; As built record drawings; and Maintenance Manuals.

**SITE WORK:** - Site clearing for utilities and footing excavation. (Contractor removal of existing house is responsible for removal of entire house and all related substructure, footings, etc.)

- Suitable excavation material may be used for filling, backfilling and rough grading of the site provided the soil can be compacted to required density.

- Remove existing summer water connection and waterline, and install new winter water connection and waterline to house with required water meter.

- Install per "Subsurface Wastewater Disposal System Application" HHE-200, dated 10-15-93, by Albert Frick a new septic system.

- Existing overhead power, and telephone lines from Maple street to house to be reused. Temporary pole installed prior to removal of existing house.

- Rough grading to within 4" of finish grade should be performed as soon as reasonably possible after foundation work, and placed in 8" compacted layers, filling in any settlement or erosion areas to required sub-grade levels.

- Provide additional screened topsoil (fertile, friable natural soil supporting plant growth) as required to adequately cover disturbed areas, and seed.

**CONCRETE WORK:**

- All footings, including those for sonotubes, shall be formed and poured to a minimum of 4" below finish grade, to bedrock or to adequate bearing below frost line. Pin footings to ledge as needed.

- Minimum 3,000 PSI strength with air entraining add mixture for all sonotubes, and footings.

- Galvanized anchors shall be set in top of sonotubes for proper anchoring of structural members.

- Provide 4" concrete slab reinforced with woven wire mesh, on unpunctured 6 mil poly on 4" minimum of gravel, crushed stone or course sand fill.

- Install 4" PVC foundation drain at perimeter of footing and drain to daylight.

**MASONRY:** - Fireplace and two flue chimney per drawings installed per industry standards using "Uead" brick and rough stone mantel.

**METALS:** - Provide required miscellaneous metals and rough hardware, all in conformance with industry material and installation standards.

**ROUGH CARPENTRY:**

- Studs, joist, girders, headers, rafters. : #1 - 2 spruce, pine, fir, kiln dried 19 % maximum moisture content, base design value fb 875, E-1 40' 00. Use pressure treated rafters at 3rd floor or exposed rafter and beam.

- 3/4" T&G plywood subflooring for all three floors, glued and secured to floor joists with ring shank nails.

- Use rafter ties at second floor bearing plate.

- Plates, blocking, bracing, furring, and nailers shall be utility grade.

- Sub-framing for deck, screen porch, exterior stairs and front porch shall be pressure treated lumber.

- Double joist under all first floor partition and as noted.

- All framing lumber and plywood to be mill certified.

- Use only exterior grade plywood for both outside and inside use where indicated.

- Exterior wall sheathing, 1/2" OSB (1/2" CDX plywood at corners).

- Roof sheathing, 5/8" CDX.

- Exterior walls, 2 x 6 studs at 16" o.c.

- Interior bearing walls, 2 x 4 studs at 16" o.c.

20  
- Framing members as sized on plans.

- Install pressure treated foundation wall including plates, studs, & plywood on concrete footings with proper foundation drainage.

- Use Auro #115 Wood Fitch Impregnation or equal at exposed rafter tails. Two coats required and installed per manufacturer's recommendation. Distributed by Osj Key Eco-Logics HCR 80 Box 68, Penobscot, Me. 04476, (207) 469-3409.

- Provide wall blocking or plywood underlayment where required for indicated (and potential anticipated future) cabinets, shelving and bathroom accessories.

#### FINISH

CARPENTRY:- White cedar Port Orford 3/4 x 6 wood decks, awl. steps, all with 1/8" spacing.

- Exterior doors trimmed with 1 x 3 white cedar, B or better.

- Rake boards, 1 x 6 & 1 x 4, white cedar, B or better.

- Fascia boards, 1 x 6, white cedar, B or better.

- Starter boards at rafter tails, 3/4" x 5 1/2" T & G #3 pine, notched into top face of rafter tails to align with adjacent plywood sheathing.

- Porch and stair railings, cedar, A or better.

- Interior door jambs, 5/4 x (as required for wall thickness), #2 pine.

- Interior window and door jamb casings, 1 x 3 #2 pine.

- Window and door head interior casings, 1 x 4, #2 pine, with biscuit joint jamb connection.

- Baseboards, 1 x 6 #2 pine and plinth block at all door jambs.

- All exposed edges on interior trim to be eased.

- Hard yellow southern 4", 6" & 8" random pine hard flooring where indicated on finish schedule.

- Armstrong vinyl sheet flooring, medium to high grade, (non-toxic linoleum as add alternate).

- 1/2" GWB (gypsum wall board), where indicated on finish

schedule, finish taped (moisture resistant in bathrooms ). All  
GWB shall have tapered edges, screw applied and 3 tape coats.  
(Select areas that have exposed floor joist - see finish schedule).

- Clothes closets, 3/4 " x 18" deep shelf #2 pine boards and black  
pipe clothes pole.

- Bathroom lavatory cabinets, 32" high birch veneer edgehanded  
plywood, plastic laminate top with oak edge band molding and 4"  
backsplash.

- Omni or equal kitchen cabinets (almond color) with plastic  
laminate top with oak edge band.

**THERMAL &  
MOISTURE  
PROTECT'N:**

- Exterior walls shall be vapor sealed with 86001 Seal Paint (.69  
perm applied uniformly at 400 square feet per gallon) by Palmer  
Industries, 10611 Old Annapolis Road, Frederick, Md. 21701-3347,  
301-898-7848.

- Install 6 mil poly (unpunctured) in crawl space and cover with 4"  
of sand.

- Use Certainteed insulation products.

- Walls: 5 1/2 " unfaced friction fit fiber glass batts. Tape all joints  
and punctures.

- 10/12 sloped ceilings : 8 1/2" unfaced friction fit fiber glass batts.

- Flat ceilings : R49 = R19, 5 1/2" unfaced friction fit fiber glass  
batts in all flat third floor ceiling rafters plus unfaced R30, 10"  
fiber glass batts laid in opposite directions.

- Crawl space : 8 1/2" unfaced friction fit fiber glass batts. 1/4"  
CDX plywood screwed to underside of floor joist. Caulk all joints.

- "Tyvek" (or equal) infiltration barrier at all exterior stud walls.

- Single ply (.045 thick) EDPM fully adhered rubber roofing system  
for third floor exterior deck installed per manufacture's  
recommendations, by Celotex or equal.

- Cardboard rafter bay baffles.

- "Coravent" black V-400 ridge & WS400P weather shield flashing.  
Caulk with black or clear sealant between coravent and shingles.

- "Coravent" black S-400 strip vents for use at all soffit vents, fit tightly with black or clear sealant.
- Drill breather holes in rafters accessing non-vented cavities next o dormers, chimneys, etc.
- Insulate any exhaust ductwork through attic spaces.
- Properly flash, insulate and caulk all window, door framing & rim joists.
- Provide fiberglass insulation under and around all bathtubs.
- Sealant all door and window frames, electrical boxes, and all other points of infiltration.
- All black plastic vent pipes flashed with black neoprene flashing or Architect approved equal.
- A Clear, white cedar 16" shingled siding, 5" to weather. Use double hot dipped galvanized nails.
- Georgia Pacific 235 lb., fiber glass 3 tab self-sealing 20 year, asphalt roofing shingles or Architect approved equal on 15# felt. Provide 8" galvanized metal drip edge.
- Provide GAF or Georgia Pacific Ice & Water Barrier under roof shingles at eaves and around all dormers and any other roof penetrations.

**DOORS  
EXTERIOR:**

- Front Entry door, pre-hung, clear pine frame, oak sill, clear ponderosa pine 9 Panel Morgan M1901, "Cameo", with stained leaded Tri-Pane insulated glass, with Schlage F-Series, Design I "Parthenon" grip handle and 1" deadbolt, and bright brass door knocker. *Consult with Architect before purchase.*
- Kitchen Morgan M7984 & Third Floor Exterior Doors, Morgan M6911, clear ponderosa pine, tempered low-E insulating glass, pre-hung, clear pine frame, oak sill, with Schlage "Plymouth" keylock, single 1" deadbolt. Provide sliding screen door at door from retreat to hot tub.
- Brosco "Easy-Change Classic" ponderosa pine, combination storm and screen door at front door, and "Easy Change Ultra View" at third floor hall to deck exterior doors and screen porch. Provide delux hardware kit, including: knobset, hinges, safety chain guard, & pneumatic door closer.

- Key all exterior doors alike.

#### DOORS

**INTERIOR :** - "Brosco" , clear ponderosa pine, M-1051 (or "Maywood"), pre-hung, clear solid rabbeted jamb, flat casings (see finish carpentry), 1 3/8" raised six panel, Schlage F-Series lockset, "Plymouth" knobs, and privacy locks at bedrooms, bathrooms, study, & retreat.

- Provide DP57 - 1030 hinge pin doorstop at all doors where knob may strike wall.

- Stanley # 40-3940 (or equal) sliding door hardware for all pocket doors with # 970-3 edge pull and # 986-3 elongated flush pull, US3 finish unless otherwise specified. Or equal.

- Brosco six panel bi-fold doors, #8 2FD-808, with Stanley # 2980-15 wood knobs, and Stanley #2900 heavy duty pivot bi-fold door hardware kit with center mounted track concealed with 1/4 round or head casing.

**WINDOWS :** - Malta "Thermaclad II" white vinyl clad double hung and awning.

- Malta full framed white screens on all operable windows.

- Custom applied mutton bars to inside and outside of glass for 2 over 1 look.

- 5/8" insulating Low E glass.

- No interior trim is required from window manufacturer.

- Head, jamb and sill extenders shall be required for 2 x 6 stud wall clad in 1/2" sheathing, wood shingles, and 1/2" gypsum wall board.

**PAINING :** - White cedar shingles and all exterior cedar trim finished with penetrating oil sealer.

- Exposed framing (rafter tails, back side of exposed fascia, and entry ceiling finished with two coats penetrating oil sealer.

- Back prime all exterior trim.

- Exterior decks, & steps - two coats penetrating oil sealer.

- Exterior door frames - two coats penetrating oil sealer.

- Interior door casing - one primer coat and two finish coats of semi-gloss alkyd paint.

- Interior window frames and sashes - one primer coat and two finish coats of semi-gloss alkyd paint.
- Interior window casings - one primer coat and two finish coats of semi-gloss alkyd paint.
- Interior door frames - one primer coat and two finish coats of semi-gloss alkyd paint.
- Interior doors - one primer coat and two finish coats of semi-gloss alkyd paint.
- Baseboards - one primer coat and two finish coats of semi-gloss alkyd paint.
- Exposed #2 spruce ceiling joists - oil finish. Sand off all lumber marking.
- Stair treads, risers and stringers - same as for flooring.
- Wood flooring - dark stain, two gloss coats & one flat coat of waterborne polyurethane finish, sanding and wipe cloth between each coat.
- Wood Ceilings - three coats of penetrating oil finish.
- GWB ceilings - one primer coat and two finish coats of flat latex paint.
- GWB walls - one primer coat and two finish coats of eggshell latex paint.
- G.B bathroom and kitchen walls & bathroom ceilings - one primer coat and two finish coats of semi-gloss latex paint.
- Alternate - Livos non-poisonous paint, oil and stain products.

**SPECIALTIES:** - Shower rods, towel racks, toilet paper holders, and mirrors to be provided by Owner and installed by Contractor (provide blocking).

**EQUIPMENT:** - Refrigerator, oven/range, dishwasher) provided by Owner and shipped and installed by Contractor or Sub Contractors.

**PLUMBING:** - Copper leads, PVC or ABS drains and vents.

- Lead and antimony free solder or mechanical fittings.



- Two freeze-proof sill cocks located on North and South walls, and one at third floor deck, crawl space feeders to be well insulated.
- All water lines shall be installed for draining for winter shut down of entire system.
- Forced hot water, oil fired, radiant baseboard heating system, three (3) zones (1st, 2nd & 3rd floors). Wilde McLain cast iron boiler and slant fin baseboard. Submit system for approval.
- Provide one 275 gallon oil tank, installed on it's side with legs, gauge, vent alarm, filter, plugs, 1 1/2" fill pipe to outside, & 1 1/4" vent pipe to outdoors.
- Provide programmable timer thermostats.

**PLUMBING  
FIXTURES :**

- Install a new Super Store hot water tank.
- American Standard white #2172.123 "New Cadet Aquameter" 1.5 ultra saver low flow, two piece, round front bowl with Home Quarters (HQ) (or equal) wooden seat. Install two extra (6 total) rubber spacers under seat to prevent cracking of seat.
- Universal Rundle "Vienne", #4623 over the counter white vitreous china, oval "20" x 17" lavatories with chrome 4" o.c. dual-control American Standard "Cadet" low flow faucet, #2352.110.
- Universal Rundle "Atlas" # 6857, one piece, white, fiberglass tub/shower at second floor bathroom with American Standard "Cadet" # 1805.110; dual - control faucets, diverter tub spout, and shower assembly without head (Shower head provided by Owner), and chrome shower rod.
- Universal Rundle 38" x 38" , #6251, white fiberglass angle corner shower at first floor, with PQR shower door. American Standard "Cadet" 1802.110, chrome dual-control faucet and shower head assembly.
- Kohler "Marsala" cast iron, self-rimming, almond double sink, K-5922, two-hole, with K-5997 almond wire basket, K-830 Duostrainer, and American Standard "Reliant" 4205.220, single control chrome low flow faucet, and soap dispenser.
- Install, Owner provided, dishwasher.

**ELECTRICAL:** - 200 AMP service overhead to house. Locate electrical feed, meter, main disconnect switch on South/East corner of house. *Existing service and equipment to be salvaged where possible.*

- Double outlets and switches with ivory cover plates.
- Use gang type switch and outlet boxes when possible.
- All surface mounted light fixtures provided by Owner (unless otherwise indicated) and installed and wired by Electrician.
- Lightolier or equal "Radiant" light dimmers.
- Install lightning rod on chimney.
- Install wire thru roof for future, Owner provided, TV antenna. Consult with Owner or Architect for type of antenna.
- Nutone 885-AL wall cap for dryer 4" duct vent.
- Nutone QT 80, exhaust fan with VS - AL wall cap.
- Nutone "QuietTest Heat-A-Vent" QT-9093WHI, 2.5 sones, heat/exhaust fan/light/night light with VS - 63 fifteen minute timer for heater and ventilator and 841 - AL roof cap.
- Use only positive off, two pole programmable timer thermostats.
- Hot tub, 220 volt, 50 amp, single phase, "Hot Spring - Sovereign Model I", 530 LBS, provided by Owner from Mainely Tubs (761-7935), delivered from Marginal Way store (might consider helicopter air lift) and installed by Contractor. Consult manufactures catalog for electric wiring diagrams.
- The electrical system shall be grounded to the water system (multiple grounds to the water system shall not be permitted). If permitted, however, ground system to ground rod driven into untampered soil directly below the service entrance disconnect switch.

END OF SPECIFICATIONS

38 Maple St. P.I.

## SPRINGER HOUSE SPECIFICATIONS :

11-09-93

The scope of all work, materials, labor, equipment and services required for the proper installation and completion of this project is as shown on the Drawings, as described in the Specifications, as Reasonably Inferable from them, and as required for a completed project. Notify Architect of any major items required yet not covered on the drawings or in these specifications and corrections will be made through addenda.

- GENERAL :**
- All work performed shall be in a workman-like manner and of the highest quality and in compliance with all applicable codes, standards, specifications, and governing authorities having jurisdiction.
  - Substitutions of equivalent quality shall be approved by the Architect.
  - All dimensions shall be verified and the Architect notified in case of any discrepancies.
  - All dimensions are to face of studs except center line dimensions of doors and windows and any other designated center line dimensions.
  - Drawings shall not be scaled for measurements.
  - The Contractor shall prepare and submit to the Architect estimated Construction Progress Schedules for the Work, showing the complete sequence of construction by activity, dates for the beginning, and completion of, each major element of construction, with projected percentage of completion of each item.
  - Provide to the Architect a Schedule of Values allocated to the various portions of the Work, identifying each line item with the number and title of the respective major section of this specification, all used only as the basis for the Contractor's Application for Payment.
  - The Contractor shall also provide additional information as required by Peoples Heritage bank as outlined in the enclosed packet.
  - The Contractor shall be responsible in maintaining a reasonably clean construction site both interior and exterior.
  - Extra care shall be taken to keep all construction materials and waste on Owners property and not invade adjacent properties.

- At final completion of project, the Contractor shall facilitate the cleaning of : all glass(inside and out), all plumbing fixtures, lighting fixtures and hardware, the cleaning and required polishing of all flooring, and the removal of all nails and debris from the surrounding lawn and driveways.

- At the close of the project and prior to final payment, the Contractor shall provide : Release of Waiver of Liens; All guarantees in excess of one year from date of substantial completion; As built record drawings; and Maintenance Manuals.

**SITE WORK:** - Site clearing for utilities and footing excavation. (Contractor for removal of existing house is responsible for removal of entire house and all related substructure, footings, etc.)

- Suitable excavation material may be used for filling, backfilling and rough grading of the site provided the soil can be compacted to required density.

- Remove existing summer water connection and waterline, and install new winter water connection and waterline to house with required water meter.

- Install per "Subsurface Wastewater Disposal System Application" HHE-200, dated 10-15-93, by Albert Frick a new septic system.

- Existing overhead power, and telephone lines from Maple street to house to be reused. Temporary pole installed prior to removal of existing house.

- Rough grading to within 4" of finish grade should be performed as soon as reasonably possible after foundation work, and placed in 8" compacted layers, filling in any settlement or erosion areas to required sub-grade levels.

- Provide additional screened topsoil (fertile, friable natural soil supporting plant growth ) as required to adequately cover disturbed areas, and seed.

**CONCRETE WORK :**

- All footings, including those for sonotubes, shall be formed and poured to a minimum of 4'-6" below finish grade, to bedrock or to adequate bearing below frost line. Pin footings to ledge as required.

- Minimum 3,000 PSI strength for all sonotubes, and footings.

- Galvanized anchors shall be set in top of sonotubes for proper anchoring of structural members.

- Provide 4" concrete slab reinforced with woven wire mesh, on unpunctured 6 mil poly on 4" minimum of gravel, crushed stone or course sand fill.

- Install 4" PVC foundation drain at perimeter of footing and drain to daylight.

**MASONRY:** - Fireplace and two flue chimney per drawings installed per industry standards using "Used" brick.

**METALS:** - Provide required miscellaneous metals and rough hardware, all in conformance with industry material and installation standards.

**ROUGH CARPENTRY:** - Studs, joist, girders, headers, etc. : #2 or better spruce or fir, kiln dried, minimum fb 950.

- Rafters : #2 or better spruce or fir, P.A.D., minimum fb 950.

- 3/4" T&G plywood subflooring for all three floors, glued and screwed to floor joists.

- Use rafter ties at second floor bearing plate.

- Plates, blocking, bracing, furring, and nailers shall be utility grade.

- Sub-framing for deck, screen porch, exterior stairs and front porch shall be pressure treated lumber.

- Double joist under all first floor partitions and as noted.

- All framing lumber and plywood to be mill certified.

- Use only exterior grade plywood for both outside and inside use where indicated.

- Exterior wall and roof sheathing, 1/2" CDX plywood.

- Exterior walls, 2 x 6 studs at 16" o.c.

- Interior bearing walls, 2 x 4 studs at 16" o.c.

- Framing members as sized on plans.

- Install pressure treated foundation wall on concrete footings with proper foundation drainage.

- Use Auro #115 Wood Pitch Impregnation or equal at exposed rafter tails. Two coats required and installed per manufacture's recommendation. Distributed by Osprey Eco-Logics, HCR 80 Box 68, Penobscot, Me. 0476, (207) 469-3409.

- Provide wall blocking or plywood underlayment where required for indicated (and potential anticipated future) cabinets, shelving and bathroom accessories.

#### FINISH

**CARPENTRY**:- White cedar premium grade 5/4 x 6 wood decks, and steps, all with 1/8" spacing, oiled.

- Exterior doors trimmed with 5/4 x 3 cedar, A or better, oiled.

- Rake boards, 1 x 6 layered, cedar, A or better, oiled.

- Fascia boards, 1 x 6, cedar, A or better, oiled.

- Starter boards at rafter tails, 3/4" x 5 1/2" #2 pine, oiled, notched 1/4" into top face of rafter tails to align with adjacent plywood sheathing.

- Porch and stair railings, cedar, A or better, oiled.

- Interior door jambs, 5/4 x (as required for wall thickness), #2 pine, painted.

- Interior window and door jamb casings, 1 x 3 #2 pine, painted.

- Window and door head interior casings, 1 x 4, #2 pine, with biscuit joint jamb connection, painted.

- Baseboards, 1 x 6 #2 pine and plinth block at all door jambs, painted.

- All exposed edges on interior trim to be eased.

- Hard yellow southern 4", 6" & 8" pine board flooring at first floor, oiled finish.

- Vinyl sheet flooring, medium grade, (non-toxic linoleum as alternate).

- 1/2" GWB (gypsum wall board), where indicated on finish schedule, finish taped (moisture resistant in bathrooms). All GWB shall have tapered edges, screw applied and 3 tape coats. (Select areas will have exposed floor joist - see finish schedule).

- Clothes closets, 3/4" x 18" deep shelf #2 pine boards and Brosco #8913 fir 1 5/8" clothes pole.

- Bathroom lavatory cabinets, 32" high birch veneer edgebanded plywood, plastic laminate top with plastic laminate edge band molding (Wilson Art or equal) and 4" backsplash.

- Omni or equal kitchen cabinets (almond color) with plastic laminate top with plastic laminate edge band molding.

**THERMAL &  
MOISTURE**

**PROTECT'N:** - 6 mil poly vapor barrier - taping all joints.

- Use Certainteed insulation products.

- Walls: 5 1/2" unfaced friction fit fiber glass batts. Tape all joints and punctures.

- 10/12 sloped ceilings: 8 1/2" unfaced friction fit fiber glass batts.

- Flat ceilings: R49 = R19, 5 1/2" unfaced friction fit fiber glass batts in all flat third floor ceiling rafters plus unfaced R30, 10" fiber glass batts laid in opposite directions.

- Crawl space: 8 1/2" unfaced friction fit fiber glass batts. 1/4" CDX plywood screwed to underside of floor joist. Caulk all joints.

- "Tyvek", "Typar" (or equal) infiltration barrier at all exterior stud walls.

- Single ply (.045 thick) EDPM fully adhered rubber roofing system for third floor exterior deck installed per manufacture's recommendations, by Celotex or equal.

- Cardboard rafter bay baffles.

- "Coravent" black V-400 ridge. Caulk with black or clear sealant between coravent and shingles.

- "Coravent" black S-400 strip vents for use at all soffit vents, fit tightly with black or clear sealant.

- Drill breather holes in rafters accessing non-vented cavities next to dormers, chimneys, etc.
- Insulate any exhaust ductwork through attic spaces.
- Properly flash, insulate and caulk all window, door framing & rim joists.
- Provide fiberglass insulation under and around all bathtub.
- Sealant all door and window frames, electrical boxes, and all other points of infiltration.
- All black plastic vent pipes flashed with black neoprene flashing or Architect approved equal.
- A Clear, white cedar 16" shingled siding, 5" to weather. Use double hot dipped galvanized nails.
- Georgia Pacific 235 lb., fiber glass 3 tab self-sealing 20 year, asphalt roofing shingles or Architect approved equal on 15# felt. Provide 6" galvanized metal drip edge.
- Provide GAF or Georgia Pacific Ice & Water Barrier under roof shingles at eaves and around all dormers and any other roof penetrations.

#### DOORS

##### EXTERIOR:

- Front Entry door, pre-hung, clear pine frame, oak sill, clear ponderosa pine 9 Panel Morgan M1901, "Cameo", with stained leaded Tri-Pine insulated glass, with Schlage F-Series, Design H "Parthenon" grip handle and 1" deadbolt, and bright brass door knocker.
- Kitchen & Third Floor Exterior Doors, Morgan M7984, clear ponderosa pine, tempered low-E insulating glass, pre-hung, clear pine frame, oak sill with Schlage "Plymouth" keylock, single 1" deadbolt.
- Brosco "Easy Change Ultra View", ponderosa pine, combination storm and screen door at front & third floor hall to deck exterior doors and screen porch. Provide delux hardware kit, including: knobset, hinges, safety chain guard, & pneumatic door closer.

- Key all exterior doors alike.



## DOORS

**INTERIOR :** - "Brosco" , clear ponderosa pine, M-1051 (or "Maywood"), pre-hung, clear solid rabbeted jamb, flat casings (see finish carpentry), 1 3/8" raised six panel, Schlage F-Series lockset, "Plymouth" knobs, and privacy locks at all bedrooms, bathrooms, study, and retreat.

- Provide DP57 - 1030 hinge pin doorstop at all doors where knob may strike wall.

- Stanley # 40-3940 (or equal) sliding door hardware for all pocket doors with # 970-3 edge pull and # 986-3 elongated flush pull, US3 finish unless otherwise specified. Or equal.

- Brosco six panel bi-fold doors, #8-2FD-808, with Stanley # 2980-15 wood knobs, and Stanley #2900 heavy duty pivot bi-fold door hardware kit with center mounted track conceal with 1/4 round or head casing.

**WINDOWS :** - Malta "Thermaclad II" white vinyl clad double hung and awning windows.

- Malta full framed white screens on all operable windows.

- Rectangular wood grids on all windows, or custom applied mullion bars to inside and outside of glass for 2 over 1 look.

- 5/8" insulating Low E glass.

- No interior trim required from window manufacturer.

- Head, jamb and sill extenders shall be required for 2 x 6 stud wall clad in 1/2" sheathing, wood shingles, and 1/2" gypsum wall board.

**PAINTING :** - White cedar shingles and all exterior cedar trim finished with penetrating oil sealer.

- Exposed framing (rafter tails, back side of exposed fascia, and entry ceiling finished with two coats penetrating oil sealer.

- Back prime all exterior trim.

- Exterior decks, & steps - two coats penetrating oil sealer.

- Exterior door frames - two coats penetrating oil sealer.

- Interior door casing - one primer coat and two finish coats of semi-gloss alkyd paint.

- Interior window frames and sashes - one primer coat and two finish coats of semi-gloss alkyd paint.
- Interior window casings - one primer coat and two finish coats of semi-gloss alkyd paint.
- Interior door frames - one primer coat and two finish coats of semi-gloss alkyd paint.
- Interior doors - one primer coat and two finish coats of semi-gloss alkyd paint.
- Baseboards - one primer coat and two finish coats of semi-gloss alkyd paint.
- Exposed ceiling joists - oil finish. Sand off all imperfections.
- Stair treads, risers and stringers - same as for flooring.
- Wood flooring - dark stain, three coats penetrating oil finish.
- Wood Ceilings - three coats of penetrating oil finish.
- GWB ceilings - one primer coat and two finish coats of flat latex paint.
- GWB walls - one primer coat and two finish coats of eggshell latex paint.
- GWB bathroom and kitchen walls & bathroom ceilings - one primer coat and two finish coats of semi-gloss latex paint.

**SPECIALTIES:** *Shower rods, towel racks, toilet paper holders, and mirrors to be provided by Owner and installed by Contractor (provide blocking).*

**EQUIPMENT:** *Appliances (refrigerator, oven/range) provided by Owner and shipped and installed by Contractor or Sub Contractors.*

**FURNISHINGS:** *Carpet, Furniture, Blinds, Shades, Draperies & Plants by Owners.*

**HVAC:** *Air to Air Heat Exchanger N.I.C. not in contract.*  
*Whole house exhaust fan N.I.C.*

**PLUMBING:** *Copper leads, PVC or ABS drains and vents.*  
*Lead and antimony free solder or mechanical fittings.*

- Two freeze-proof sill cocks located on North and South walls, and one at third floor deck, crawl space feeders to be well insulated.

- All water lines shall be installed for draining for winter shut down of entire system.

- Hydronic floor heat by Wirsbo (or equal), installed per manufactures recommendations, two zones ( first and second floor - electric baseboard at third floor).

- Provide \_\_\_\_\_ boiler by \_\_\_\_\_.

- Programmable timer thermostats as recommended by hydronic floor manufacturer.

**PLUMBING  
FIXTURES :**

- Reuse existing 40 gallon hot water heater, or install a new Super Store hot water tank.

- American Standard #2172.123 "New Cadet Aquameter" 1.5 ultra saver low flow , two piece, round front bowl with Home Quarters (HQ) (or equal) wooden seat. Install two extra (6 total) rubber spacers under seat to prevent cracking of seat.

- Universal Rundle "Vienne", #4623 over the counter white vitreous china, oval 20" x 17 " lavatories with chrome 4 " o.c. dual-control Delta low flow faucet, #2520 .

- Universal Rundle "Atlas" # 6857, one piece, white, fiberglass tub/shower at second floor bathroom with Delta # 2680, dual - control faucets, diverter tub spout, and shower assembly without spout (Shower head provided by Owner), Delta # RP391 trip lever bath waste drain, and chrome shower rod.

- 36" x 36" white fiberglass angle corner shower by \_\_\_\_\_ at first floor, with glass shower door # \_\_\_\_\_ by \_\_\_\_\_ Delta #2670, chrome dual-control faucet and shower head assembly.

- Kohler "Brookfield" cast iron, self-rimming, white double sink, K-5143, three-hole, with Delta #100 or 120 , single control chrome low flow faucet.

- Substitutes as approved by Architect.

**ELECTRICAL:** 200 AMP service overhead to house. Locate electrical feed, meter, main disconnect switch on South/East corner of house. Locate main service panel in South/East corner (East wall) of living room. Existing service and equipment to be salvaged.

- Double outlets and switches with ivory cover plates.
- Use gang type switch and outlet boxes when possible.
- All surface mounted light fixtures provided by Owner (unless otherwise indicated on drawings) and installed and wired by Electrician.
- Lightolier or equal "Radiant" light dimmers.
- Install lightning rod on chimney.
- Install wire thru roof for future, Owner provided, TV antenna. Consult with Owner or Architect for type of antenna.
- Nutone 885-AL wall cap for dryer 4" duct vent.
- Nutone QT 80, exhaust fan with 885 - AL wall cap.
- Nutone "QuietTest Heat-A-Vent" QT-9093WH, 2.5 sones, heat/exhaust fan/light/night light with VS - 63 fifteen minute timer for heater and ventilator and 841 - AL roof cap.
- Provide Nutone (or equal) PB-1, gold, door bell button and LB-14WH built-in chime where indicated on plans.
- Electric baseboard heat (third floor only) by "Nelco" or equal, 250 watts per lineal foot of baseboard, 10 watts per square foot of heated space. System is to be designed by supplier and submitted to Architect for approval.
- Use only positive off, two pole programmable timer thermostats.
- Hot tub, 220 volt, 50 amp, single phase, "Hot Spring - Sovereign Model I", 530 LBS., provided by Owner from Mainely Tubs (761-7935), delivered from Marginal Way store (might consider helicopter air lift) and installed by Contractor. Consult manufactures catalog for electric wiring diagrams.
- The electrical system shall be grounded to the water system (multiple grounds to the water system shall not be permitted). If permitted, however, ground system to ground rod driven into untempered soil directly below the service entrance disconnect switch.

END OF SPECIFICATIONS

**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Department of Human Services  
Division of Health Engineering  
(207)289-3826

**PROPERTY ADDRESS**

Town Or Plantation: PORTLAND (PEAKS ISLAND)  
Street: MAP 84 - L 1-C, 13-15  
Subdivision Lot #: ADAMS & WELCH STREET

**PROPERTY OWNERS NAME**

Last: LYONS First: DAVID

Applicant Name: JAMES LAUSIER

Mailing Address of Owner/Applicant (if different): 16 ADAMS STREET  
PEAKS ISLAND, ME. 04106

Portland, Maine, Department of Health Engineering, 5200 TOWN COPY

Permit No. 15-931 Fee 60.50

Local Plumbing Inspector Signature: [Signature] L.P.I. # 0124

**Owner/Applicant Statement**  
I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

**Caution: Inspection Required**  
I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules.

Local Plumbing Inspector Signature: Arthur Rowe Date Approved: 11-28-94

**PERMIT INFORMATION**

|   |   |   |
|---|---|---|
| <p><b>THIS APPLICATION IS FOR:</b></p> <p>1. <input checked="" type="checkbox"/> NEW SYSTEM</p> <p>2. <input type="checkbox"/> REPLACEMENT SYSTEM</p> <p>3. <input type="checkbox"/> EXPANDED SYSTEM</p> <p>4. <input type="checkbox"/> EXPERIMENTAL SYSTEM</p>   | <p><b>THIS APPLICATION REQUIRES:</b></p> <p>1. <input checked="" type="checkbox"/> NO RULE VARIANCE</p> <p>2. <input type="checkbox"/> NEW SYSTEM VARIANCE<br/>Attach New System Variance Form</p> <p>3. <input type="checkbox"/> REPLACEMENT SYSTEM VARIANCE<br/>Attach Replacement System Variance Form</p> <p>a. <input type="checkbox"/> Requiring Local Plumbing Inspector Approval</p> <p>b. <input type="checkbox"/> Requires State and Local Plumbing Inspector Approval</p> <p>4. <input type="checkbox"/> MINIMUM LOT SIZE VARIANCE</p> | <p><b>INSTALLATION IS:</b></p> <p><b>COMPLETE SYSTEM</b></p> <p>1. <input checked="" type="checkbox"/> NON-ENGINEERED SYSTEM</p> <p>2. <input type="checkbox"/> PRIMITIVE SYSTEM<br/>(Includes Alternative Toilet)</p> <p>3. <input type="checkbox"/> ENGINEERED (+2000 gpd)</p> <p><b>INDIVIDUALLY INSTALLED COMPONENTS:</b></p> <p>4. <input type="checkbox"/> TREATMENT TANK (ONLY)</p> <p>5. <input type="checkbox"/> HOLDING TANK _____ GAL</p> <p>6. <input type="checkbox"/> ALTERNATIVE TOILET (ONLY)</p> <p>7. <input type="checkbox"/> NON-ENGINEERED DISPOSAL AREA (ONLY)</p> <p>8. <input type="checkbox"/> ENGINEERED DISPOSAL AREA (ONLY)</p> <p>9. <input type="checkbox"/> SEPARATED LAUNDRY SYSTEM</p> |
| <p><b>SEASONAL CONVERSION</b><br/>to be completed by the LPI</p> <p>5. <input type="checkbox"/> SYSTEM COMPLIES WITH RULES</p> <p>6. <input type="checkbox"/> CONNECTED TO SANITARY SEWER</p> <p>7. <input type="checkbox"/> SYSTEM INSTALLED - P# _____</p> <p>8. <input type="checkbox"/> SYSTEM DESIGN RECORDED AND ATTACHED</p> | <p><b>IF REPLACEMENT SYSTEM:</b></p> <p>YEAR FAILING SYSTEM INSTALLED: <u>N/A</u></p> <p>THE FAILING SYSTEM IS:</p> <p>1. <input type="checkbox"/> BED      3. <input type="checkbox"/> TRENCH</p> <p>2. <input type="checkbox"/> CHAMBER      4. <input type="checkbox"/> OTHER _____</p>  | <p><b>DISPOSAL SYSTEM TO SERVE:</b></p> <p>1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING</p> <p>2. <input type="checkbox"/> MODULAR OR MOBILE HOME</p> <p>3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING</p> <p>4. <input type="checkbox"/> OTHER _____ SPECIFY _____</p>   |
| <p>SIZE OF PROPERTY: <u>36,000 S.F.</u> ZONING: _____</p>   | <p>TYPE OF WATER SUPPLY: _____</p> <p>PROPOSED WELL: _____</p>  |   |

**DESIGN DETAILS (SYSTEM LAYOUT, SHOWN ON PAGE 3)**

|   |   |   |   |
|---|---|---|---|
| <p><b>TREATMENT TANK</b></p> <p>1. <input checked="" type="checkbox"/> SEPTIC: <input checked="" type="checkbox"/> Regular <input checked="" type="checkbox"/> Low Profile</p> <p>2. <input type="checkbox"/> AEROBIC (IF NECESSARY)</p> <p>SIZE: <u>1000</u> GALS.</p> | <p><b>WATER CONSERVATION</b></p> <p>1. <input type="checkbox"/> NONE</p> <p>2. <input checked="" type="checkbox"/> LOW VOLUME TOILET</p> <p>3. <input type="checkbox"/> SEPARATED LAUNDRY SYSTEM</p> <p>4. <input type="checkbox"/> ALTERNATIVE TOILET</p> <p>SPECIFY: _____</p>          | <p><b>PUMPING</b></p> <p>1. <input type="checkbox"/> NOT REQUIRED</p> <p>2. <input checked="" type="checkbox"/> MAY BE REQUIRED<br/>(DEPENDS ON TREATMENT TANK LOCATION AND ELEVATION)</p> <p>3. <input type="checkbox"/> REQUIRED</p> <p>DOSE: _____ GALS.</p>   | <p><b>CRITERIA USED FOR DESIGN FLOW (BEDROOMS, SEATING, EMPLOYEES, WATER RECORDS, ETC)</b></p> <p><b>SINGLE FAMILY DWELLING (3 BEDROOM)</b></p> |
| <p><b>SOIL CONDITIONS USED FOR DESIGN PURPOSES</b></p> <p>PROFILE: <u>5</u> CONDITION: <u>A</u></p> <p>DEPTH TO LIMITING FACTOR: <u>19-31</u></p>   | <p><b>SIZE RATINGS USED FOR DESIGN PURPOSES</b></p> <p>1. <input type="checkbox"/> SMALL</p> <p>2. <input checked="" type="checkbox"/> MEDIUM</p> <p>3. <input type="checkbox"/> MEDIUM-LARGE</p> <p>4. <input type="checkbox"/> LARGE</p> <p>5. <input type="checkbox"/> EXTRA LARGE</p> | <p><b>DISPOSAL AREA TYPE/SIZE</b></p> <p>1. <input type="checkbox"/> BED _____ Sq. Ft.</p> <p>2. <input checked="" type="checkbox"/> CHAMBER <u>100</u> Sq. Ft.</p> <p>    <input checked="" type="checkbox"/> REGULAR <input type="checkbox"/> H 20</p> <p>3. <input type="checkbox"/> TRENCH _____ Linear Ft.</p> <p>4. <input type="checkbox"/> OTHER: _____</p> | <p>DESIGN FLOW: <u>270</u> (GALLONS/DAY)</p>  |

**SITE EVALUATOR STATEMENT**

On SEPTEMBER 15, 1993 (date) I conducted a site evaluation for this project and certify that the data reported is accurate. The system I propose is in accordance with the Subsurface Wastewater Disposal Rules.

Site Evaluator Signature: Albert Frisch SE# 163 Date: 9/27/93

(Local Plumbing Inspector's Signature if permit is for Seasonal Conversion.)

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services  
Division of Health Engineering

Town, City, Plantation **PORTLAND (PEAKS ISLAND)** Street, Road, Subdivision **ADAMS & WELCH STREET N/F** Owners Name **LYONS, DAVID**

**SITE PLAN** Scale 1" = 50' ± FL

**NOTE: PROPERTY LINES PER PLAN PROVIDED BY ARCH. FOR APPLICANT.**

**NOTE: APPROX. PROPOSED DWELLING SITE (15 MIN. FROM DISPOSAL AREA WITH FULL FOUNDATION, 7.5 MIN. WITHOUT FULL FOUND.)**

Labels on map include: WELCH STREET, ADAMS STREET, TO ISLAND AVE, E.R.P. 4" DIA. CROCK, CHERRY TREE, APPROX. TREELINE, TB3, TB2, TB4, TB5, TPI, C.M.P. POLE #1, C.M.P. POLE #2, C.M.P. POLE #3, FERRY LANDING, and a small inset map of PEAKS ISLAND showing the location of WELCH ST., ADAMS ST., and the SITE.

**SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)**

Observation Hole **TPI**  Test Pit  Boring  
Depth of Organic Horizon Above Mineral Soil \_\_\_\_\_

| DEPTH BELOW MINERAL SOIL SURFACE (inches) | Texture    | Consistency | Color           | Mottling |
|---|------------|-------------|-----------------|----------|
| 0   | LOAMY SAND |             | DARK BROWN      |          |
| 2   | LOAMY SAND |             | DARK BROWN      |          |
| 4   | SAND       | FRIABLE     | YELLOWISH BROWN | NONE     |
| 6   | FINE SAND  |             | BROWN           | EVIDENT  |
| 8   | FINE SAND  |             | YELLOWISH BROWN |          |
| 10  | FINE SAND  |             | BROWN           |          |
| 12  | BEDROCK    |             |                 |          |

Soil Profile **5**
Classification **A**
Slope \_\_\_\_\_ %
Limiting Factor **31**

Observation Hole **TB 2**  Test Pit  Boring  
Depth of Organic Horizon Above Mineral Soil \_\_\_\_\_

| DEPTH BELOW MINERAL SOIL SURFACE (inches) | Texture | Consistency | Color | Mottling |
|---|---------|-------------|-------|----------|
| 0   |         |             |       |          |
| 2   |         |             |       |          |
| 4   |         |             |       |          |
| 6   |         |             |       |          |
| 8   |         |             |       |          |
| 10  |         |             |       |          |
| 12  |         |             |       |          |
| 14  |         |             |       |          |
| 16  |         |             |       |          |
| 18  |         |             |       |          |
| 20  |         |             |       |          |
| 22  |         |             |       |          |
| 24  |         |             |       |          |
| 26  |         |             |       |          |
| 28  |         |             |       |          |
| 30  |         |             |       |          |
| 32  |         |             |       |          |
| 34  |         |             |       |          |
| 36  |         |             |       |          |
| 38  |         |             |       |          |
| 40  |         |             |       |          |
| 42  |         |             |       |          |
| 44  |         |             |       |          |
| 46  |         |             |       |          |
| 48  |         |             |       |          |
| 50  |         |             |       |          |
| 52  |         |             |       |          |
| 54  |         |             |       |          |
| 56  |         |             |       |          |
| 58  |         |             |       |          |
| 60  |         |             |       |          |

Soil Profile \_\_\_\_\_
Classification \_\_\_\_\_
Slope \_\_\_\_\_ %
Limiting Factor **36**

*Albert Jerich*  
Site Evaluator Signature

163  
SE#

9/27/93  
Date



**Albert Frick Associates, Inc.**  
 Soil Scientists & Site Evaluators  
 95A County Road Gorham, Maine 04038  
 (207) 839-5563

|  |  |  |  |  |  |
|--|--|--|--|--|--|
| Town, City, Plantation<br><b>PORTLAND (PEAKS ISLAND)</b> |  | Street, Road, Subdivision<br><b>ADAMS &amp; WELCH STREET</b> |  | Owners Name<br><b>N/E LYONS, DAVID</b> |  |
|--|--|--|--|--|--|

| SOIL DESCRIPTION AND CLASSIFICATION   |             |       |  |       |                 |
|---|-------------|-------|--|-------|-----------------|
| Observation Hole <b>TB3</b>   |             |       | <input type="checkbox"/> Test Pit <input checked="" type="checkbox"/> Boring   |       |                 |
| * Depth of Organic Horizon Above Mineral Soil _____   |             |       |  |       |                 |
| Texture   | Consistency | Color | Mottling   | Slope | Limiting Factor |
| DEPTH BELOW MINERAL SOIL SURFACE (inches)<br>0<br>6<br>10<br>15<br>20<br>25<br>30<br>35<br>40<br>45<br>50 |             |       |  |       |                 |
|   |             |       |  |       |                 |
| Soil Classification   |             |       | Slope _____ %  |       |                 |
| Profile _____ Condition _____   |             |       | Limiting Factor <b>25</b>  |       |                 |
|   |             |       | <input type="checkbox"/> Ground Water<br><input type="checkbox"/> Restrictive Layer<br><input checked="" type="checkbox"/> Bedrock |       |                 |

| Observation Hole <b>TB4</b>   |             |       | <input type="checkbox"/> Test Pit <input checked="" type="checkbox"/> Boring   |       |                 |
|---|-------------|-------|--|-------|-----------------|
| * Depth of Organic Horizon Above Mineral Soil _____   |             |       |  |       |                 |
| Texture   | Consistency | Color | Mottling   | Slope | Limiting Factor |
| DEPTH BELOW MINERAL SOIL SURFACE (inches)<br>0<br>6<br>10<br>15<br>20<br>25<br>30<br>35<br>40<br>45<br>50 |             |       |  |       |                 |
|   |             |       |  |       |                 |
| Soil Classification   |             |       | Slope _____ %  |       |                 |
| Profile _____ Condition _____   |             |       | Limiting Factor <b>19</b>  |       |                 |
|   |             |       | <input type="checkbox"/> Ground Water<br><input type="checkbox"/> Restrictive Layer<br><input checked="" type="checkbox"/> Bedrock |       |                 |

| SOIL DESCRIPTION AND CLASSIFICATION   |             |       |   |       |                 |
|---|-------------|-------|---|-------|-----------------|
| Observation Hole <b>TB5</b>   |             |       | <input type="checkbox"/> Test Pit <input checked="" type="checkbox"/> Boring  |       |                 |
| * Depth of Organic Horizon Above Mineral Soil _____   |             |       |   |       |                 |
| Texture   | Consistency | Color | Mottling  | Slope | Limiting Factor |
| DEPTH BELOW MINERAL SOIL SURFACE (inches)<br>0<br>6<br>10<br>15<br>20<br>25<br>30<br>35<br>40<br>45<br>50 |             |       |   |       |                 |
|   |             |       |   |       |                 |
| Soil Classification   |             |       | Slope _____ %   |       |                 |
| Profile _____ Condition _____   |             |       | Limiting Factor _____   |       |                 |
|   |             |       | <input type="checkbox"/> Ground Water<br><input type="checkbox"/> Restrictive Layer<br><input type="checkbox"/> Bedrock |       |                 |

| Observation Hole _____  |             |       | <input type="checkbox"/> Test Pit <input type="checkbox"/> Boring   |       |                 |
|---|-------------|-------|---|-------|-----------------|
| * Depth of Organic Horizon Above Mineral Soil _____   |             |       |   |       |                 |
| Texture   | Consistency | Color | Mottling  | Slope | Limiting Factor |
| DEPTH BELOW MINERAL SOIL SURFACE (inches)<br>0<br>6<br>10<br>15<br>20<br>25<br>30<br>35<br>40<br>45<br>50 |             |       |   |       |                 |
| Soil Classification   |             |       | Slope _____ %   |       |                 |
| Profile _____ Condition _____   |             |       | Limiting Factor _____   |       |                 |
|   |             |       | <input type="checkbox"/> Ground Water<br><input type="checkbox"/> Restrictive Layer<br><input type="checkbox"/> Bedrock |       |                 |

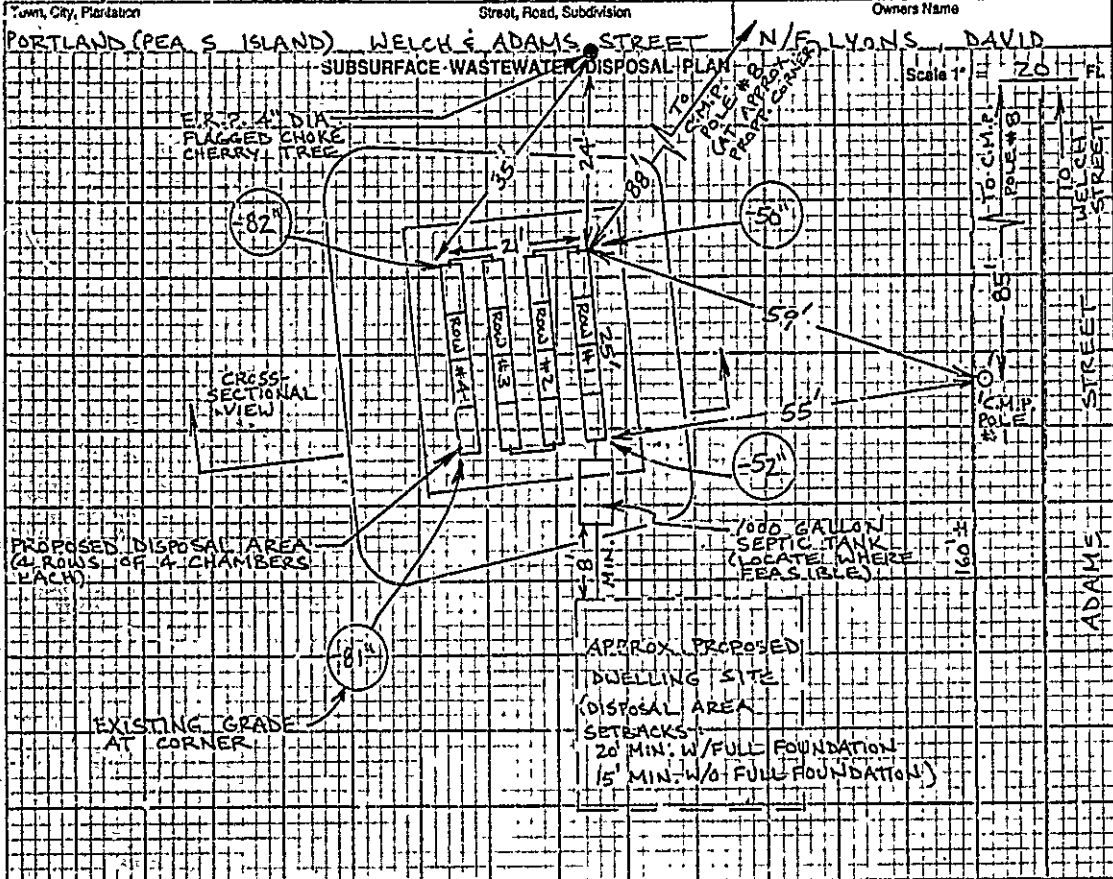
Albert Frick  
 Site Evaluator

163  
 SE #

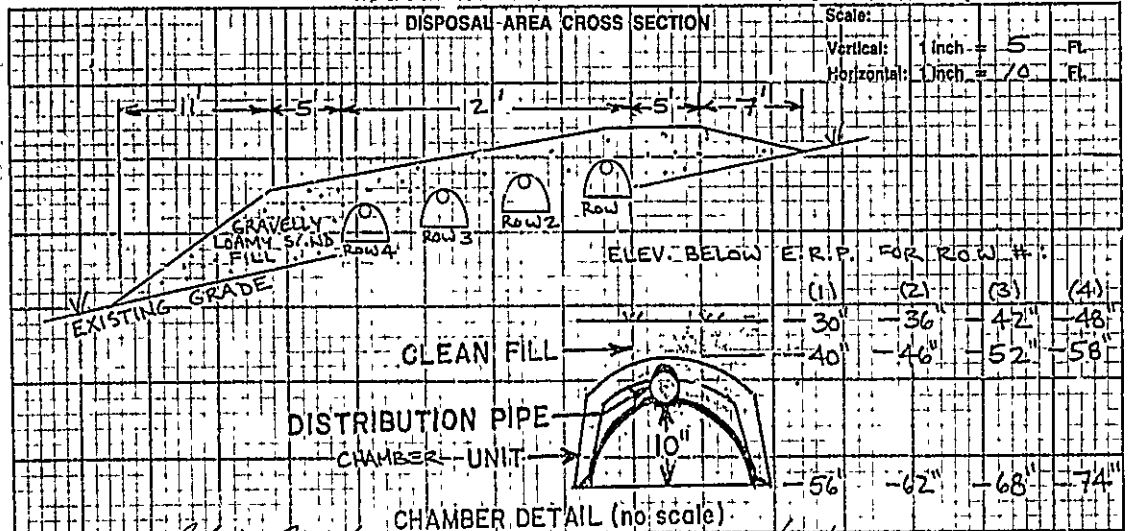
9/27/93  
 Date

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services  
Division of Health Engineering



| FILL REQUIREMENTS         |         | CONSTRUCTION ELEVATIONS               |       | ELEVATION REFERENCE POINT LOCATION & DESCRIPTION |  |
|---------------------------|---------|---------------------------------------|-------|--|--|
| Depth of Fill (Upslope)   | 20"-22" | Reference Elevation is                | 00    | NAIL IN 4" DIA. FLAGGED CHOKE                    |  |
| Depth of Fill (Downslope) | 33"-34" | Bottom of Disposal Area               | SEE   | DETAIL CHERRY TREE, 36" ABOVE                    |  |
|                           |         | Top of Distribution Lines or Chambers | BELOW | BASE OF TREE.                                    |  |

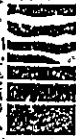


*Albert French*  
Site Evaluator Signature

163  
SE#

9/27/93  
Date





**Albert Frick Associates, Inc.**

Soil Scientists & Site Evaluators

95A County Road Corham, Maine 04038  
(207) 839-5563 FAX (207) 839-5564

Albert Frick SS, SE  
James Logan SS, SE  
Matthew Logan SE

PORTLAND (PEAKS ISLAND) ADAMS & WEICH ST. JAMES WAUSLER  
TOWN LOCATION APPLICANT'S NAME

1) The Plumbing and Subsurface Wastewater Disposal Rules adopted by the State of Maine, Department of Human Services pursuant to 22 M.R.S.A. § 42 (the "Rules") are incorporated herein by reference and made a part of this application and shall be consulted by the owner/applicant, the system installer and/or building contractor for further construction details and material specifications. The system installer should contact Albert Frick Associates, Inc. 839-5563, if there are any questions concerning material, procedures, or designs. The system installer and/or building contractor installing the system shall be solely responsible for compliance with the Rules and with all state and municipal laws and ordinances pertaining to the permitting, inspection and construction of subsurface wastewater disposal systems.

2) This application is intended to represent facts pertinent to the Rules only. It shall be the responsibility of the owner/applicant, system installer and/or building contractor to determine compliance with and to obtain permits under all applicable local, state and/or federal laws and regulations (including, without limitation, Natural Resources Protection Act, wetland regulations, zoning ordinances, subdivision regulations, Site Location of Development Act and minimum lot size laws) before installing this system or considering the property on which the system is to be installed a "buildable" lot. It is recommended that a wetland scientist be consulted regarding wetland regulations.

Prior to the commencement of construction/installation, the local plumbing inspector shall inform the owner/applicant and Albert Frick Associates, Inc. of any local ordinances which are more restrictive than the Rules in order that the design may be amended. All designs are subject to review by local, state and/or federal authorities. Albert Frick Associates, Inc.'s liability shall be limited to revisions required by regulatory agencies pursuant to laws or regulations in effect at the time of preparation of this application.

3) All information shown on this application relating to property lines, well locations, subsurface structures and underground facilities (such as, utility lines, drains, septic systems, water lines, etc.) are based solely upon information provided by the owner/applicant and has been relied upon by Albert Frick Associates, Inc. in preparing this application. The owner/applicant shall review this application prior to the start of construction and confirm this information.

4) Installation of a garbage (grinder) disposal is not recommended. If one is installed, an additional 1000 gallon septic tank should be connected in series to the proposed septic tank.

5) The system user shall avoid introducing kitchen grease or fats into this system. Chemicals such as septic tank cleaners and/or chlorine (such as from water treatment) and controlled or hazardous substances shall not be disposed of in this system.

ATTACHMENT TO SUBSURFACE WASTEWATER DISPOSAL APPLICATION

PORTLAND (PEAKS ISLAND) AMES & WELCH ST. JAMES LAUSIER  
TOWN LOCATION APPLICANT'S NAME

6) The septic tank should be pumped within two years of installation and subsequently as recommended by the pump service, but in no event should the septic tank be pumped less often than once every three years.

7) The actual water flow or number of bedrooms shall not exceed the design criteria indicated on this application without a re-evaluation of the system as proposed. If the system is supplied by public water or a private service with a water meter, the water consumption per period should be divided by the number of days to calculate the average daily water consumption (water usage (cu.ft.) x 7.48 cu.ft. (gallons per cu.ft.) ÷ # of days in period)

8) The general minimum setbacks between a well and septic system serving a single family residence is 100-300 feet, unless the local municipality has a more stringent requirement. A well installed by an abutter within the minimum setback distances prior to the issuance of a permit for the proposed disposal system may void this design.

9) When a gravity system is proposed: BEFORE CONSTRUCTION/INSTALLATION BEGINS, the system installer or building contractor shall review the elevations of all points given in this application and the elevation of the existing and/or proposed building drain and septic tank inverts for compatibility to minimum slope requirements. In gravity systems, the invert of the septic tank outlet(s) shall be at least 4 inches above the invert of the distribution box outlet at the disposal area. When an effluent pump is required, provisions shall be made to make certain that surface ground water does not enter the septic tank or pump station. An alarm device warning of a pump failure shall be installed. Also, when pumping is required to a chamber system, install a "T" connection in the distribution box and place 3 inches of stone or a splash plate in the first chamber. Insulate gravity pipes, pump lines and the distribution box as necessary to prevent freezing.

10) On all systems, remove the vegetation, organic duff and old fill material from under the disposal area and any fill extension. On sites where the proposed system is to be installed in natural soil, scarify the bottom and sides of the excavated disposal area with a rake. Do not use wheeled equipment on the scarified soil surface. For systems installed in fill, scarify the native soil by roto-tilling to a depth of at least 8 inches over the entire disposal and fill extension area to prevent glazing and to promote fill bonding. Place fill in loose layers no deeper than 8 inches and compact thoroughly before placing more fill (this ensures that voids and loose pockets are eliminated to minimize the chance of leakage). Do not use wheeled equipment on the scarified soil area until after 12 inches of fill is in place. Keep equipment off the chambers. Divert the surface water away from the disposal area by ditching or shallow swales.

11) Unless noted otherwise, fill shall be gravelly loamy sand which contains no more than 15% fines (silt and clay). Clay content shall be less than 5%.

12) Do not install system on loamy, silty, or clayey soils during wet periods since soil smearing/glazing may seal off the soil interface.

13) Seed all filled and disturbed surfaces with perennial grass seed, then mulch with hay or equivalent material to prevent erosion.



Albert Frick Associates, Inc.  
Soil Scientists & Site Evaluators