WELCH ST., PEAKS ISLAND

84-K-6

84-K-6

R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
APR 23 1973
00391
CITY of PORTLAND

Class of Building or Type of Structure _____

Portland, Maine, April 10, 1973

To the INSPECTOR OF BUILDINGS PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Welch Street, Peaks Island Within Fire Limits? _____ Dist. No. _____

Owner's name and address Douglas Norwood, same Telephone 766-3329

Lessee's name and address _____ Telephone _____

Contractor's name and address Eddie DiMillo, Island Ave., Peaks Island Telephone _____

Architect _____ Specifications _____ Plans _____ No. of sheets _____

Proposed use of building dwelling No. families _____

Last use _____ No. families _____

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost $ 1000. Fee $ 5.00

General Description of New Work

To construct an open rear porch 12' x 20' as per plan.
To build a new fireplace on right hand side of dwelling - footing 4' below grade or to ledge with 18" hearth.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

_____

_____

_____

Miscellaneous

Will work require disturbing of any tree on a public street? _____

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Douglas Norwood

CS 301

FILE COPY

Signature of owner Eugene Norwood

Welch Street, Peaks Island
(84-K-6)

April 17, 1973

cc to: Eddie DiNillo
Island Avenue
Peaks Island

Douglas Norwood
Welch Street
Peaks Island

Dear Mr. Norwood:

In checking your application to construct an open rear porch 12' x 20' as per plans submitted here at this office, we find we are unable to continue processing your permit until further information is provided.

O.K. - Mr. Norwood says he owns rear lot. 46' from rear of his house to the alley of the rear lot. O.K.

Our records show that the house on this lot is only 3' from the rear lot line. You are asking for a porch that will extend 12' from the rear of this dwelling which would seem to indicate onto land of others. It is necessary that you clarify this point before we issue this building permit.

I would call to your attention at this time the following requirements on the fireplace, that you propose.

1. The outside chimney will need a foundation that extends at least 4' below grade.

2. This chimney is to have a metal anchor to the wood-frame of the building at each floor level or at a vertical interval not exceeding 10'. In all propability you would only need one in this case.

3. The chimney shall extend at least 2' above the highest point at which it comes in contact with the roof and least as high as any roof structure within 10', measured horizontally.(Sec.901.5.1).

4. No wood or other combustible material shall be placed closer than 1" to the outside face of the masonry chimney. Where chimney has to go directly against the sheathing it shall be insulated from the masonry by asbestos board at least 1/8" thick.(Sec.901.8).Requirements for the fireplace shall meet the requirements set forth of the Building Code under Section 904.

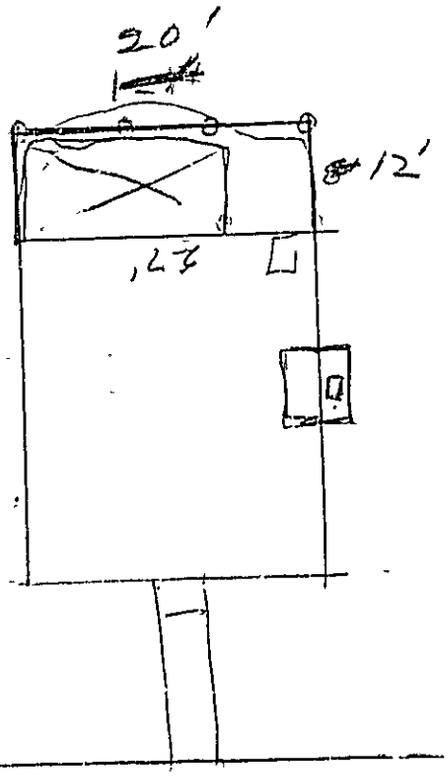
Very truly yours,

A. Allan Soule
Assistant Director

AASL;

44

6"x6" sill
2"x10' Floor Joists



RECEIVED
APR 10 1973
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

(84-K-6)

Welch St Tel 766-3329
PEAKS ISLAND

R3 RESIDENCE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
APR 23 1973
00391
CITY of PORTLAND

Class of Building or Type of Structure _____

Portland, Maine, April 10, 1973

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Welch Street, Peaks Island Within Fire Limits? _____ Dist. No. _____

Owner's name and address Douglas Norwood, same Telephone 766-3329

Lessee's name and address _____ Telephone _____

Contractor's name and address Eddie DiMillo, Island Ave., Peaks Island Telephone _____

Architect _____ Specifications _____ Plans _____ No. of sheets _____

Proposed use of building dwelling No. families _____

Last use " No. families _____

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated cost $ 1000. Fee $ 5.00

General Description of New Work

To construct an open rear porch 12' x 20' as per plan.
To build a new fireplace on right hand side of dwelling - footing 4' below grade or to ledge with 18" hearth.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate _____ Height average grade to highest point of roof _____

Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____

Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:
OK - 4/18/73 - Allen w/ltr

Miscellaneous

Will work require disturbing of any tree on a public street? _____

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Douglas Norwood

CS 301

INSPECTION COPY *Signature of owner* Douglas Norwood

Permit No. 73/391

Location Welch St, P.S.

Owner Douglas Norwood

Date of permit 4/23/73

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NELSON

NOTES

5-28-73
Porch on
Material on job
For fireplace
Some question on
side lot line to
Norton Hall
GR

8-10-73 Based for
Fireplace wall
opened.
GR

Granted 10/31
58/129

DATE: Oct. 31, 1958

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF BEATRICE G. MURRAY

AT WELCH ST., P.I., ASSESSORS' LOT 84-K-6

Public Hearing on the above appeal was held before the Board of Appeals.

BOARD OF APPEALS

	VOTE	
	Yes	No
Franklin G. Hinckley	(✓)	( )
Joseph T. Gough	(✓)	( )
~~Harry W. Shwartz~~	(✓)	( )
Ralph L. Young		( )

Record of Hearing:

No opposition

CITY OF PORTLAND, MAINE
BOARD OF APPEALS

October 23, 1958

MISCELLANEOUS APPEAL

84-K-6

Beatrice G. Murray, owner of property at Welch St., P.I., Assessors' Lot No. 1, hereby respectfully petitions the Board of Appeals to permit construction of a one story addition 9 feet by 12 feet in rear jog of dwelling. This permit is not issuable because the rear wall of the addition, while a continuation of the existing building, will be only about 3 feet from the rear lot line instead of the minimum rear yard distance of 25 feet specified by Section 4-B-1 of the Zoning Ordinance applying to the R-3 Residence Zone in which the property is located.

LEGAL BASIS OF APPEAL:

Such permit may be granted if the Board of Appeals finds that enforcement of the terms of the Ordinance would involve practical difficulty or unnecessary hardship and desirable relief may be granted without substantially departing from the intent andpurpose of the Ordinance.

Beatrice G. Murray
APPELLANT

DECISION

After public hearing held October 31, 1958, the Board of Appeals finds that enforcement of the terms of the Ordinance would involve practical difficulty or unnecessary hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

It is therefore, determined that such permit should be issued.

BOARD OF APPEALS

CITY OF PORTLAND, MAINE
BOARD OF APPEALS

October 28, 1958

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Friday, October 31, 1958, at 4:00 p.m. to hear the appeal of Beatrice G. Murray requesting an exception to the Zoning Ordinance to permit construction of a one story addition 9 feet by 12 feet in rear jog of dwelling on Welch Street, Peaks Island, Assessors' Lot No. 84-K-6.

This permit is not issuable because the rear wall of the addition, while a continuation of the existing building, will be only about 3 feet from the rear lot line instead of the minimum rear yard distance of 23 feet specified by Section 4-B-1 of the Zoning Ordinance applying to the R-3 Residence Zone in which the property is located.

All persons interested either for or against this appeal will be heard at the above time and place.

BOARD OF APPEALS

Franklin G. Hinckley

Chairman

Copies to: Walter S. Winfield, Brackett Avenue, P.I.

Evelyn F. Sterling - 74 Meridan St., Melrose, Mass.

CITY OF PORTLAND, MAINE
BOARD OF APPEALS

October 28, 1958

Mrs. Beatrice C. Murray
Welch Street
Peaks Island, Maine

Dear Mrs. Murray:

The Board of Appeals will hold a public hearing on Friday, October 31, 1958, at 4:00 p.m. in the Council Chamber of the City Hall, Portland, Maine, to hear your appeal under the Zoning Ordinance.

Please be present or be represented at this hearing in support of this appeal.

BOARD OF APPEALS

Franklin J. Hinckley

Chairman

S

cc: Mr. Roland S. Moar
Peaks Island, Maine

WARREN McDONALD
INSPECTOR OF BUILDINGS

ALBERT J. SEARS
DEPUTY INSPECTOR OF BUILDINGS

CITY OF PORTLAND, MAINE

Department of Building Inspection

October 22, 1958

P-Welch Street, Peaks Island, Assessors' Lot No. 84-E-6

Mrs. Beatrice G. Murray
Welch Street
Peaks Island, Maine
Mr. Roland S. Hoar
Peaks Island, Maine

cc to: Corporation Counsel

Dear Madam & Sir:

We are unable to issue a permit for construction of a one story addition 9 feet by 12 feet in rear jog of dwelling at the above named location because the rear wall of the addition, while a continuation of the existing building, will be only about 3 feet from the rear lot line instead of the minimum rear yard distance of 25 feet specified by Section 4-B-1 of the Zoning Ordinance applying to the R-3 Residence Zone in which the property is located.

While this discrepancy is appealable, we are unable to tell in advance what action the Board of Appeals might take on such an appeal. If the owner is interested in exercising her appeal rights, we suggest that you consult the Corporation Counsel at Room 209, City Hall, at whose office appeals are filed.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/jg

November 3, 1958

A.P- Welch Street, Peaks Island, Assessors Lot No.84-K-6

Mr. Roland S. Hoar
Peaks Island, Maine

Dear Mr. Hoar:

Appeal under the Zoning Ordinance having been sustained, building permit for construction of a one story addition 9 feet by 12 feet in rear jog of dwelling at the above named location is issued herewith subject to the following conditions:

1. The straight 8-inch foundation wall is required to have a footing at least 8-inches deep and 10 inches wide.

2. Sills are required to be not less than 4x[illegible] and anchored to the foundation walls, but may be set on edge if desired.

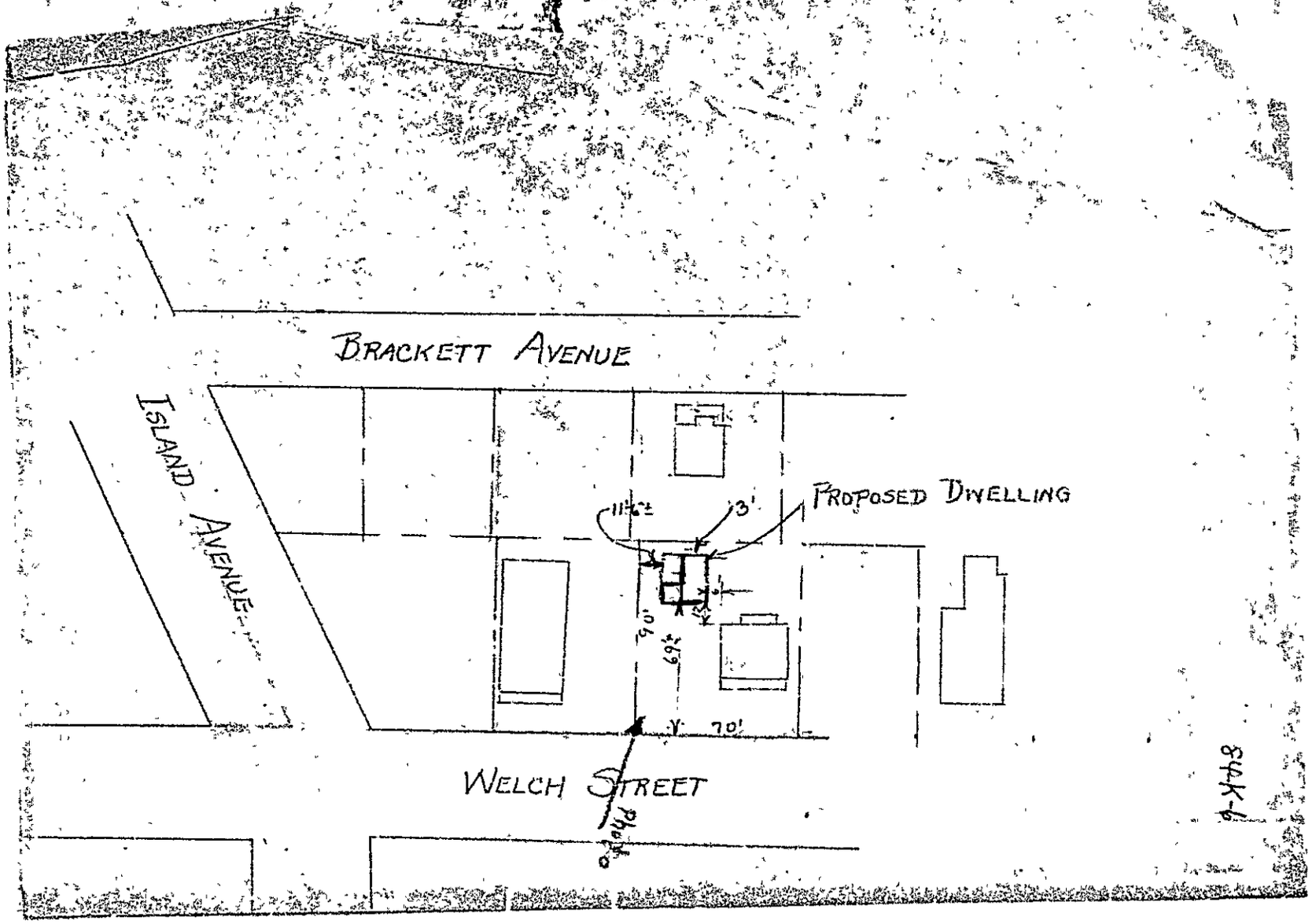
3. Not less than 1x3 cross bridging is to be provided at center of span of roof joists.

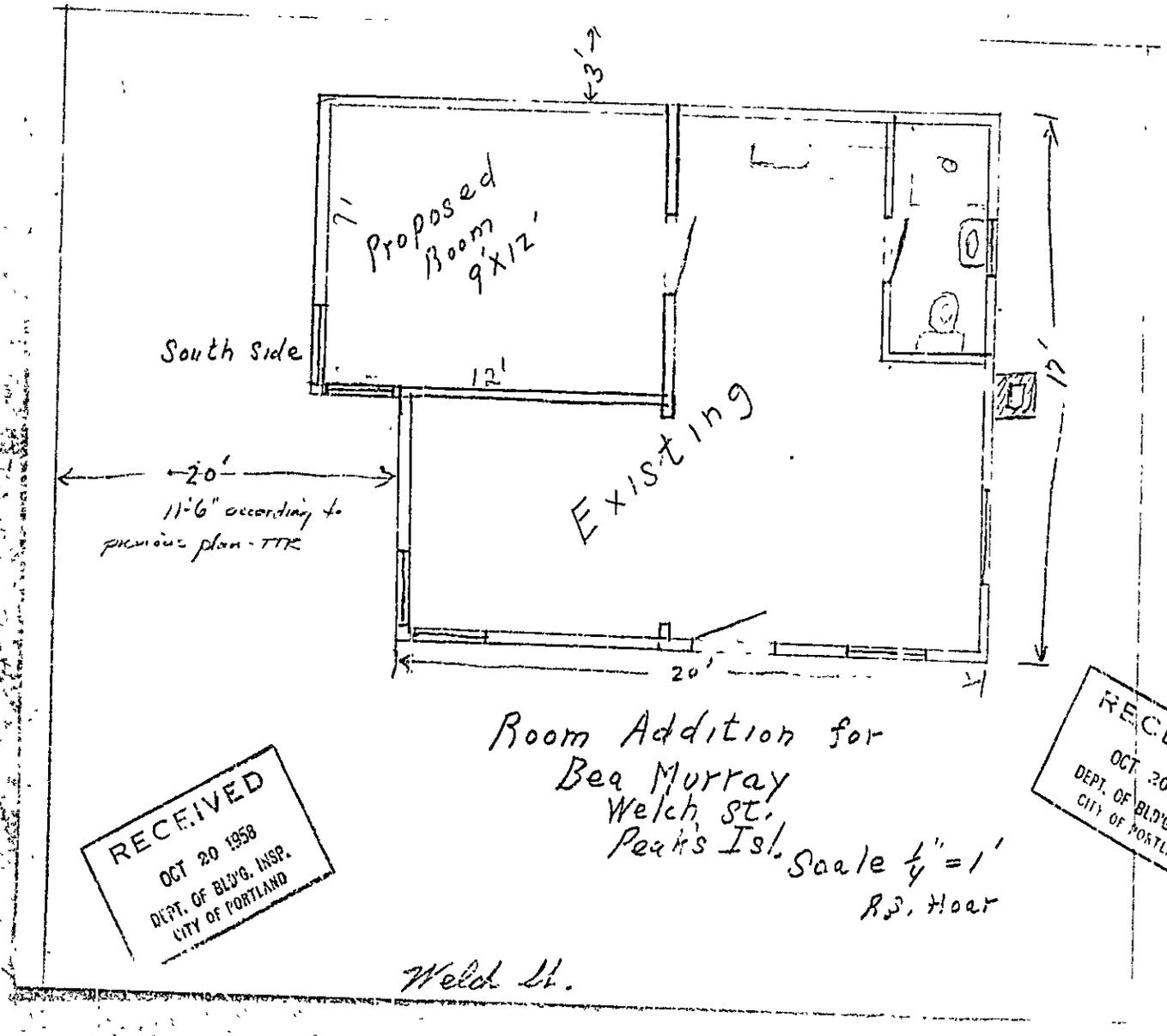
4. Notification is to be given this office for the usual "closing-in" inspection.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS:m

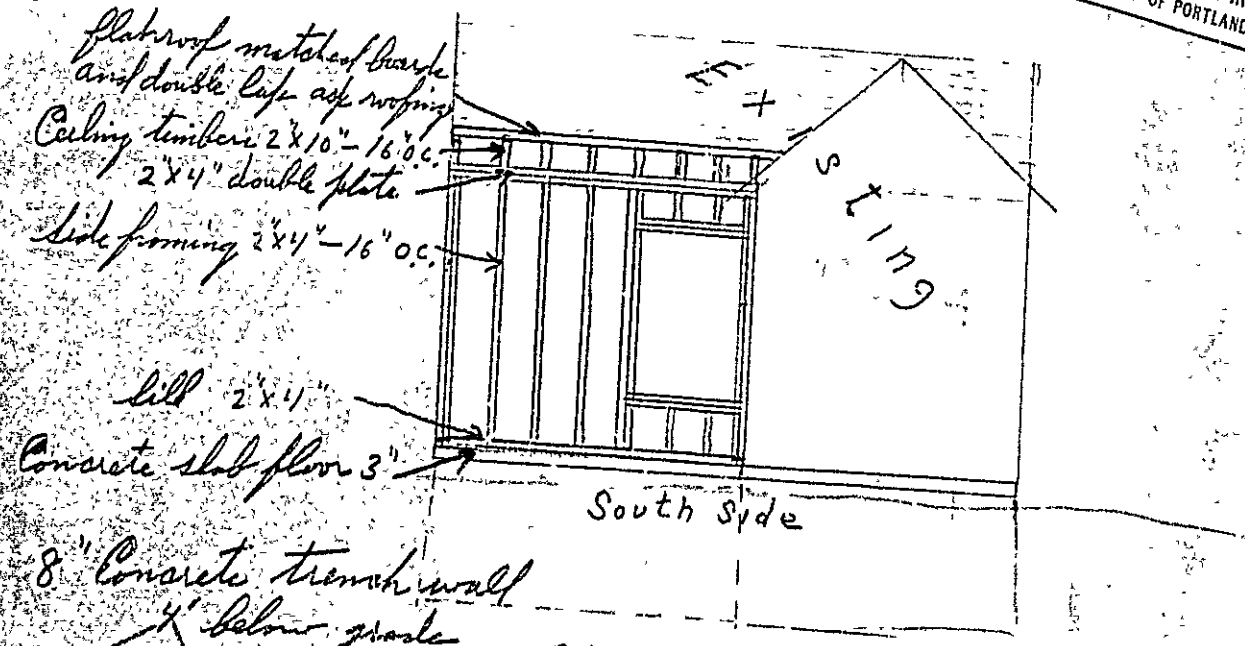

BRACKETT AVENUE
ISLAND AVENUE
PROPOSED DWELLING
11½±
3'
90'
69½
70'
WELCH STREET
84K-6



Room Addition for
Bea Murray
Welch St.
Peak's Isl. Scale ¼" = 1'
R.S. Hoar

Welch St.

RECEIVED
OCT 20 1958
DEPT. OF BLDG. INSP.
CITY OF PORTLAND



Room Addition for
Bea Murray
Welch St.
Peaks Isl.

Scale ¼" = 1'
R.S. Hoar

October 22, 1958

AP-Welch Street, Peaks Island, Assessors' Lot No. 84-E-6

Mrs. Beatrice G. Murray
Welch Street
Peaks Island, Maine
Mr. Roland S. Hear
Peaks Island, Maine

cc to: Corporation Counsel

Dear Madam & Sir:

We are unable to issue a permit for construction of a one story addition 9 feet by 12 feet in rear jog of dwelling at the above named location because the rear wall of the addition, while a continuation of the existing building, will be only about 3 feet from the rear lot line instead of the minimum rear yard distance of 25 feet specified by Section 4-B-1 of the Zoning Ordinance applying to the R-3 Residence Zone in which the property is located.

While this discrepancy is appealable, we are unable to tell in advance what action the Board of Appeals might take on such an appeal. If the owner is interested in exercising her appeal rights, we suggest that you consult the Corporation Counsel at Room 209, City Hall, at whose office appeals are filed.

Very truly yours,

AJS/jg

Warren McDonald
Inspector of Buildings

R3 RESIDENCE

APPLICATION FOR PERMIT

PERMIT ISSUED
NOV 3 1958
01578
CITY of PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, October 20, 1958

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Welch St., Peaks Island Within Fire Limits? Dist. No.

Owner's name and address Bea Murray, Welch St., Peaks Island Telephone

Lessee's name and address Telephone

Contractor's name and address Roland Hoar, Peaks Island Telephone

Architect Specifications Plans yes No. of sheets 2

Proposed use of building Dwelling No. families 1

Last use " No. families 1

Material frame No. stories 1 Heat Style of roof pitch Roofing asphalt

Other buildings on same lot dwelling

Estimated cost $ 700. Fee $ 4.00

General Description of New Work

To construct 1-story frame addition 9'x12' in jog rear of building.

Appeal sustained 10/31/58

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** Roland Hoar

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate 9' Height average grade to highest point of roof

Size, front depth No. stories 1 solid or filled land? solid earth or rock? earth

Material of foundation concrete at least 4' below grade Thickness, top 8" bottom 8" cellar no

Material of underpinning Height Thickness

Kind of roof flat Rise per foot Roof covering asphalt Class C Und. Lab.

No. of chimneys none Material of chimneys of lining Kind of heat fuel

Framing Lumber--Kind hemlock Dressed or full size? dressed Corner posts 3-2x4 Sills 2x4 see memo

Size Girder Columns under girders Size Max. on centers

Kind and thickness of outside sheathing of exterior walls?

Studding (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor concrete, 2nd, 3rd, roof 2x10

1st floor, 2nd, 3rd, roof 16"

Girders: 1st floor, 2nd, 3rd, roof 12'

If building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:
with letter by AJS

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes Bea Murray

Signature of owner By: Roland S. Hoar

COPY

Permit No. 581/1578

Location

Owner

Date of permit

Notif. closing-in

Inspn. Closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out, Notice

Form Check, Notice

NOTES

1/2/58 - Mr. Hoar came into office and I went out. Left with him. Gave him permission to close in yesterday morning who was not approved.

City of Portland, Maine
Board of Appeals
—ZONING—

Sustained 5/12/50

50/41

May 8, 19 50

To the Board of Appeals:

Your appellant, Mrs. Beatrice Murrey, who is the owner of property at Welch Street, Peaks Island, respectfully petitions the Board of Appeals of the City of Portland to permit an exception to the regulations of the Zoning Ordinance relating to this property, as provided by Section 18, Paragraph E of said Zoning Ordinance.

Building permit to cover change of use of private garage to a dwelling house, and to cover construction of one-story addition 8'6" square is not issuable under the Zoning Ordinance because rear wall of the addition would be about 11'6" from the rear property line instead of the 22'6" required by Section 8, Paragraph B of the Ordinance, and because an open space extending the full width of the lot between the front of proposed dwelling and the rear wall of existing dwelling on front of the lot would be only 12' deep instead of the 25' required.

The facts and conditions which make this exception legally permissible are as follows:

An exception is necessary in this case to grant reasonable use of property and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

Roland A. Hoar
Appellant

After public hearing held on the 12th day of May, 19 50 the Board of Appeals finds that an exception is necessary in this case to grant reasonable use of property and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

It is, therefore, determined that exception to the Zoning Ordinance may be permitted in this specific case.

Edward V. Reilly
John W. Lake
Helen C. Swett
W. Holt

Gerald A. Cole
BOARD OF APPEALS

DATE: May 12, 1950

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF MRS. BEATRICE MURRAY

AT WELCH STREET, PEAKS ISLAND

Public hearing on above appeal was held before the Board of Appeals.

Board of Appeals	VOTE		Municipal Officers
	Yes	No	
Mr. Colley	(x)	( )	
Mr. Lake	(x)	( )	
Mrs. Frost	(x)	( )	
Dr. Holt	(x)	( )	
Gerald A. Collex		( )	
	( )	( )	
	( )	( )	
	( )	( )	
	( )	( )	

Record of Hearing:

Roland Hoar for Mrs. Murray

Mr. Winfieldm abuttor

George Robbins, interested

M CITY OF PORTLAND, MAINE

BOARD OF APPEALS

May 9, 1950

Mrs. Agnes Winfield
Brackett Avenue
Peaks Island, Maine

Dear Mrs. Winfield:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, May 12, 1950 at 10:30 a. m. to further consider the appeal of Mrs. Beatrice Murray requesting exception to the Zoning Ordinance to permit change of use of garage on the premises on Welch Street, Peaks Islsnd, to a dwelling house. This appeal is again being considered in the light of change in the application.

Very truly yours,

Howard T. Colley

Chairman

M

CITY OF PORTLAND, MAINE

BOARD OF APPEALS

May 9, 1950

Mrs. Beatrice Murray
Welch Street
Peaks Island, Maine

Dear Mrs. Murray:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, May 12, 1950 at 10:30 a. m. to hear your appeal under the Zoning Ordinance.

Please be present or be represented at this hearing in support of your appeal.

Very truly yours,

Edward T.Colley

Chairman

M

WARREN McDONALD
INSPECTOR OF BUILDINGS

On reply refer to file AP Welch St., Peaks Isl. (Assessors lot No. 84-X-6)

FU

CITY OF PORTLAND, MAINE

Department of Building Inspection

May 8, 1950

Mrs. Beatrice Murray
c/o Roland Hoar
Island Avenue
Peaks Island, Maine

Copy to Mr. Hoar for Mrs. Murray

COPY

Dear Mrs. Murray:

The building permit to cover change of use of the private garage which you own on Welch Street, Peaks Island (Assessors Lot No. 84-X-6) to a dwelling house, and to cover construction of one story addition 8'6" square, is not issuable under the Zoning Ordinance because the rear wall of the addition would be about 11'6" from the rear property line instead of the 22'6" required by Section 8, Paragraph B of the Ordinance, and because an open space extending the full width of the lot between the front of the proposed dwelling and the rear wall of the existing dwelling on the front of the lot would be only 12' deep instead of the 25' required by Sections 8E and 8D of the Ordinance--both sections applying to the Apartment House Zone where the property is located.

This application differs from the application filed on April 10th, upon which your zoning appeal was denied, in that the former proposed addition was to be located so that its rear wall would line up with the rear wall of the existing garage only three feet from the rear property line, while the present proposal is to construct the addition with its front wall lining up with the front wall of the existing garage and its rear wall 11'6" from the rear property line.

You have also told me that you thought the Board of Appeals was under misapprehension as to the size of the lot; that the lot, while 90' deep has an area of 6300 square feet, which would be 300 square feet more than enough to meet the needs for two families even if the lot were located in the higher type of Residence C Zone.

You have again indicated your desire to seek an exception from the Board of Appeals, based on this change in plans and additional information which you feel are pertinent to the question at issue. There is enclosed, therefore, an outline of the appeal procedure.

Very truly yours,

WMcD/H
Enc. Outline of appeal procedure

Inspector of Buildings

City of Portland, Maine
Board of Appeals
—ZONING—

Denied 11/28/50

50/30

To the Board of Appeals:

84-K-6

April 18, 19 50

Your appellant, Mrs. Beatrice G. Murray, who is the owner of property at Welch Street, Peaks Island, respectfully petitions the Board of Appeals of the City of Portland to permit an exception to the regulations of the Zoning Ordinance relating to this property, as provided by Section 18, Paragraph E of said Zoning Ordinance.

Permit for construction of an addition to an existing garage on the property on Welch Street (Assessors' Lot No. 84-K-6) and conversion of the building to living quarters is not issuable because there is only three feet between the building and the rear line of the lot, whereas a distance of at least twenty feet is required, and because there is an open space of only twelve feet extending the full width of the lot between the front of the garage building and the rear of the existing dwelling on the lot whereas an open space of at least twenty-five feet (5' front yard for rear building and 20' rear yard for front building) is required.

The facts and conditions which make this exception legally permissible are as follows:

An exception is necessary in this case to grant reasonable use of property and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

Mrs. Beatrice G. Murray
By Roland S. Moar
Appellant

After public hearing held on the 28th day of April, 19 50, the Board of Appeals finds that an exception ~~is~~ cannot be granted in this case.

Since an exception to the Zoning Ordinance must be unanimous, this appeal must be denied.

~~Wherefore be determined that exception to the Zoning Ordinance may be granted in this instance~~

Edward J. Colley
Chairman, Board of Appeals

BOARD OF APPEALS

DATE: April 28, 1950

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF MRS. BEATRICE MURRAY AT WELCH STREET, PEAKS ISLAND

Public hearing on above appeal was held before the Board of Appeals today.

Board of Appeals	VOTE Yes	VOTE No	Municipal Officers
Mr. Colley	(x)	( )	
Mr. Lake	(x)	( )	
Mr. Cole	( )	(x)	
Mrs. Frost	( )	(x)	
Dr. Holt	(x)	( )	
	( )	( )	
	( )	( )	
	( )	( )	
	( )	( )	

Record of hearing:

Roland Hoar for Mrs. Murray

Opposed-Walter S. Winfield (objected to present location of building)

CITY OF PORTLAND, MAINE

BOARD OF APPEALS

April 24, 1950

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, April 28, 1950 at 10:30 a. m. to hear the appeal of Mrs. Beatrice G. Murrey requesting exception to the Zoning Ordinance to permit construction of an addition to an existing garage on the property on Welch Street, Peaks Island and to make there living quarters.

This permit is presently not issuable because there is only three feet between the building and the rear line of the lot, whereas a distance of at least twenty feet is required, and because there is an open space of only twelve feet extending the full width of the lot between the front of the garage building and the rear of the existing dwelling on the lot whereas an open space of at least twenty-five feet is required.

If you wish to be heard either for or against this appeal, please be present or be represented at this hearing.

Very truly yours,

Edward T. Colley

Chairman

M

Agnes M. Winfield
Brackett Avenue
Peaks Island, Maine

Evelyn F. Sterling
74 Meridan Street
Melrose, Massachusetts

WARREN McDONALD
INSPECTOR OF BUILDINGS
7/16
On reply refer
to file
FU

CITY OF PORTLAND, MAINE

Department of Building Inspection
April 17, 1950

Mrs. Beatrice G. Murray,
Welch Street
Peaks Island, Maine
Mr. Roland S. Hoar,
Island Ave.,
Peaks Island, Maine

COPY

Dear Madam & Sir:

We are unable to issue a permit for construction of an addition to an existing garage on Mrs. Murray's property on Welch Street (Assessors' Lot No. 84-K-6) and conversion of the building to living quarters because there is only three feet between the building and the rear line of the lot, whereas a distance of at least twenty feet is required in the Apartment House Zone where the property is located, and because there is an open space of only twelve feet extending the full width of the lot between the front of the garage building and the rear of the existing dwelling on the lot whereas an open space of at least twenty-five feet (5' front yard for rear building and 20' rear yard for front building) is required by the Zoning Ordinance.

Mr. Hoar has stated that Mrs. Murray desires to exercise her appeal rights concerning this matter and accordingly we are enclosing to each of you an outline of the appeal procedure and are certifying the case to the Assistant Corporation Counsel, who acts as clerk for the Board of Appeals. In order for the appeal to be considered by the Board at the next public hearing, it should be filed at as early a date as possible after the receipt of this letter.

Very truly yours,

Warren McDonald
Inspector of Buildings

/JS/H
CC: Mark Barrett
Asst. Corporation Counsel
Enc. Appeal procedure

(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
MAY 20 1950 00722
CITY of PORTLAND

Class of Building or Type of Structure Third Class

Portland, Maine, April 10, 1950 Revised plans 5/9/50

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Welch Street, Peaks Island (84-K-6) Within Fire Limits? no Dist. No.

Owner's name and address Beatrice Murray, Welch Street, Peaks Island (former owner, Fred Harrington) Telephone

Lessee's name and address Telephone

Contractor's name and address Roland S. Hoar, Island Avenue, Peaks Island Telephone

Architect Specifications Plans yes No. of sheets 1

Proposed use of building Dwelling house No. families 1

Last use Garage No families

Material wood No. stories 1 Heat Style of roof Roofing

Other buildings on same lot 1-family dwelling house

Estimated cost $150. Fee $ 2.00

General Description of New Work

To change 1-car garage to 1-family dwelling house and construct 1-story addition on side of dwelling 8' 6" x 8' 6".
To cut in door between existing building and new addition.
To replace existing garage door with windows.
To change window to door on side of building.
Existing framing of garage Trench wall, 8" top, 10" bottom, 4x6 sills, 2x4 studs, 22" on centers, 4x4 corner posts, 2-2x4 plate, concrete floor, 2x4 rafters, 24" on centers 11' span.

Lot 70 x 90 = 6300 sq ft

Permit Issued with Letter

Appeal sustained 5/12/50

Appeal filed 4/28/50

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. ***PERMIT TO BE ISSUED TO*** Roland S. Hoar

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes

Height average grade to top of plate 8' Height average grade to highest point of roof 11'

Size, front depth No. stories 1 solid or filled land? solid earth or rock? earth

Material of foundation concrete wall at least 4' below grade Thickness, top bottom 10" cellar no

Material of underpinning " to sill Height Thickness

Kind of roof Pitch-gable Rise per foot 6" Roof covering Asphalt Class C Und Lab

No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat stove fuel

Framing lumber—Kind hemlock Dressed or full size? dressed

Corner posts 4x6 Sills 6x6 Girt or ledger board? Size

Girders none Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters:	1st floor 2x6,	2nd ceiling 2x4,	3rd	roof 2x4
On centers:	1st floor 16",	2nd 16",	3rd	roof 24"
Maximum span:	1st floor 8' 6",	2nd	3rd	roof 4' 3"

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public stre

Will there be in charge of the above work a person

see that the State and City requirements pertai

observed? yes

Beatrice Murray

Signature of owner by: Roland S. Hoar

COPY

Permit No. 50/723

Location [illegible]

Owner [illegible]

Date of permit 5-20-50

Notif. closing-in 7-5-50, 8-30

Inspn. closing-in 8-5-50, 8-7-50

Final Notif.

Final Inspn. [illegible]

Cert. of Occupancy issued

NOTES

6/1/50 - Mr. Wm. [illegible] owner in permit[illegible] addition was to be 6'-8' approx. Should Mr. Wm. [illegible] feel that addition had always been final[illegible] 8'-6" approx and the permit was issued as a living unit.

1-22-53 Permit was entitled a recreational. Certificate not issued because of lack of [illegible]

INSPECTOR

APPROVED

AP-Welch Street, Peaks Island-I
(Assessors Lot No. 34-K-6)

May 20, 1950

Mr. Roland S. Hoar
Island Avenue
Peaks Island, Maine

Copy to:
Mrs. Beatrice G. Murray, Welch Street, Peaks Island

Dear Mr. Hoar:

The appeal under the Zoning Ordinance having been sustained, the permit for building an 8' 6" by 8' 6" addition on the westerly side in line with the front wall of the existing garage owned by Mrs. Beatrice Murray on Welch Street, Peaks Island and changing the use to dwelling house purposes is issued herewith subject to the following:

1. It is understood that additional studs are to be provided in the walls of the existing building to provide a maximum spacing of 16" on centers and that all door and window openings will be framed to comply with Building Code requirements for dwelling houses.

2. The foundation of the new outside chimney is required to extend at least 4' below grade. The wall of the chimney is required to be kept at least one inch away from all woodwork of the building. Where the smokepipe connection occurs, the brickwork of the chimney is required to extend through the wall of the building to the inside face of the wall covering.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G

AP Welch St., Peaks Isl.
(Assessors Lot No. 84-K-6)

May 8, 1950

Mrs. Beatrice Murray
c/o Roland Hoar
Island Avenue
Peaks Island, Maine

Copy to Mr. Hoar for Mrs. Murray

Dear Mrs. Murray:

The building permit to cover change of use of the private garage which you own on Welch Street, Peaks Island (Assessors Lot No. 84-K-6) to a dwelling house, and to cover construction of one story addition 8'6" square, is not issuable under the Zoning Ordinance because the rear wall of the addition would be about 11'6" from the rear property line instead of the 22'6" required by Section 8, Paragraph B of the Ordinance, and because an open space extending the full width of the lot between the front of the proposed dwelling and the rear wall of the existing dwelling on the front of the lot would be only 12' instead of the 25' required by Sections 8B and 8D of the Ordinance—both sections applying to the Apartment House Zone where the property is located.

This application differs from the application filed on April 10th upon which your Zoning Appeal was denied in that the former proposed addition was to be located so that its rear wall would line up with the rear wall of the existing garage only three feet from the rear property line, while the present proposal is to construct the addition with its front wall lining up with the front wall of the existing garage and its rear wall 11'6" from the rear property line.

You have also told me that you thought the Board of Appeals was under misapprehension as to the size of the lot; that the lot, while 90' deep has an area of 6300 square feet, which would be 300 square feet more than enough to meet the needs for two families even if the lot were located in the higher type of Residence C Zone.

You have again indicated your desire to seek an exception from the Board of Appeals, based on this change in plans and additional information which you feel are pertinent to the question at issue. There is enclosed, therefore, an outline of the appeal procedure.

Very truly yours,

Inspector of Buildings

WEcD/H
Enc. Outline of appeal procedure

AP Welch St. Dec.
(Assessors Lot No. 84-K-6)

April 17, 1950

Mrs. Beatrice G. Murray,
Welch Street
Peaks Island, Maine
Mr. Roland S. Hoar,
Island Ave.,
Peaks Island, Maine

Dear Madam & Sir:

We are unable to issue a permit for construction of an addition to an existing garage on Mrs. Murray's property on Welch Street (Assessors' Lot No. 84-K-6) and conversion of the building to living quarters because there is only three feet between the building and the rear line of the lot, whereas a distance of at least twenty feet is required in the Apartment House Zone where the property is located, and because there is an open space of only twelve feet extending the full width of the lot between the front of the garage building and the rear of the existing dwelling on the lot whereas an open space of at least twenty-five feet (5' front yard for rear building and 20' rear yard for front building) is required by the Zoning Ordinance.

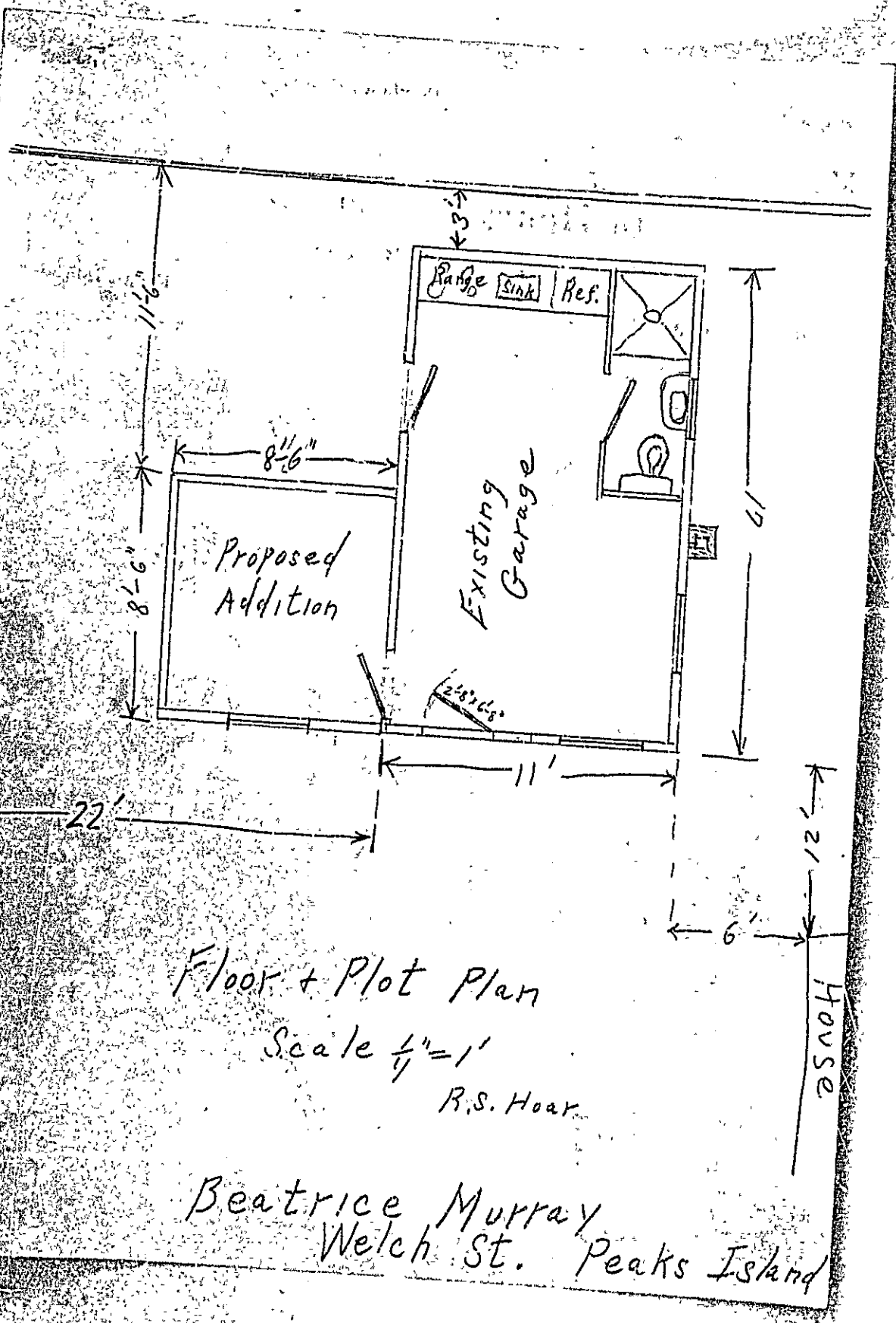
Mr. Hoar has stated that Mrs. Murray desires to exercise her appeal rights concerning this matter and accordingly we are enclosing to each of you an outline of the appeal procedure and are certifying the case to the Assistant Corporation Counsel, who acts as clerk for the Board of Appeals. In order for the appeal to be considered by the Board at the next public hearing, it should be filed at as early a date as possible after the receipt of this letter.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/H
CC: Mark Barrett
Asst. Corporation Counsel

Enc. Appeal procedure

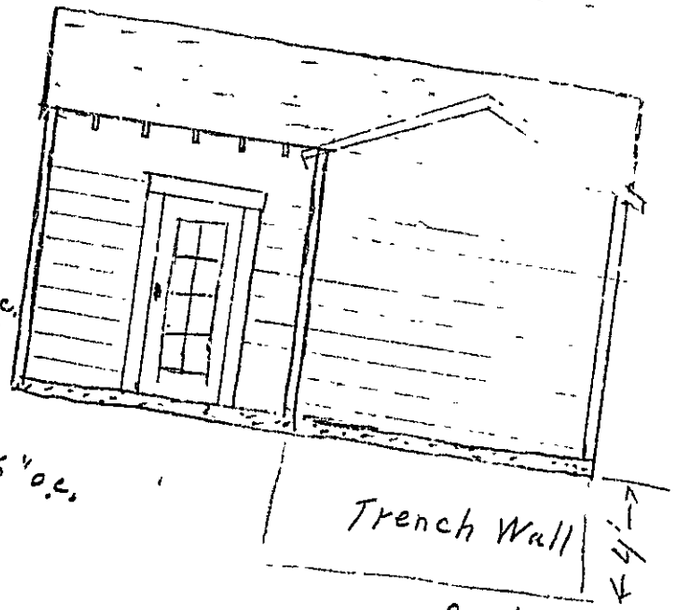


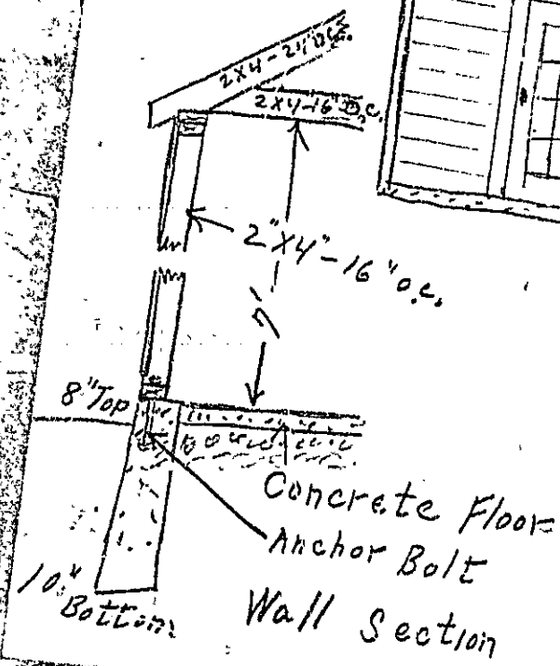
Floor + Plot Plan

Scale 1/4" = 1'

R.S. Hoar

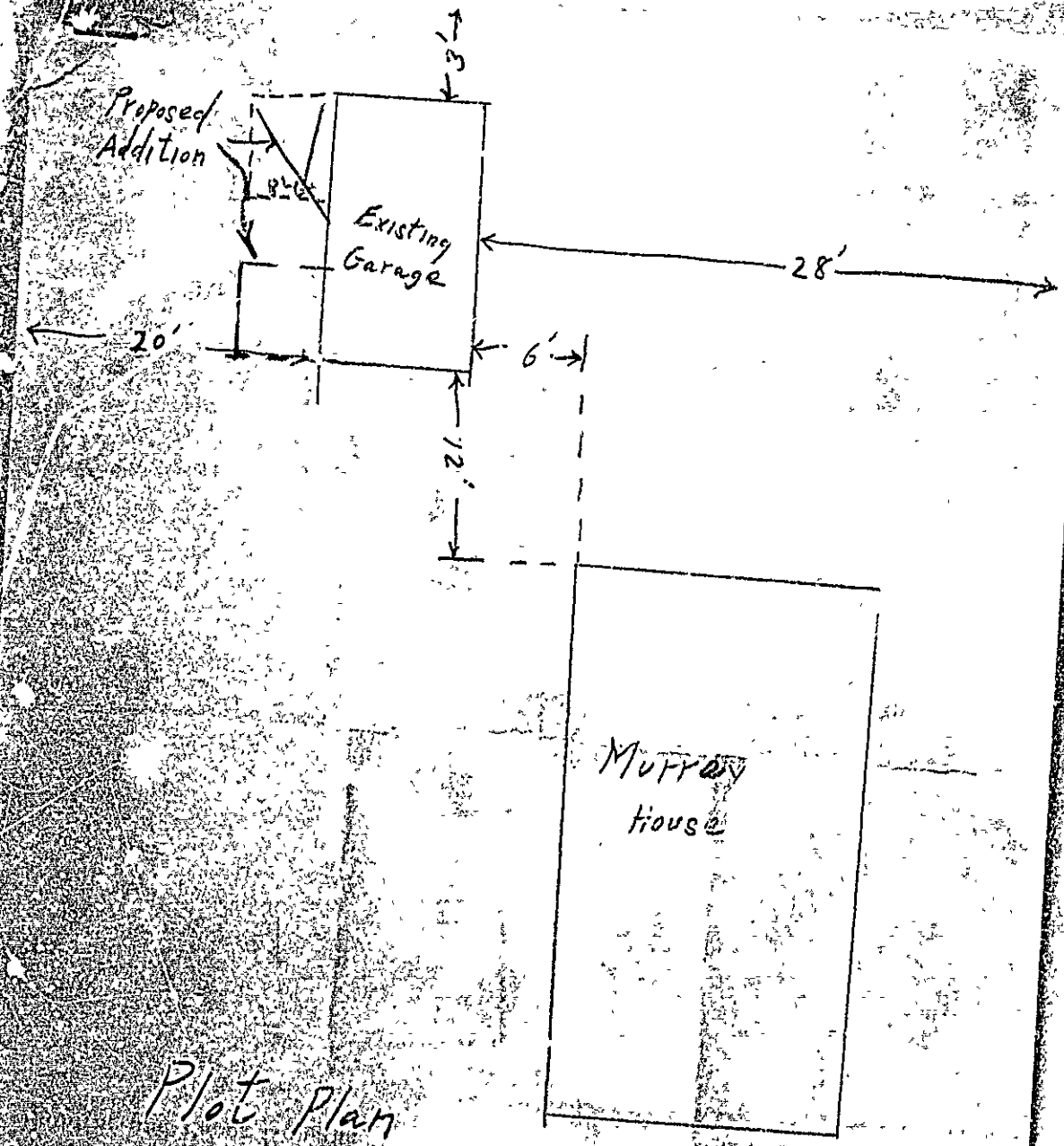
Beatrice Murray
Welch St. Peaks Island





Wall Section

Beatrice Murray
Welch St.
Peaks Island

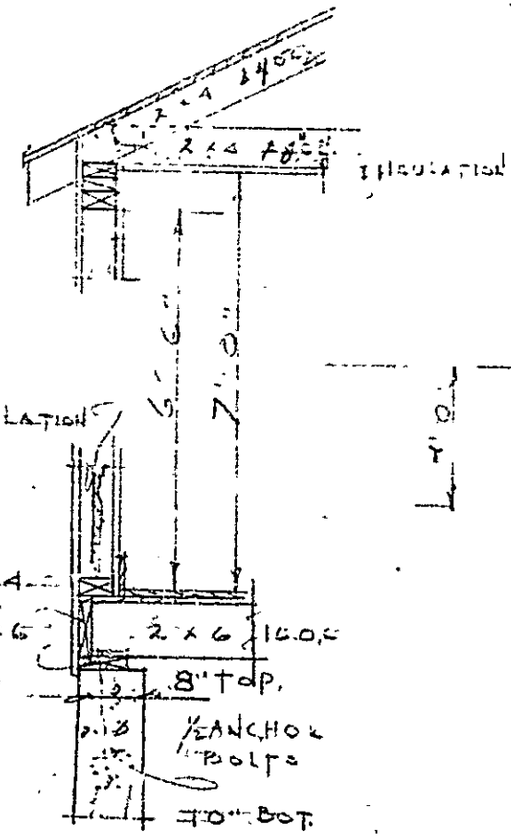


Plot Plan

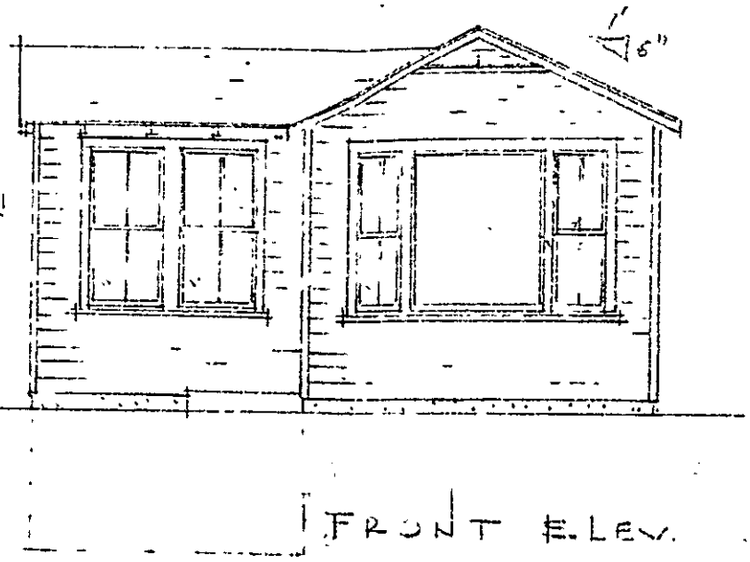
Murray Job at Welch St.

Peaks Island

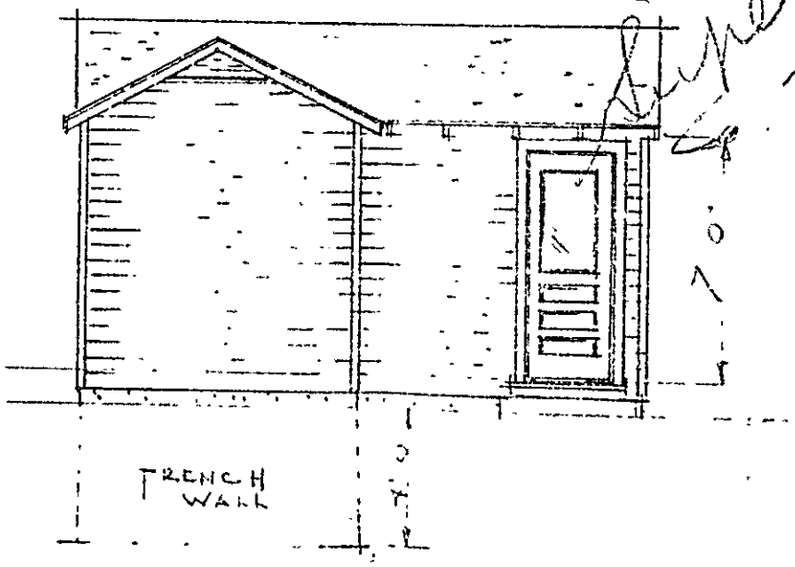
Roland L. Han



TYPICAL WALL SECTION
SCALE 3/4" = 1' 0"



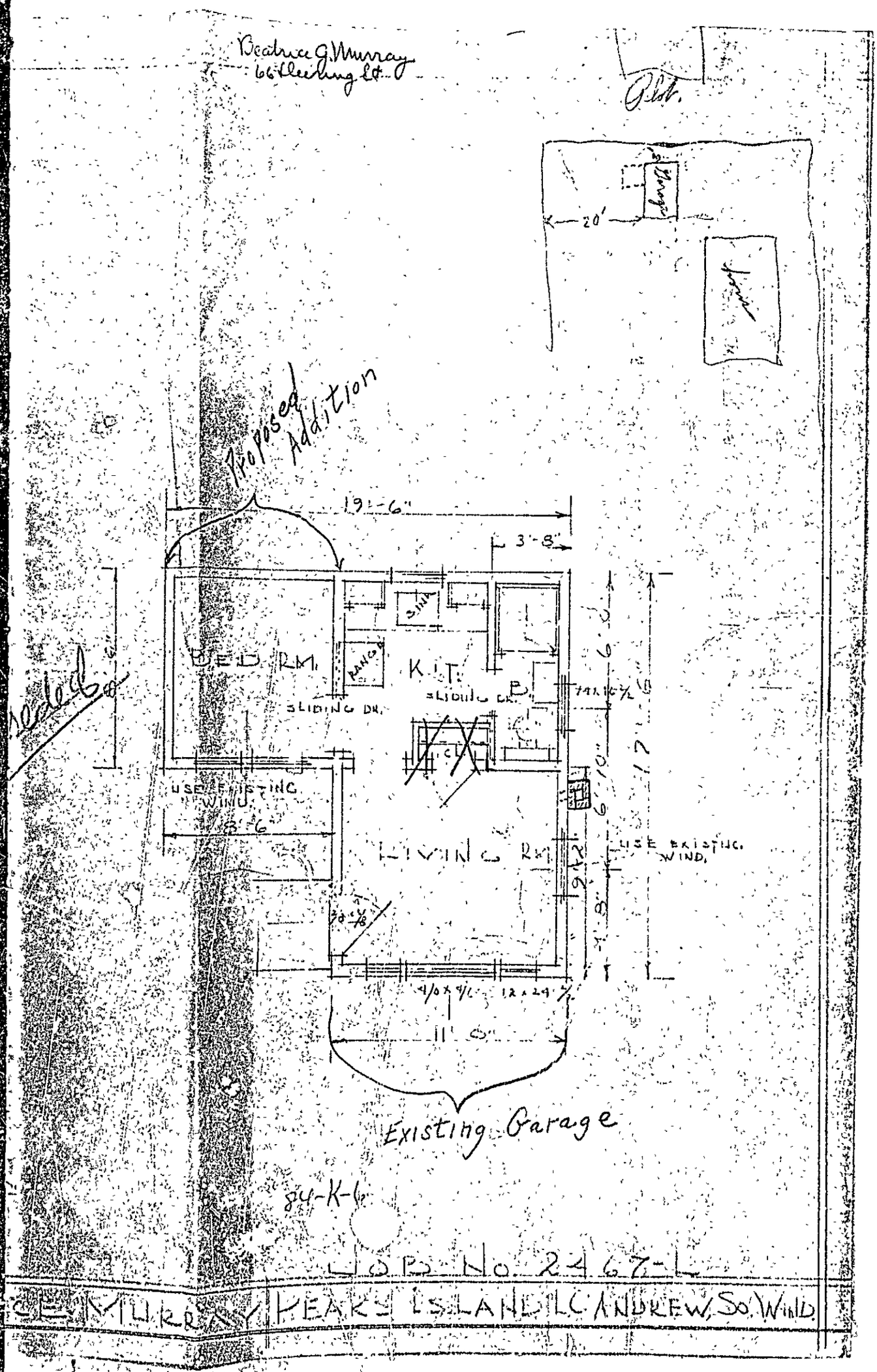
FRONT ELEV.



LEFT ELEV.
SCALE 1/4" = 1'-0"

PROPOSEL ALTERATIONS FOR. BEATRICE

Beatrice G. Murray
66 Keeling St.



84-K-6

LOP No 2467-L

CEM MURRAY PEAKS ISLAND LC ANDREW SO WIND

JH

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED
01426
SEP 7 1949
CITY of PORTLAND

Portland, Maine, Sept. 6, 1949

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Welch St., Peaks Use of Building Dwelling No. Stories 1½ ~~New Building~~ Existing "

Name and address of owner of appliance Beatrice Murray, Welch St., Peaks

Installer's name and address Earl Hutchens, 17 Luther St., Peaks Telephone 44 ring 11

General Description of Work

To install Oil burning equipment in connection with existing hot air heat

IF HEATER, OR POWER BOILER

Location of appliance or source of heat _____ Type of floor beneath appliance _____

If wood, how protected? _____ Kind of fuel _____

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace _____

From top of smoke pipe _____ From front of appliance _____ From sides or back of appliance _____

Size of chimney flue _____ Other connections to same flue _____

If gas fired, how vented? _____ Rated maximum demand per hour _____

IF OIL BURNER

Name and type of burner Iron Fireman Quaker conversion Labelled by underwriter's laboratories? Yes

Will operator be always in attendance? _____ Does oil supply line feed from top or bottom of tank? bottom

Type of floor beneath burner concrete

Location of oil storage cellar Number and capacity of tanks 1- 75 Gal.

If two 275-gallon tanks, will three-way valve be provided? _____

Will all tanks be more than five feet from any flame? Yes How many tanks fire proofed? _____

Total capacity of any existing storage tanks for furnace burners None

IF COOKING APPLIANCE

Location of appliance _____ Kind of fuel _____ Type of floor beneath appliance _____

If wood, how protected? _____

Minimum distance to wood or combustible material from top of appliance _____

From front of appliance _____ From sides and back _____ From top of smokepipe _____

Size of chimney flue _____ Other connections to same flue _____

Is hood to be provided? _____ If so, how vented? _____

If gas fired, how vented? _____ Rated maximum demand per hour _____

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 ($3.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:
OK. 9-6-49. Pmf

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of Installer Earl L. Hutchens

Permit No. 49/1163

Location Welch St. Rocky Island

Owner Beatrice Murray

Date of permit 9/7/49

Approved

NOTES

1 Fill Pipe ✓

2 Vent Pipe ✓

3 Kind of Heat Warm air

4 Burner Rigidity & Supports ✓

5 Name & Label ✓

6 Stack Connection ✓

7 High Limit Control ✓

8 Hot Air Control Stand Nameplate

9 Piping Support & Protection ✓

10 Valves in connection lines ✓

11 Capacity of Tanks ✓

12 Tank Rigidity & Supports ✓

13 Tank Distance ✓

14 Oil Gauge ✓

15 Instruction Card ✓

16

6-4-51 Contrary to warm air ducts

1/15/51 - See letter

Cold air intake under front piano is wood lap with 8" asbestos heating all combustible space 18" from nearest top of heat & lights

Pipe (Now closed) Asbestos covered cold air ducts

Warm air ducts not covered where they pass through stack wall

Pipe where also passes through stack wall

Feed line & return to burner will be partly bared & not above flames in the case now

Connections burner on floor & heat not actually built in furnace & heating not installation

Heat lamp under & close to the wooden cold air duct in BX

5/19/51 - Owner is particularly concerned about electric wires near warm air ducts

BP Welch Street,
Peaks Island-I
(Beatrice Murray)

June 5, 1951

Mrs. Beatrice Murray
Welch Street
Peaks Island, Maine

Copy to: Mr. Earl Hutchins
17 Luther Street
Peaks Island, Maine

Dear Mrs. Murray:

Our inspector has examined the heater and oil burning equipment installed by Mr. Hutchins in the dwelling which you own on Welch Street, Peaks Island--quite a long time ago--and I believe talked with Mr. Hutchins about it. At any rate, he found the following to be cared for:

The 30-foot long wooden duct for taking fresh air into the system from outside has been discontinued, a new return air duct of metal having been connected to the kitchen. Mr. Hutchins is to remove the wooden duct. Such a wooden duct, even for fresh air supply, is not permitted closer than 6' to the furnace.

The warm air register boxes are tight against the woodwork of the floor, and wherever they are closer than one inch to wood or other burnable material, they should be covered with no less than 14-pound asbestos.

There are several places where there is less than one inch clearance between warm air ducts and wooden posts, joists, timbers or other woodwork. In all such cases the pipe should be covered with 14-pound asbestos.

The oil supply line from the oil tank to the burner assembly runs on top of the floor without protection. The pipe should either be buried in the floor or some suitable permanent protection provided around it so that mechanical injury will not start a leak.

The cover and casing over the burner assembly in the front of the heater was missing. I do not know that this is required by the Building Code but there appears to be no reason why it should not be supplied, and I presume Mr. Hutchins will put it back.

Our inspector has the impression that, while the permit called for installation of oil burning equipment only, probably the furnace was new at the same time. It is also his impression that the heat is circulated through the ducts by an electric blower thermostatically controlled. If that is not the case, then the damper in at least one warm air duct should be completely removed so that overheating will not take place if the oil burner should "run-away" due to the limit controls in the hot air furnace failing to operate. If the warm air is circulated by a blower, automatically controlled, that ought to keep the hot air moving sufficiently to prevent hazard even though there are dampers in all of the warm air ducts.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/G

Dear Beatrice:

You spoke to me over the phone particularly about the electric wiring being close to the ducts. Our inspector reports that the only wiring which he could find to answer that description is close to the wooden duct to be removed and that this particular part of the wiring is BX cable which is quite modern and well protected.

McD

APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

Permit No. 1-32

SEP 23 1933

Class of Building or Type of Structure

Portland, Maine,

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Welch Street, Peaks Island Within Fire Limits? Dist. No.

Owner's ~~or Lessee's~~ name and address F. W. Harrington, Owner Telephone

Contractor's name and address Owner Telephone

Architect Plans filed No. of sheets

Proposed use of building dwelling house No. families 1

Other buildings on same lot garage

Estimated cost $ 101 Fee $

Description of Present Building to be Altered

Material wood No. stories 1½ Heat Style of roof Roofing

Last use dwelling house No. families

General Description of New Work

To rebuild bulkhead entrance on southwest side of building, making it 3'6" x

NOTIFICATION OF CONSTRUCTION WAIVED

CERTIFICATE OF OCCUPANCY IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof 6'

To be erected on solid or filled land? earth or rock?

Material of foundation concrete trench wall thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of Roof pitch Rise per foot Roof covering Asphalt roofing Class C Unl. lab

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing Lumber—Kind Dressed or Full Size?

Corner posts 2-2x4 Sills 2x4 Girt or ledger board? Size

Material col girders Size Max. on centers

Studs (outsid (carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof 2x4

On centers: 1st floor, 2nd, 3rd, roof 16"

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto observed? yes

Signature of owner Fred W. Harrington

INSPECTION COPY

Permit No. 38/1532

Location Welch St. Peaks

Owner F. M. Harrington

Date of permit 9/23/38

Notif. closing-in

Inspn. closing-in 84

Final Notif. K

Final Inspn. 6

Cert. of Occupancy issued

NOTES

(A) APARTMENT HOUSE

APPLICATION FOR PERMIT

PERMIT ISSUED
0483
APR 24 1936

Class of Building or Type of Structure

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine,

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building ~~structure equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Welch Street, Peaks Island ward Isl. 2 Within Fire Limits? no Dist. No.

Owner's ~~or Lessee's~~ name and address F. M. Herrington, Peaks Island Telephone

Contractor's name and address F. W. Stephenson, Elizabeth St. Peaks Telephone

Architect's name and address Telephone 188-X

Proposed use of building dwelling house

Other buildings on same lot 1 car garage No. families 1

Plans filed as part of this application? one garage No of sheets

Estimated cost $ 50. Fee $ .50

Description of Present Building to be Altered

Material wood No. stories 1½ Heat Style of roof Roofing

Last use dwelling house No. families 1

General Description of New Work

To demolish one story frame addition 8' x 18' on rear of dwelling house, leaving platform 8' x 5' at rear door

To build new platform 5' x 10' on rear of building as per plan

NOTIFICATION BEFORE LATHING OR CLOSING IN IS REQUIRED

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front depth No. stories Height average grade to top of plate

To be erected on solid or filled land? Height average grade to highest point of roof

Material of foundation cedar posts Thickness, top earth or rock? bottom

Material of underpinning Height Thickness

Kind of Roof no Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Corner posts Sills 4x6 Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x6 2nd 3rd roof 1x4

On centers: 1st 16" or 18" 2nd 3rd roof

Maximum span: 1st floor 10' 2nd 3rd roof

If one story building with walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner By F. M. Herrington

6548

Ward Sub 2 Permit No. 36/483

Location Welch St. Peekskill

Owner F. M. Harrington

Date of permit 4/24/36

Notif. closing-in

Inspn. closing-in

Final Notif. None

Final Inspn. 7/3/36 OK

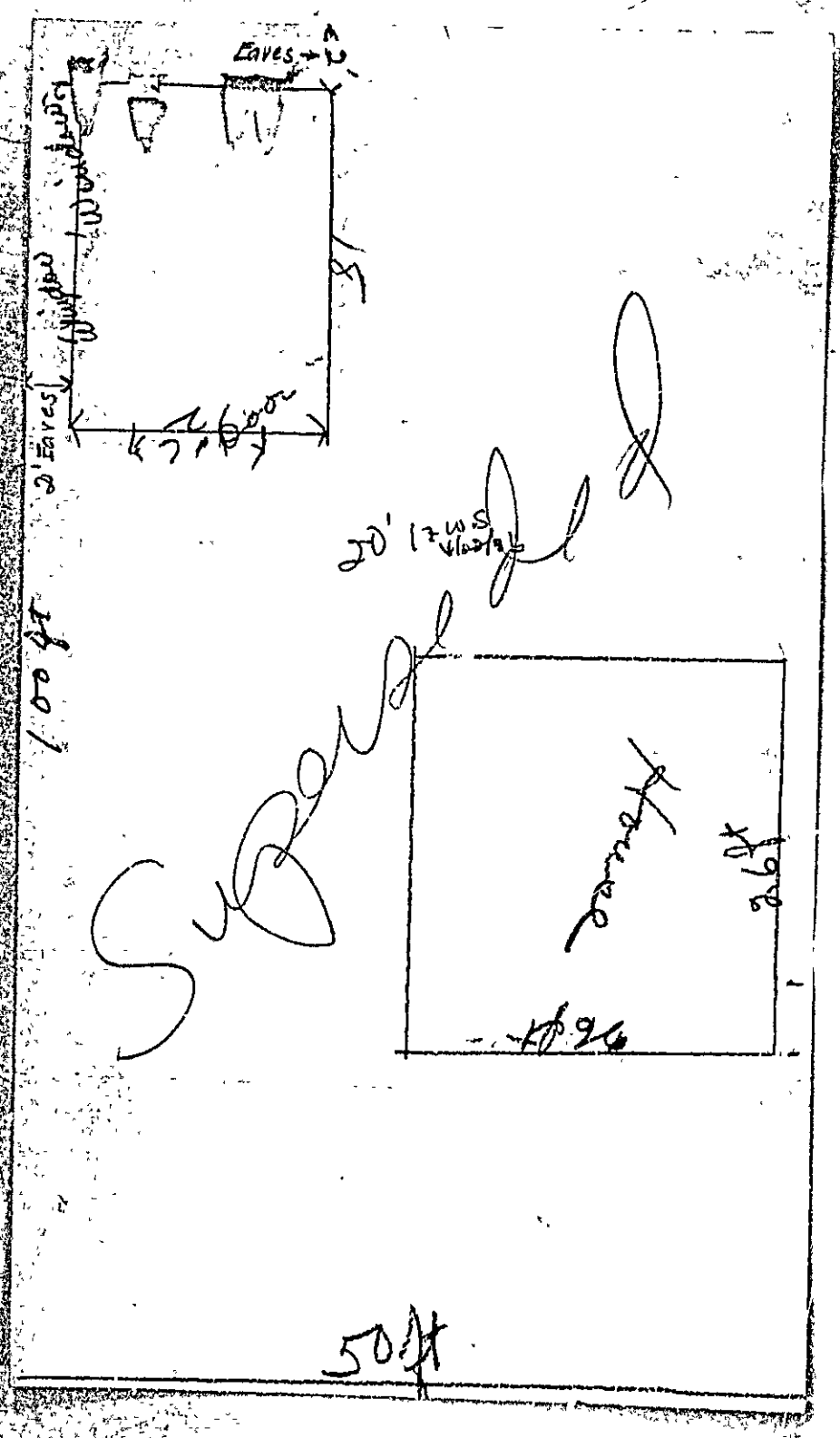
Cert. of Occupancy issued None

NOTES

5/11/36 Work despal new work not done. OK

84
K
6

Permit


Eaves
Window
Eaves
Window
20' 17 WS
Garage
26 ft
50 ft

[illegible]x6 Sills
[illegible]x4 Corner post
[illegible]x6 Door Header.
[illegible]x4 Plates
Studding 2' on center
Class C. paper roof.
Setting on concrete

size of rafter 2x4
spacing " "
use per ft.

[illegible] 1/2" concrete
[illegible] 1" plate topping
[illegible] 1" rafter
[illegible] 24" "

G. W. Stephenson
Tel. 165-3

RECEIVED
APR 21 1936
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

for G. M. Harrington

WEST 25

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for

at

Date

1. In whose name is the title of the property now recorded? Jeanette M. Harrington

2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? No

3. Is the outline of the proposed work now staked out upon the ground? If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? yes

4. What is to be maximum projection or overhang of eaves or drip? 6 in.

5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes

6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes

7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
0471
APR 23 1938

Class of Building or Type of Structure Third Class

7 ... BI... ING ... ILAND, ME.

... Maine, April 21, 1938

... undersigned hereby appli... ...at to co... ... following building structure equipment in ...ore with the Laws of the Sta... Ma... the Bui... City of Portland, plans and specifications, if ...ubmitted herewith and the following specifications:

Location F... ...t, Peaks Island Ward Isl.2 Within Fire Limits? no Dist. No.

Owner's ... and address F. W. Harrington, Peaks Island Telephone

Contractor's name a... s F. H. Stephens ...nd Telepho... 168-3

Architect's name and address

Proposed use of building 1 car garage No. families

Other buildings on same lot Dwelling

Plans filed as part of this application? yes No. of sheets 1

Estimated cost $ 75. Fee $ .50

Description of Present Building to be Altered

Material No. stories Heat Style of roof Roofing

Last use No. families

General Description of New Work

To erect 1 car frame garage 18' x 12'

NOTIFICATION BEFORE LATHING OR CLOSING IN IS WANTED

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate 7½'

Size, front 12' depth 18' No. stories 1 Height average grade to highest point of roof 11'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation concrete slab Thickness, top bottom

Material of underpinning Brick Height Thickness

Kind of Roof ~~plank flat~~ Rise per foot ½ Roof covering Asphalt Class C Unl. Lab.

No. of chimneys none Material of chimneys of lining

Kind of heat none Type of fuel Is gas fitting involved?

Corner posts 4x4 Sills 4x6 Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor concret, 2nd, 3rd, roof 2x4

On centers: 1st floor, 2nd, 3rd, roof 16"

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot none, to be accommodated 1

Total number commercial cars to be accommodated none

Will automobile repairing be done other than ... or repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are ob...ed? yes

INSPECTION COPY Signature of owner F. W. Harrington

Chas. O. Jackson

CHIEF OF ...

655

W[illegible] Permit No. 36/471

Location Welch St. Peaks

Owner J. M. Harrington

Date of permit 4/23/36

Not[illegible] [illegible]ing-in

Inspn. closing-in

Final Notif. None.

Final Inspn. 5/11/36 [illegible]

[illegible] 36/[illegible] [illegible]

Cert. of Occupancy issued

NOTES

4/22/36. Location as staked O.K. Rear line is center of stone wall. [illegible]

84
K
6

) APARTMENT HOUSE, ZO

Permit No.

APPLICATION FOR PERMIT

PERMIT ISSUED
1908
NOV 8 1932

Class of Building or Type of Structure Third Class

Portland, Maine, November 5, 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install a following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Welch Street, Peaks Island Ward 2 Within Fire Limits? no Dist. No.

Owner's, or Lessee's name and address F. W. Harrington, Welch St. Peaks Telephone

Contractor's name and address F. W. Stephenson, Hope St. Peaks Telephone 142-2

Architect's name and address

Proposed use of building dwelling house No. families

Other buildings on same lot

Plans filed as part of this application? no No. of sheets

Fee $ .20

Estimated cost $ 10.

Description of Present Building to be Altered

Material wood No. stories 1½ Heat Style of roof Roofing

Last use dwelling house No. families

General Description of New Work

To cut in one new window on first floor for ventilation of bath room, window to be at least three square feet in area.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.
NOTIFICATION BEFORE LATHING OR CLOSING IN IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by permit in the name of the heating contractor.

Details of New Work

Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

F. W. Harrington

Signature of owner By Jeanette M. Harrington

INSPECTION COPY

Ward 2 Permit No. 32/1908

Location Welch St. Peaks

Owner F. M. Harrington

Date of permit 11/3/32

Notif. closing-in

Inspn. closing-in 84

Final Notif. K L

Final Inspn. 11/15/32 6

Cert. of Occupancy issued None

NOTES

11/15/32 - Work done OGJ