45%

January 16, 1948

HEARING ON APPEAL UNDER THE SONING ORDINANCE OF COMPUNITY CIL COMPANY AT 1199 Congress Street

Pullic nearing on above

Present for City

ar, 1 was held before

Board of Zonirg Appeals members:-

the Board of Appeals

Robert L. Getchell Helen C. Frost Edw. T. Colley B. William Holbrook Gerald A. Cole

today.

VOTE

Municipal Officers:-

Mr. Getchell Mrs. Frost Mr. Colley Mr. Holbrook Mr. Cole CONDITIONALLY

Oppcsed:

Francis P. Freeman for F. P. Dougherty, 12-15 Mass. Avenue in back of present station. Objects

Yes No

in back of present station. Unjects to installation of new large station inCity officials:- residential neighborhood and to expansion of commercial use with repairs, etc. (enlarged use of antiuse) turnpike situatio a new

Roger Cabanaugh (behind station) same objection to improve: (E) business and more noise, etc.

For: John J. Devine and William L. Connolly of Community Oil. No repairs or garage intended; to be strictly a service station; merely improving property by better station of new type.

CITY OF POPTLAND, MAINE 1944D OF APPEALS

.10

January 12, 1948

Community Oil Company 512 Cumberland Avenue Portland, Asine

dentlemen:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Mains on Friday, Jonus y 16, 1948 at ten-thirty of clock in the forenoon on your appeal relating to 199 Congress Street.

Please be present or be represented at this hearing an support of jour appeal.

Very truly yours,

FOARD OF APPEALS

Robert L. Getchell Chairman CITY OF PORTLAND, MAINE board of appliant

January 6, 1948

TO WHOM IT MAY CONCERN:

The board of Appeals will hold a public hearing in the Council Chember, City Hall, Portland, Asine on Friday, January 16, 1948 at ten-thirty o'clock in the foreneon to hear the appeal of Community Oil Company under the Zonin, Ordinance requesting permit to cover demolition of present filling station and service garage at 1199 Congress Street and erection of new filling station and service garage, one story high, 34' x 26' at same location.

This permit is not issuable under the Loning Ordinance because the property is located in a Local business Zone, in which type of zone, according to bection 6A of the Ordinance, a filling station or service garage is an excluded use except as authorized by the Board of Appeals after the usual appeal procedure.

This appeal is taken under Section 17h of the Zoning Ordinance which provides that the board of Appeals, by unanimous vote of its members, may permit exceptions in specific cases so as to grant reasonable use of property where necessary to avoid confiscation and without substantially departing from the intent and purpose of the Zoning Ordinance, subject always to the rule that said Board shall give due consideration to pronoting public health, safety, convenience and welfire, encouraging the most appropriate use of land and conserving property values, that it shall permit no building or use injurious, noxious, offensive or detrimental to a neighborhood, and that it shall prescribe appropriate conditions and safeguards in each case.

All persons interested either for or $\epsilon_{\rm p}$ ainst this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the premises in question as required by law.

BUARD OF LPPEALS

Robert L. Getchell

Chairman

Typeal of Community Orl Company at 1199 Congress 11/24/47 - Motton Sheet - 1 to 43 V 2 to 36 V Miassachusells ave. 12451 - 210481 . Llouglas Street - 1 to 39% - 2 to 88% Wood Street - 1 to 29/ . Jose Street - Critice Lewall Street - 2 to 28 Congress theet - 1131 la Whitney Roe (123) ;

Typical of Community Cicilo it 197 rongress 14. Contray Incrue 1- 7 The great of the a Kingen sit King on Cin 48/2 9-13 Think H. Me winds 1.4 - NFT. Toll de vago Take Me. Exqueste a prime town in early to prine. ピング 19-2 Willen C. adentheiro - 17 Wintney are. De-20 Vinicial Littenter - 21 Silvara There. Bollow NY. 1-13 Elizabeth of his honough - 5 to cto will. 1017 Char willo. Mich - 32 West St. 19-25 Charies dil yante Mivanicolt - 22 Golton St. 2735 Fico illy RaiharaH. Hading - 35 Lotton It. 3739 h y. 1 Syndrey) 41-10 Shielerich Engene Languerty - 43 bottom st. 2-14 J. Cummingo Edv. Jan Juana, A it. 16-18 Queendo R. Small - 11. chaping It 20.22 9 - up. (2 male) 34-26 recodere + alicey, since - 26 Lecton 14. Eugenerfrechen - 24 Exter 118 esel linge than intel + archur E. Morrie - 36 Bottom St. ~71 have a shouldter Care, Community deli to, 3. U. - 510 Cumuciland Clare. 1-5 Riger E. Cakana - 9'71/weacher the Ord. 7-9 James J. Vavile - 11 Hamachantle and 1547 Lancelo & anna Lankar - 19 Man acin ette and hill danhar 12-21 fannica. Esocking 2 - 25 Thurschusette 100. 23-25-Cremies Cil Co. - 102 - Xulange dr. コワ・コク Elinella. I. heron e - 3/7/10 achasette arc. 3/-ડર Jerman's Fre a E. Bonahue - 12 Marachenette Circ. . 3537 MALWALL He skow - 55 de vicesence It. 43.40 St. Samue 711. Site oundle - 45 Thuracherete Car. 124 Ralph of Levett - 12 Manuachurette Cerc. - 157C 16-22 Malina handing - 18 Mass achusetts and.

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CITY OF PORTLAND, MAINL BOARD OF FRIENDS

December 2. 1947

TO LHOM IT MAY CONCLEM:

The board of .ppeals will hold _ pub.ic hearin, in the Council Chamber, City hell, Portland, Maine - Friday, Lecember 12, 1947 at ten-thirty o'clock in the forenoon to near the speed under the Zoning Ordinance of Community Oil Company requesting authorization to construct one-story addition to gosoline filling station office at 1199 Congress Street.

This permit is not issuable under the Zoning Ordinance because the property is located in a Local Business Zone where, according to section 6A of the ordinance, a fixing station or service garage is an excluded use except as authorized by the board of Appeals after the usual appeal procedure. Further, proposed addition would be only 5: from the rest property line and only 5'from the side property line instead of the least distance of 12' from the rear line and 7' from the side line stipulated by section oB of the ordinance.

Appellant desires to construct this addition and improve present building so that it will not be a detriment to the appearance of the neighborhood.

This appeal is taken under Section 175 of the Zoning Ordinance which provides that the board of Appeals, by anthious vote of its members, may permit exceptions in specific cases ab as to grant reasonalle use of property where necessary to avoid confiscation and without substantially departing from the intent and purpose of the Zoning Ordinance, subject always to the rule that said board shall give due consideration to promoting public health, as fety, convenience and welfare, encouraging the most appropriate use of land and conserving property values, that it shall permit no building or use injurious, noxious, offensive or detrimental to a neighborhood, and that it shall prescribe appropriate conditions and safeguards in ϵ .3.

All persons interested either for or against this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the premises in a estion as required by law.

WARD OF APPEALS

Edward T. Colley Chairman

City of Portland, Maine Board of Appeals —ZONING—

Movember 17,

1 47

T the Board of Appeals:

You appellant, C. to Cil long say who is the other of property at 119% Congre of the City of Portland to permit an exception to he regulations at the Zoung Ordinance relating to this property, as provided by Section 17. Faragraph E of the Zoung Ordinance,

Applie that for our cities persist to edver construct on of one story addition to gas align filling station office is not issuable under the ming ordinance because the property is located in a local Formess Zone, in which type of zone, according to because of the Zoning Ordinance, a filling station of safetice as age of nexcluded use except as authorized by the Bord of appeals after the usual appeal procedure. The rocased addition would be only for the rear property into and only 5 from the side process, the instead of the least distance of 12 from the rear line and of 7 from the ride line stimplified by Section of applying to would business Zones. If addition is not mult, present by lain; will be improved in order to increase the appearance of the gaster and bring the property up to the statut of the area.

The wets and constitions which make this exception legally permissible are as follows:-

An exception is necesser, this care so as to grant reasonable use of property and evoic unnecessary hardship, and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

Community Out les Fre They treas

HEARING C. APPLAL UNDER THE 1199 Ingless Struct

Public hearing on above

Present for City

appeal was held before

Board of Zoning Appeals members -

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tcday.

VOTE

Municipal Officers:-

Consumity Ser Co. Le John inc. is - 18 Ventour & Refoleans invinity
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CITY OF PORTLAND, MALINE

BOAPD OF PREALS

December 2, 1947

TO LHOM IT MAY CONCING:

The board of appeals will hold a public as ring in the Council Chamber, City Hall, Portland, Maint on Friday, Eccember 12, 1947 at ten-thirty o'clock in the forenoon to near the appeal under the Boning Ordinance of Community Oil Company requesting authorization to construct one-story addition to gasoline filling station office at 1199 Congress Street.

This permit is not issuable under the Zoning Ordinance because the property is located in a Local Business Zone where, according to section 6A of the ordinance, a filling station or service garage is an excluded use except as authorized by the Board of Appeals after the usual appeal procedure. Further, proposed addition would be only 5' from the rear property line and only 5' from the side property line instance of the reast distance of 12' from the rear line and 7' from the side line stipulated by section 6B of the ordinance.

Appell; nt desires to construct this addition and improve present building so that it will not be a detriment to the appearance of the neighborhood.

This appeal is taken under Section 17% of the Zoning Ordinance which provides that the board of appeals, by unenimous vote of its members, may permit exceptions in specific cases we as to grant reasonable use of property where necessary to avoid confiscation and without substantially departing from the intentand purpose of the Zoning Ordinance, subject always to the rule that aid board shall give due consideration to proporting public health, at fety, convenience and welfare, encouraging the most appropriate use of land and conserving property values, that it shall permit no building or use injurious, noxious, offensive or detrimental to a neighborhood, and that it shall prescribe appropriate conditions and safeguards in each case.

All persons interested either for or against this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the premises in question as required by law.

LUMBE OF APPEALS

Edward T. Colley Chairman CITY OF PORTLAND, MAINE BOARD OF APPEALS

December 8, 1947

Community 011 Company 512 Cumberland Avenue Portland, Maine

Gentlomen:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine, on Friday, December 12, 1947 at ten-thirty o'clock in the forencen to hear your appeals under the Zoning Ordinance relating to gasoline filling station office at 1199 Congress Street, and erection of outdoor advertising sign at 6 Veranda Street.

Please be present or be represented at these hearings in support of your appeals.

Very truly yours,

BOARD OF APPEALS

Robert L. Getchell Chairman

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CITY OF PORTLAND, MAINE LEGAL DEPARTMENT

December 6, 1917

TO THE BURED OF APPLIANCE

The Board of Appeals will hold a public hearing in the Council Charles, City Hall, Portland, whise on Fr. Cay, Decomber 17, 1947 at terminity of elect in the remoin to hear the following appeals under the funds or in ross

Frank W. Siley - 109 West Street - change of use of single family dwelling house to three family dwelling house

H. Verren whine - 161 Fire forms - about of use of alogic family duciling house to nurseas dorastory.

Community 011 Company - Veranda ve vt - construction of outdoor sign of a 25'

Community Wil Company | 1199 Congres | Etrect - addition and alterations to planing filling et tion.

(for details of above so only one content of notices to property owners attached norse)

hear two appeals as follows relating to construction of metal fire

Mrs. George F. Perguson - 134 Spring htract - uninvial encrosehment upon side yerd to hire to be to feet with - ledder against unit would be only 78 from the line shile lover rung of tire accept stairs at a love about 100 cove the pund hand to only that it from alde would be only shout 3' from side for arty line.

Fro. B. E. Poster - 137 S ring Street - additional encreasurent upon the front yard spaces - brick wall of he ;-vindow shaped front girendy oner mones winn this re dres yard spuce and is ellowed to co tinue, however, unling desinance forbies eny 1d Itions, encorrechments on the ert of this front yer, appear a ! now occurated.

B JRJ DE SPELILE

Pobert L. Getchell

Chalman

WARREN MCDONALD

On reply refer

LIY OF FORT, AND, MAINE

to Filep 1199 to neress Screet-1

epartment of thilding respection

FLI

hovember 7, 1947

Community Oil Company
512 Cumberland Avenue
Ar. Charles A. Hill
531 Cumberland Avenue

Subject: Application for building permit to co er construction of one-story addition to gaseline filling station office at 1199 Congress Street for Service Carage, and proposed gening or old relating thereto

Gentlemen:

building permit for this addition is not assumble under the Zonin periode because the property is located in a Local Business Kine, in which type of zone, necording to section 6A of the Zoning Urbinance, a filling station or service garage is an excluded use except as authorized by the Board of Appeals after the usual appeal procedure.

Also, the proposed addition would be only 5' from the rear property line and only 5' from the size property line instead of the least distance of 12' from the rear line and of 7' from the size line stipulated by acction 6B applying to local business Zones.

You have indicated that you wish to follow that procedure, and there is enclosed, therefore, an outline of the appeal procedure. A certain amount of time has to elapse between the filing of such an appeal and the required public hearing. If you wish to know the results of your appeal at an early date, I suggest that you file the appeal at the office of Corporation counsel inmediately.

Under the suilding Gode, you have cade no mention of how the proposed addition was to be heated, but, resumably, the heating appliance is to be in the existing building. The plan shows the wall between the existing building and a proposed Service Garage to be one-hour fire resistance. Section 20474 of the Building Code provides that this wall shall be of 2-hour fire resistance (this usually means a mesonry wall) with no less than Class B (labelled) fire door made either automatic-closing or self-closing by liquid door closer.

Also under the Building Code an emergency exit door and doorway no less than 2' wide and no less than 6' h high will be required at the rear of the proposed addition for safe exit on the part of any workman was might be in the rear of the addition if fire should take place in a motor vehicle or otherwise nearer the large entrance doors and also cut off his escape via the door to the office. There may be other features in non-compliance with the Building Code, as we have not made a complete check pending tecision of the Koning question. Your architect should check over these features, so hat all may be in order to avoid delay, if your zoning appeal should be successful.

Very truly yours,

Jigged) THE .

Inspector of Buildings

1:

usure to Community Oil Co. / Cutline of appeal procedure dward 1. Gignoux, Assistant Corporation Counsel



APPLICATION FOR PERMIT

PERMIT ISSUED

Class of Building or Type of Structure. . . Chird

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. Old plan 4/20/45

The undersigned hereby applies for a permit to creet after repair demolish install the following building structure equipment in accordance with the I case of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: Owner's name and address Community Oil Co. 531 Cumberland Ave Telephone Telephone Contractor's name and address Charles Hill, 531 Zumberland Evenue _____ Telephone 2-4254 Architect Specifications Plans yes No. of sheets 1 Proposed use of building _____ Service Station _____ No. families _____ Material ______No. stories _____Heat _____Style of roof ______Roofing ____ Other buildings (, same lot______ Estimated cost \$ 6000. — General Description of New Work To construct 1 story frame building 34'x26' for Service Station This application is preliminary to get settled the question of zoning appeal. In event the appeal is sustained the applicant will furnish complete information, the estimated cost and will pay legal fee. Permit Issued with Letter Contained conditionally 1/16/48 It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. - SUED TO Charles Hill Details of New Work Is any plumbing work involved in this work?_____Is any electrical work involved in this work?_____ Height average grade to top of plate _____ Height average grade to highest point of roof_____ ____depth.______No. stories____ solid or filled land? carth or rock?_____ Material of foundation_______ Thickness, top._____bottom____cellar___ ______Thickness_____ Material of underpinning_____ _____Rise per foot______Roof covering____ . Kind of heat No. of chimneys _____ of lining Framing lumber—Kind _ ____ Dressed or full size?_____ Corner posts_____Sills_____Girt or ledger board?_____Size Girders _____Size ____Max. on centers _____Max. S.uds (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. 1st floor______, 2nd. _____, 3rd________, roof_______ Joists and rafters: 1st floor______, 2nd_______, 3rd_______, roof_______ On centers: ______, 2nd_______, 3rd_______, roof_____ 1st floor____ Maximum span: If one story building with masonry walls, thickness of walls? ______height?_____ If a Garage No. cars now accommodated on same lot ____, to be accommodated. ___number commercial cars to be accommodated____ Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?_____ Miscellaneous APPROVED: Will work require disturbing of any tree on a public street? no Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner By:

Community 011 co.

Thanks of acce

INSPECTION COPY

A/ 82	
Permit No 4 720	
Location 1199 Congress St.	
Owner Community Oil Co.	
Date of permit 15/12/48	
Notif. closing-in 6/23/4/8	
W1.145145	
Inspn. closing-in	
Final Notif	
Final Inson 5-18-49, 6.	
Cert. of Occupancy issued	
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RECEIVED 72-6in Conques ST. Scalo 20 # - 1 m.

AP 1199 Congress Street-I

Nay 12, 1963

Mr. Charles Mill 531 Cumberland Avenue Portland h, Haine

Subject: Permit for construction of corvice station at 1199 Congress Street

bear bar:

The poract for the above work is issued berewith based on revised plan filed has ill and subject to the conditions of the appeal rustained damany lo, 1941 by the Board of Appeals. The following matters are called to your autention:

- 1. It is likely that the concrete slab forming the effice floor will need to be made thicker where the brick well, if the beater room are to be supported on it, in order to prevent cracking of the slab due to the dead weight of the wells. If it has not already been to , it hight be wise to check cause of beiler room with heater to be standed in order to make sure that the room will be large enough to confirm a like equipment.
- 2. The warm air heater to be installed is required to be of the type specialed in Section 20463 of the Building tode. Special attention whold be eight to the beight of return air costs above the floor and the requirement for taking not less than five, reent of the hir eved by the families cut of doors. A separate point issemble only to the installer is recoired for the installation of this heater.

Very truly yours,

Inspector of buildings

AJS/S

CC: Community Oil Company 512 Cumberland Average

> Mr. Frod C. Weislander 98 Proble Street

> > کند - م

AF 1197 Cong __tract-1

Hay 6, 1948

Mr. Charles will 512 Games and Avenue 19. Frod v. Reallander 53 Febil Street

oubject: application for penalt for construction of service station at 1199 Congress Street

Gentlaten:

A check of this plane for the above work thouse the following questions as to compliance with railding Code requirements:

osmerly wall of the lebritorium are closer than 30' to use lot lines, as seems likely, the windows in those is are required to be setal assi glasses site sire glass. See Section 2040.

2. The enclosure of the heater roca is required to be by partitions of 2-hour fire resistance anatom of the 1-hour separations indicated. In majority is used for these partitions, a structural metal instead of notal covered wooden from as required for the Class before course the martition between the office and tubritarium is not to be built as a fire coparation and is not so required because the area of the entire building is not that them NO square foot, it is time door shown in the opening in this partition as not required and the correspond shown in the borway may be provided at entrance to be desired roca if desired.

3. It is not clear what kind of reat is to be used in leating the building. Limitations of type of building systems allocable for use in this corvice garage, as specified in section, while it was mailtaing code, should be noted.

V4. The greate tray to be provided for the floor drain in imprisoring is required to be a type approved by the Chief of the fire Department.

Wherever the stade in wells and carrying partitions are over 10' in neight, they are required to be adoptibily crossed braced.

Upon receigt of revises plans showing the boiler room arrangement in complifuses with Building come requirements and approval of the rowised plan plan, we should be able to issue the whall for the work.

Very truly yours,

Inspector of Buildings

ME/S

CC: Community Cil Company 531 Cumberland Avenue

INTER-OFFICE CORRESPONDENCE

Fire: Appear of community Cilcom any, 1199 Congress street CITY OF PORTLAND, MAINE

BUILDING INSPECTOR

January 21, 1948

To: nobert L. Getcherl, Chairman Zoning Board of Appeals 9A Forest Avenue

From: Warren McDonald Inspector of buildings RECEIVED

LOLI 1948

SLPT. OF BLUG. 1629.

CITY OF PENTLAND

Subject: Issuance of building permit to Community Oil Company under sustained appeal for new filling station building at 1199 Jongress Street, corner of massachusetts Avenue

The order granting one appeal of Community Oil Company reads ir part: "it is, therefore, determined, that exception to the Zoning Ordinance may be permitted in this specific case provided the plans for the proposed new filling station and service garage shall be first approved by the Inspector of Buildings and the Chairman of the Board of Appeals".

From the discussion, while I was present, I gathered that the Board was mainly concerned with the "evout of the rejuvenated filling station, rather than the details of the building to such the issuance of the outlding permit would be confined. No doubt Community Oil has received a copy of this sustaining order, and it seems necessary that I notify them what this proposition of approval by you and myself really means. As I have such a letter in mind, there is one question in doubt.

mention was made during discussion by the Board of Apreals of the matter of paved sidewalks and curbing on the two street frontages of the corner lot, it being the idea that requiring the sidewalks to be paved and the curbs to be provided as part of the sustaining of the zoning appeal/900 control the approaches to the station and thus keep motor vehicles from driving over the public sidewalk in all directions and entering at any place they saw fiv. I do not know, however, that the Board intended to insist upon this paving of the sidewalks and curbing.

Will you be kind enough to write on this letter what your understanding is of this proposal, so that if the Board is to insist on the paved sidewalks and curbing, I may mention that fact in my letter t. Community Oil, so that they will know the whole story from the outset, and if necessary show the paved sidewalks and curbing and the driveway approaches through the curb on their layout plan which, I understand, you and I must approve before any building permit whatever is issued.

Inspector of Buildings

WincD/S

Encl: Stamped envelope

The Appeal Board insists on paved sidewalks and curbing. $\frac{\nu}{\nu}$ The Appeal Board does not intend to require paved sidewalks and curbing.

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AP 1199 Congress Street-I January 23, 1948 Community Oil Company Subject: Application for building permit and zon-512 Cumberland Avenue ing appeal relating to construction of new Ar. Charles Hill filling station inflding and service garage 531 Cumberland Avenue . at 11 99 Congress Street, corner of Mass. Ave. Gentlemen: Probably the other has already received a copy of the action of the Board of Appeals under the Contag Ordinance relating to the above subject, and it ill be noted therefrom that there is a condition office of the issuing the building permit as follows: "provided the plans for the proposed new filling station and service garage shall be first approved by the Inspector of Buildings and the Chairmen of the Forrd of Appeals". imparently the reason for this previse is that the Board at the public bearing had nothing in their possession except the location plan of the proposed new building end a photography in a station building. The Board was not furnished any information as to the layout of the lot, efter than the location of the building post it, nothing with regard to location of tanks, suppose from a basic streets etc. We doubt the record for this requirement as to approval of the plans is to give opportunity to get the arran ements in and about the station fixed to the satisfaction of the board without the delay of ancher hearing. I have been instructed to the effect that the Board will insist on the side alks on both street frontages being paved, curbings provided and the usual approach and driveways through the curb and across the side-The next step seems to be for you to have propared a plat plan which will show the ravings of the didewaltr, the eart, the location and width of driveway approaches through the curb and over the sidewalk and also all important appoint man's proposed about the station as to the location of pumps and talks, the enphoisit of tanks, the number of parms, especially the location of and errangements for cran' case oil disposal, the location of any fleed light's proposed and all other scriment features. I also note that pending decision of the Poard of Appeals, no estimated cost of the building was given and therefore no building permit for paid. tilth the fitting of the plat clan as above for constion then should also to given the estimated cost of the bullding and the rullding permit fee aid. Aleaso bear in aind that should sere than six souths clarse from the date of the action of. the Board of Appende without any work being started, or should one year clappe from that date without the work being completed and the station sucstant, ally put in operation, all rights under the action of the Board on the appeal will be dissipated. Very truly yours, . Inspector of Buildings WMcD/87 CC: Mr. John Devine 102 Exchange Street

AP 1199 Congress Surcet-I

November 7, 1947

Community Oil Company
512 Cumberland Avenue
Mr. Charles A. Hill
531 Cumberland Avenue

Subject: Application for building permit to cover construction of one-story addition to gasoline filling station office at 1199 Congress Street for Service Garage, and proposed soning appeal relating thereto

Gentleion:

Building penalt for this addition is not issuable under the Zoning Ordinance because the proper' is located in a Local Business Zone, in which type of zone, according to opetion on of the Zoning Ordinance, a filling station or service garage is an excluded use except as authorized by the Board of Appeals after the usual appeal procedure.

Also, the proposed addition would be only 5' from the rear property line and only 5' from the side property line instead of the least distance of 12' from the rear line and of 7' from the side line stipulated by Section 69 applying to weal Business Towns.

You have indicated that you wish to follow that procedure, and there is one cosed, therefore, an outline of the appeal cocedure. A certain amount of time has to elapse between the filing of such an appeal at the required public hearing. If you wish to know the results of your appeal at a certy date, I suggest that you file the appeal at the office of Corporation counsel in edicially.

Under the building Gode, you have made no mention of hew the proposed addition was to be healed, but, presumably, the menting appliance is to be in the existing building. The plan shows the wall between the existing building and a proposed Service Gard, etc be inc-hour fire resistance. Dection 204f4, of the Eulising Code provides that this wall chall be of 2-lour fire resistance (this would be again a majory wall) with no less than class 5 (labelles) fire door made althou automatic-closing or self-closing by light door closer.

Also under the Building Code an emergency exit door and doorman no loss than 2' wide and no less than 6' he high will be required at the rear of the proposed addition for safe exit on the part of any work an who might be in the rear of the addition if first should take place in , motor vehicle or otherwise means the large entrance doors and also est off his escape via the door to the office. There may be other features in non-compliance with the Building Code, as we have not made a complete check pending decision of the Zoning question. Your architec' should check over these features, so that all may be in order to avoid delay, if your moning appeal should be successful.

Very truly yours,

Inspector of Buildings

WHC. /S

Enclosure to Occannity Cil Co.: Outline of appeal procedure CCL Edward .. Olymonu., Assistant Corporation Counsel

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(I) LOCAL 2' ZONII APPLICATION FOR PERMIT

Class of Building or Type of Structure . . Inited Class

ATTS	Portland, Maine,	October 27, 1947	-		
To the INSPECTOR OF 1	BUILDINGS, PORTLAND, MA	1 KE			
n aco Ince with the Law	by aptles for a permit to ext or the State of Maine, the Bu tted herewith and the following	ilding Code and Zoning O			
	es Street		ralimites no	Diet Na	
	Community Oil Co.,				
				-	
Contractor's name and address	iress Charles A. Hill,	. 531 Cumberland Av	e.	Telephone 2-4254	
	eislander.				
	Service Statio.				
Last use	# #			No. familier	
	stories 1 Heat				
Other huildings on same lo	t nore	0.7	er ferhilik ble - mikresilika manineri (* 1800)		
Estimated cost \$ 2500	The seconds of the Telephone of a second or the second of	7	er leitide til vilkerillite maler til 1911	Fee \$ 4.50	
		ription of New Wor	k	01/1/47	
To construct lubrito	orium 16' x 28' one s	-		Gx 7	
	3/		CERTIFI REQU	ICATE OF OCCUPANCY MREMENT IS WAIVED	# ****
t is understood that this pe he name of the heating could	ermit does not reclude installat gatter. PPB 158	ion of heating apparatus u CED TO Charles A	chich is to be tak H111	en out separately by and in	,
		of New Work			
Is any plumbing involved	in this worki you	of New WorkIs any electrical wor	rk involved in th	nis work? _yes	
Is any plumbing involved Height average grade to to	Details or A plate 12 6"	of New WorkIs any electrical wor _ Height average grade to	rk involved in the	nis work? _yes of roof14' 6"	
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Permit No. 47/	
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Owner Dommunity Gel Co	
Date of permit 10/142	
Notif. closing-in	
Inspir sing in C/ 3/24	
Final Notif. 1/14/15 900	
Final Inspn.	
Cert, of Occupancy issued	
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APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class Portland, Maine, June 17, 1945 To the INSPECTOR OF BUILDINGS, PORTLAND, ME. The undersigned hereby applies for a permit to erect ofter install the following brilding structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herevial and the following specifications: Location 1100 Cor was Street Within Fire Limits? no Dist. No... Owner's or Lessee's name and address. Community 611 Co., Inc. 512 Cumb. eve. Telephone Contractor's name and address Charles Bill, 531 Comberlare Fre. Telephone 2-1251 _____Plans filed_Yes_No. of sheets_1 Proposed use of tuilding. Service Station No. families Other buildings on same lot. Fee \$ 2.00 Estimated cost \$ 975. Description of Present Building to be Altered Material No. stories 1 Heat ____ Style of roof ____ Roofing_ General Description of New Work To construct 1 story frome addition 15**25* to side of office building. To cut in new door toween office building and new lubritorium with threshold raised at Irest 6"

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of Details of New Work Is any plumting work involved in this work?____ Is any electrical work involved in this work? Yes Height average grade to top of plate... Size, front 161 depth 201 No. stories 1 Height average grade to highest point of roof 721 341 To be erected on solid or filled land? aclid earth or rock? earth

at least 4 relow grade

Material of foundation concrete Thickness, top 10" bottom 12" cellar no

Material of underpinning " to sill at least 5' showe grade Thickness.

Material of underpinning " to sill the least 5' showe grade Thickness. Kind of roof pitch Rise per foot 7" Roof covering asphelt roo ing Class C Und. Leb. No. of chimneys rone Material of chimneys of lining Kind of heat rone ______ Is gas fitting involved?_______ Is gas fitting involved?_______ _____Dressed or full size? <u>dressed</u> Framing lumber—Kind bemlock Dressed or full size? dressed

Corner posts 174 Sills 1x6 Girt or ledger board? Size ____Max. on centers____ _Size__ _ Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. 1st floor_corcrete___, 2nd_______, 3rd______ Joists and rafters: 1st floor_______, 2nd_________, 3rd________, roof___16"_____ 1st floor______, 3rd______, roof_____ Maximun span: If one stor, building with masonry walls, thickness of walls? If a Garage _____ to be accommodated____ No. cars now accommodated on same lot___ Total number commercial cars to be accommodated Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? Miscellaneous Will above work require removal or disturbing of any shade tree on a public street? no Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto Signature of owner Ey: 6/10s a are observed?____ ORIGINAL.

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Owner Community Cit Ca			
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Owner Commenter	* '		
Date of perimit 6/ 145	The same of the sa		• * *
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July 25, 2357

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that it is removed from these streets and the street in the second sould Company to it that the term, they are recovering copy of this setter and would suggest alcorise that they remove the tank from the premises one avoid annoyance t the neighborhood in the future.

Very truly yours,

Ach/R co: Airwrt oil Co. 1195 Congress street inspector of buildings

11: Congress St West 7.

AIR PORT OIL CO

Installation by Valvoline Oil Co.



APPLICATION FOR PERMIT

Class of Building or Type of Structure_ __ Eurosene litories Portland, Maine, Kerch 17, 1342 To the INSPECTOR OF BUILDINGS, PORTLAND, ME. The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laus of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications: Location Congress Street Ward 8 Within Fire Limits? no Dist. No ____ NE Cor. Mass. Ave.
Owner's on Lacrost name and address Airport Oil Co., 1825 Congress St. Telephone Contractor's name and address Valvoline 011 Co., P. O. Box 1800 Telephone F-5818 Architect's name and a idress Prope sed use of building Other buildings on same lot Plans filed as part of this application? 785 No. of sheets 1 Estimated cost \$ 50. Fee \$.50 Description of Present Building to be Altered No. stories Heat Style of roof _____ ___l ning__ Last use___ _____No. families_____ General Description of New Work To in tall one 550 gellon tenk for kerosene, tank bears Uni. Leb. will be at least 5' below gr de, tank is coated with asphaltum It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of CHITTAY ATE OF OCCUPANT Details of New Work Height average grade to top of plate THEREST E. WALLS Size, front_______ No. stories_____ Height average grade to highest point of roof_____ To be erected on solid or filled land? earth or rock? Material of foundation Thickness, top. _bottom__ Material of underpinning____ ___Height____ ____Thickness____ Kind of Roof ______Roof covering _____ No of chimneys Material of chimneys ____of lining___ Kind of heat__ Type of fuel______Is gas fitting involved?_____ Corner posts _Sills___ Girt or ledger board? __Size_ Material columns under girders____ Max. on centers ___Size_ Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. Joists and rafters: 1st floor____ __, 2nd __ __, 3rd___ On centers: , 2nd_____, 3rd____ 1st floor____ Maximum span: 1st floor____ _, 2nd______, 3rd_____ If one story building with masonry walls, thickness of walls?____ If a Garage No. cars now accommodated on same lot___ _, to be accommodated___ Total number commercial cars to be accommodated Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? Miscellaneous Will above work require removal or disturbing of any shade tree on a public street?_____ Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto

are observed? Yes

INSPECTION COPY

Ward & Permit No. 37 Date of permit 3/20 81 Notif Inspn. closing-in Final Notif. Final Inspn. Cert. of Occupancy issued NOTES



APPLICATION FOR PERMIT

Plots No.

Class of Building or Type of Structure_Third Class MAY 3 1937

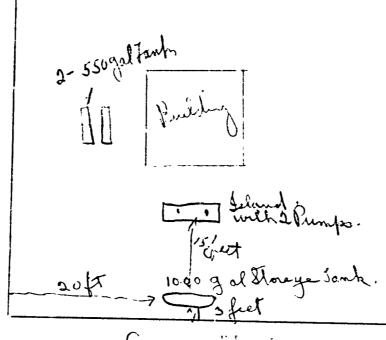
			ıd, Maine, 🔀	y 8, 1987
o the INSPECTOR OF I				
The undersigned her ecordance with the Laws ny, submitted herewith w	of the State of Maine	e, the Building Code of	the following t the City of Port	building st ructure equipment in land, plans and specifications, if
ocation 1199 Congress	s Street	Ward	Vithin Fire Limi	ts? no Dist. No
wner's or Lessee's name a	ind address Arco	-t 011 Co, 1199 Co	ngress St.	Telephone
ontractor's name and addi	ress 6. Bikille	o, 27 Everett Sere	et	Telephone 4-0905
rchitect's name and addre	:SS			
roposed use of building	Filling Station	Office		No. families
ther buildings on same lot				
lans filed as part of this ap	oplication?	no	_No. of sheets_	
stimated cost \$ 50.	- <u></u>			Fee \$
	Description of	of Present Building	to be Altered	i
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ast use	Filling Stat	ion Office		No. families
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Owner Diport Wil Co		
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APPLICATION FOR PERMIT

Cla of Building or Type of Structure 62 oline Installagation 31 1938

Portiand, Maine, July *3, 1976 To the INSPECTOR OF BUILDINGS, PORTLAND ME. The undersigned bereby applies for a permit to excel also install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if eny, submitted herewith and the following specifications: Location 1197 Congress Street Ward & Within Fire Limits? no Dist. No. Owner's we Lessue's name and address San Kete, 1107 Congress St. Telephone Contractor's name and address Haxim Tire & Oli Co., 195 Forest Ave. Telephone 5-2852 Architect's name and address Proposed use of building Station No. families Other buildings on same lot Plans filed as part of this application? Yes No. of sheets 1 Estimated cost \$ 75. Description of Present Building to be Altered No. stories Heat Style of 1906 _____Roofing____ Filling Station No. families_____ General Description of New Work ?? install one 1000 gallon tank for gasoline, additional installation, public use, tank to be at least 5; below grade, Holla gauge, will be coated with asphaltum, minerum diameter of piping tank to pump 12 It is understood that this permit does not include installation of heating agraratus which is to be taken out separately by and in the name of storage applied for New Work

Height average grade to highest the following for the following grade to highest the following following for the following fol Details of New Work Size, front_____depth____ ____No. stories____ To be erected on solid or filled land? earth or rock? Material of foundation_____Thickness, top_____ Material of underpinning_____ Height Thickness Kind of Roof_____Rise per foot____Roof covering No. of chimneys Material of chimneys ____of lining___ ______I'ype of fuel_______Is gas fitting involved?______ Kind of heat____ Corner posts_____Sills____Girt or ledger board?_____Size___ Material columns under girders Size _____ Max. on centers____ Studs (outside walls and carrying partitions) 2x4-16° O. C. Girders 6x8 or larger. Eridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. Juists and rafters: 1st floor______, 2nd______ . 2rd____ 1st floor______, 2nd_______, 3rd_______, roof____ On centers: 1st floor______, 2nd_______, 3rd_______, rocf_____ Maximum span: If one story building with masonry walls, thickness of walls?____ _iseight ?____ If a Garage No. cars now accommodated on same lot____ _____, to be accommodated____ Total number commercial cars to be accommodated. Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?_____ Miscellaneous fill there i.e in charge of the above work a person competent to see that the State and City requirements pertaining thereto INSPECTION COPY

Signature of owner By Maxim Fire & Oll Co.

INSPECTION COPY

Signature of owner By Maxim Fire & Oll Co.

Signature of owner By Maxim Fire & Oll Co.

Signature of owner By Maxim Fire & Oll Co.

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Ward & Permit No. 36/1/LO	-01V-Q Col	
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City of Portland, Maine

Appeal to the Municipal Officers to Change the Decision of the

Inspector of Buildings Relating to the Property Owned

by Portland Savings Bank at 1197-1201 Congress Street

June 10, 19 36

To the Municipal Officers:

who is the Prospective of property at 1197-1201 Congress Street respectfully petitions the Municipal Officers of the City of Portland to change the decision of the Inspector of Buildings relating to this property, as provided by Section 13, Paragraph c, of the Zoning Ordinance, on the ground that the enforcement of the ordinance in this case involves unnecessary hardship and because relief may be granted without substantially derogating from the intent and purpose of the Zoning Ordinance.

The decision of the Inspector of Buildings dendes a permit for a one story frame addition 10' x 16' on rear of the existing building on the ground that the size of the proposed addition is larger than the 20% increase in volume permissible to be added to a building of non-conforming use in the Limited Business Zone where the property is located.

The reasons for the appeal are as follows: The appellant finds the existing building is not large enough to store the necessary equipment and supplied in connection with his work at this filling station, and it is his belief that this proposed addition will not prove a objectionable or detrimental to the surrounding property.

File: Rec. 60258-I

. July 28, 1986

Kr. Kyer Cope, 124 Franklin Street, Particke, Fine

Doar Sir:

With relation to your appeal in connection with 1197 Congress Street, on by deferred.

your place are emercing this opposised the conditions of the filling station reached as to that thought be done, if Legithing, at the City Consoling at the August 5, 1976.

promises, which requires by approval under the wining haw, to see what is in three done to clear up the conditions which spen to be unsatisfactory from the standwoint this which you mentioned he as at the time of the hearing. The stalling the think which you mentioned he as at the time of the hearing. The ere probably exercitive for the purpose of storing genolis, with

that is to do the work make applies on the for it, or have the want the Committee on Friday as to the first the take the question up installing the tank to be granted.

Wers truly yours,

WeD/II CC: Portland Savings Benk

Inspector of Buildings

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PUBLIC MEARING OF THE APPLIE OF MYEAR COPE AS PAUGPECTIVE OWNER OF THE PROPERTY AT 1187-1100 CONGRESS STREET, COR. MAGS. AVE.

July 17, 1056

a public bearing on the above appears has near before the Committee on world and rulidant ordinance appears today. Present for the City were Commitmen weighton, Councilor and and the Inspector of Emillings.

ar. Fibert C. Lobbs, representing the fortland savings panes owner and ar. Cope a perred in apport of the appeal. Mr. Hores merely stated that he represented the owner, that the owner was willing that the proposed changes should be made and that ar. Cope was notually planning to buy the property.

dr. Cope said that he wanted the addition to store separate stock in connection with the fitting station, the stock now being targely stored out doors; that he note fix a the property planning to cover all of the ground area outside of the childing with graves. It said that he has been operating this station since the first part of pertenter 1965.

Judge Jose h L. . . Connoily appeared representing a large number of property owners and residents in the vicinity in opposition to the appear. Judge of the thought by questioning vor and ty questioning various property owners. Int to device that the property and the building has not been as it clean; that one or more old tanks are exposed to view on the premises; that boys perhaps as many as at hang around the premises a great dear of the time; that cope has no power to stop them; that cope is on the premises about one nour a day and that he employs a 17 year old boy to run the station; that some of the neighbors at least signed the original petition or consents for the filling station under the misapprehension that the petitioners were to erect an ornamental station and keep a celan, quiet and satisfactory establishment, and that the representations of the original petitioner had not been kept.

Judge Connolly presented a petition protesting against sustaining the appeal from a large number of property owners (petition attached to these minutes). He questioned are omith who owns the property directly in the rear of the filling station said that the filling station was never kept clean, that it distributed a lot of noise to the neighborhood; Glenn o. Rich, representing bewer Rich; Mr. Densmore who estimated the value of his property in the vicinity at 515,000. Judge Connolly emphasized the fact that the people opposing the petition have no desire to put a nordship on anyone or to deprive any persons of their tivelihood but were merel; present to represent and protect their interests in the surrounding property.

Mr. Ward asked Juage connolly if he thought his clients would be willing to withdraw their objections if the fitting station proprietor could produce satisfactory evidence that the station would be cleaned up, kept clean and operated in a reasonably quiet and efficient manner in the future. Judge connolly replied that he did not know the attitude of his clients but that probably if the station could be straightened out and operated in a reasonably satisfactory manner the objections to the addition would be withdrawn. He added that if the situation was not cleared up satisfactorily it was lite possible that a petition would be presented to the City Council to force discontinuance of the station.

Warren McDonald

CITY OF PORTLAND, MAINE
BOARD OF MUNICIPAL OFFICERS
COMMITTEE ON ZONING AND BUILDING ORDINANCE APPEALS

July 7, 1936

To Whom It May Concern:

The Committee on Zoning and Building Ordinance Appeals of the Eoard of Municipal Officers will hold a public hearing at the City Council Office, doom 32, City Hall at 11:00 o'clock, Imylight Saving Time, Friday, July 17, 1936 upon the appeal of Myer Cope who seeks the right to construct a one story frame addition 10 feet by 16 feet on the rear of the existing filling station building at 1197-1201 Congress Street, corner of Massachusetts Avenue.

The right to construct and maintain this existing gasoline filling station and building was granted by special action of the City Cour il, such use being non-conforming in the Limited Business Zone where the property is located. For this reason it is not possible for the Inspector of Buildings to issue a fermit to cover the construction of the addition, because the proposed addition exceeds the 20% in volume allowance for increase in a non-conforming use.

All persons interested either for or against this appeal will be heard at the above time and place, this notice having been sent to the owners of property within 500 feet of the premises in question, as required by law.

COMMITTEE ON LONING AND BUILDING ORDINANCE APPEALS

Adam P. Leighton, Chairman

Congression, materida O Keniston 12 Mood & Hattie a Decomming -1134 Congress Level Received 1172 Congress andia a. C. in an 1/82 Porter ile. c. Rich 1174 Congress Reservice 1150 Compress Willia V. S. Pet 12/8 a Congress James relliet 6 Brio 190 Classit Canco Platy Imp Co Westlook Catherine B. Lustyne - 17 Kendwitt Cearl m. granow 32 Orland 34 Clestra H. Licnett - Proples from Jerone Pr. " N.R. 1161 Jeroine Pr. Joseph F. Hangingiten Walley De Helen R. Rundall M.R. 1189 Congresol martin Holden 121 Bradley muchuel & Green 35 Congress 1213 " Cly. Fr. mc Donough 5 Bolling Thank P. Cursiming Col 124 ct mains Sarings Bh. 246 Middle margaret & Rogers 1179 Congress

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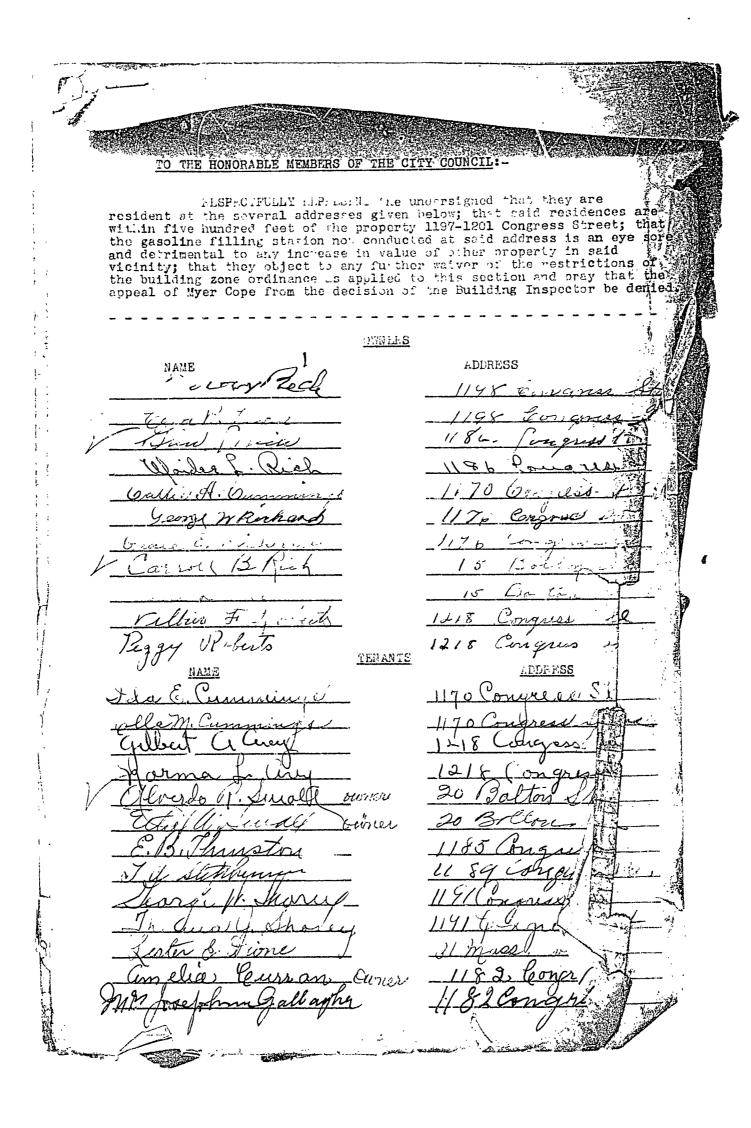
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- 1 9 LIMITTED AUSINESS ZONE

Permit No.



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, June 10, 1936 Supersédes epp/ 6/5/36

T: the INSPLC OR OF BUILDINGS, PORTLAND, ME.

ocation 1197	Ward		no Dist. N	0
wner's or Lessee's name and address	Portland Savings	Benk, 495 Congress St.	Telephone	. 超音線
ontractor's name and address kyer	Cone, 124 Frankl	in St.	Telephone &	-5028 - 136 - 136
rehitect's name and address			No. families	
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ther buildings on same lot				
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ast use Fil:	ling Station Offic	ce	No. families_	
	General Description			
lo erect one story frame addi	tion 10' x 18' on	rear of building	-	
heteido walls to be covered a	ith motel		•	

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the heating contractor. Details of New Work Height average grade to top of plate Size, front 161 1 Height average grade to highest point of roof _No. stories_ To be erected on solid or filled land? colid Material of foundation codar posts _Thickness, top_ _Height Material of underpinning_ Roof covering Asphalt roofing Class C Rise per foot 18 Kind of Roof flat No. of chimneys no _Material of chimneys_ _Is gas fitting involved _Type of fuel__ Kind of heat Corner posts 4x4 Sills 426 Girt or ledger board? Material columns under girders.... Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor span over 8 feet. Sills and corner posts all one piece in cross section. Joists and rafters: 1st floor dirk On centers: 1st floor___ Maximum span: If one story building with masonry walls, thickness of walls?__ If a Garage , to be accommodated No. cars now accommodated on same lot. Ton number commercial cars to be accommodated Will automobile repairing be done other than minor repairs to cars habitually stored in the propo Miscellaneous

Signature of owner.

ork require remova' or disturbing of any shade tree on a sublic street?

above work a person competent to the State and Gityl Buying a

and filli Hocation. Hew Bldg. را المراجعة المستحدية المستحد STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for retail store at 1269-1281 Congress Street

Date

6/5/36

1. In whose name is the title of the property now recorded? Portland Saving Bonfy

- 2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the round, and how?

 3. Is the outline of the proposed work not stoked out upon the ground?

 1. If not, will you notify the Inspection Office when the work is stoked out and before any of the work is commenced?
- 4. That is to be maximum projection or overhang of eaves or drip? $b^{\prime\prime}$
- 5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? other projections?
- 6. To you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building?
- 7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made?

myer Cope.



(3) LIMITED BUSINESS ZONE

Permit No_____

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, June 5, 1938 To the INSPECTOR OF BUILDINGS, PORTLAND, ME. The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1E69-1281 Congress Street (Ward Ward Within Fire Limits? 100 Dist No. _Within Fire Limits? no __Dist. No. Owner's or Lessee's name and address Portland Savings Bank, 485 Congress St. Telephone Contr clor's name and address. Myer Cope, 124 Franklin Street ______Telephone_4-5023 · Architect's name and address_ Proposed use of building Fillimetation office and store Other by Hillings on same lot... Plans filed as part of this application? _No. of sheets____ Estimated cost \$_ Description of Present Building to be Altered Material wood No. stories 1 Heat no Style of roof flat (The Portland Co.) General Description of New Work To move one story building 10' x 10' from 58 Fore Street to above location this building to be placed adjoining existing filling station building, but there is to be no decreay between the two and the new addition is to be used exclusively as a rejail store, not as an adjunct to the filling station on the same property. There will be no heat in the addition for the propert of locat. It is understood that this permit does not include installation of heating appara is to be taken out separately by and in the name of the heating contractor. Details of New Work Height average grade to top of plate. Size, front.... _Height average grade to highest point of roof. To be erected on solid or filled land?_ (* belon grade 62°thföut95k?. Material of foundation most sikks enter posphickness, top. Material of underpinning_ Kind of Roof_ -Roof covering_ No. of chimney no Material of chimneys. of lining_ Kind of heat. -Type of fuel. _Is gas fitting involved?_ Corner posts... .Girt or ledger board?__ Material columns under girders. _Max. on centers. Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof spen over 8 feet. Sills and corner posts all one piece in cross section. Joists and rafters: _, 2nd_ On centers: 1st floor... Maximum span: 1st floor___ If one story building with masonry walls, thickness of walls? If a Garage No. cars now accommodated on same lot_ ..., to be accommodated.... Total number commercial cars to be accommedated___ Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? Miscellaneous Will above work require removal or disturbing of any shade tree on a public street?____ Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto Portland Savings Bank observed?...

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Yard . Y Permit No. 3 6 ā Eingress S 25 1 Notif. closing-in 1 装 蒙 Inspn. closing-in Final Notif. E: 12 Final Inspn. 12.80% Cert. of Occupancy issued. 3 7 3 NOTES 要選 TO I \$ P. G. Hitt ٠., 3 : , 3 77 · Links 33 Ja 53 貓 -<u>`</u>: 12.10.12 2 3.1 FUE 84 S. V 1 النوعة النوعة الأرا MA, 15.1



APPLICATION FOR PERMITERMENT FOR PERMIT

Class of Building or Type of Structure Third Wlass

Portland, Maine, December 12, 1935

NSPECTOR OF BUILDINGS, PORTLAND, ME.

. ILAN COMETERS CALLED	Ward 8	Within Fire Limits?	Dist. No
ordance with the Laws of the State, submitted herewith and the follow attended to 1185 Congress Street (Old Bo.) There's or Lessee's name and address	Myer Cope. 124 Fra	uklin Strect	Telephone 4-0960
ner's or Lessee's name and addressnot	let		Telephone
chitect's name and address. oposed use of building Filling	Station Office		No. families
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her buildings on same lot		NO. Of sheets	Fee \$.25
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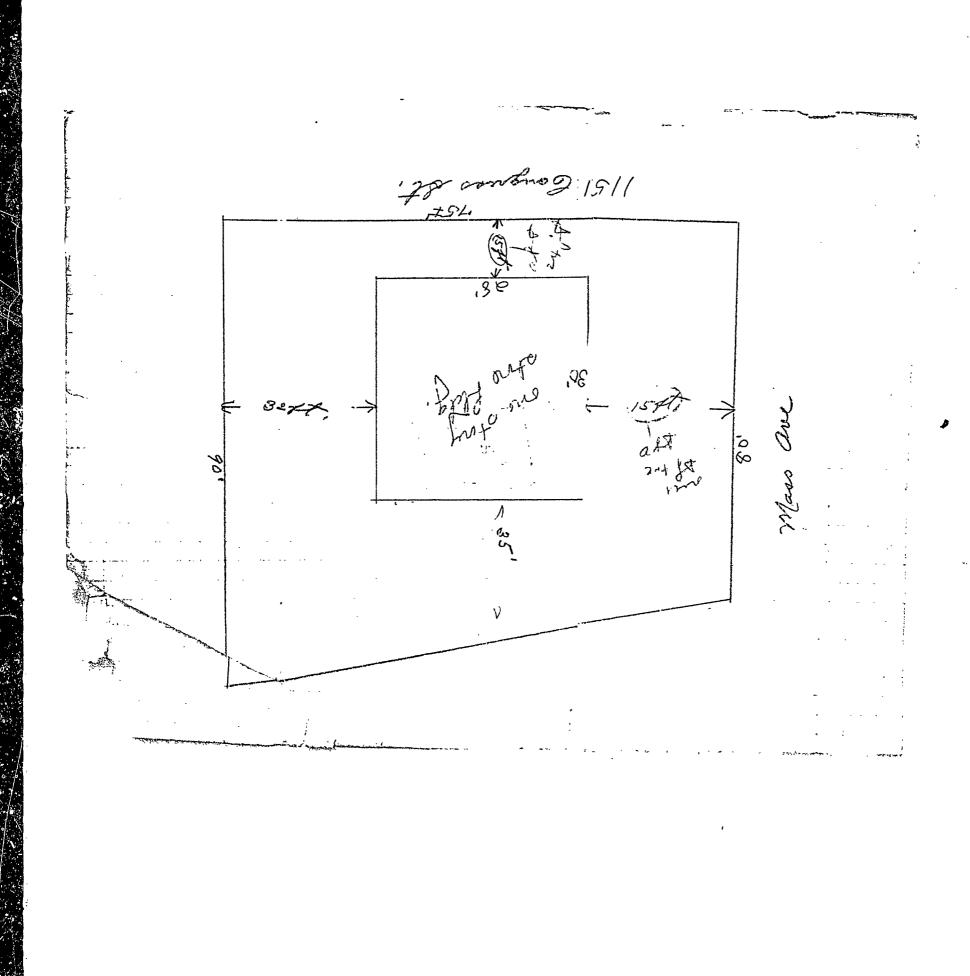
(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class Portland, Maine, August 11, 1954

Supersedes application 7/19/34 Owner's or-Lessee's name and address Henry V. Randall, 1145 Congress St. 2-9227 Telephone. Contractor's name and address__not_let_______ Community Oil Col ______Telephone______ Architect's name and address. R. B. Tutble Proposed use of building Filling Station No. families No. families Other buildings on same lot____ Plans filed as part of this application? _______No. of sheets_____ Fee \$ 1.00 ____ Estimated cost \$ 800. Description of Present Building to be Altered Material. _____No. stories_____Heat____Style of roo!_____Roofing_ No. families____ Last usc --General Description of New Work To erect one story frume building 12' x 16' for filling station office as per plan To install two 550 gallon tanks and two electric pumps for gasoline, public use, tanks to be buried underground - storage to be a plied for Petition granted conditionally and permit ordered by City Council August 8, 1954 It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. Height average grade to top of plate. 10f Size, front _____depth______No. stories_____ Height average grade to highest point of roof____133 ____ To be erected on solid or filled land? solid earth or rock? serth Material of foundation cedar posts Thickness, top bottom Material of underpinning______Height_____Thickness_______ Kind of Roof pitch Rise per foot 8" Roof covering Apphalt reging Class U Und. Ish. Kind of heat. ______ Type of fuel ______ Is gas fitting involved?______ Corner posts. 434 Sills. 6x6 Girt or ledger board? _____Size.____ Studs (outside walls and carrying partitions) 2x4-16" O. C. Garders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section. 1st floor_2x8_____, 2nd_______, 3rd__________roof_2x8____ Joists and rafters: On centers. If one story building with masonry walls, thickness of walls?...._height?____height?_____ No. cars now accommodated on same lot_______, to be accommodated____ Will automobile repairing be done other than minor repairs to cars hal itually stored in the proposed building?_____ Miscellaneous Will there be in charge of the above work a person competer t to see that the State and City requirements pertaining thereto Honry of Rar 11

Signature of owner By T. R. Sus ... Fee L. are observed? yas



STATE AND ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for One story frame building _ _ _ _ Date 7/4

at 1149 Congress Street Date 7/20/24

- 2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how?
- 3. Is the outline of the proposed work now at ked out upon the ground?

 If not, will you notify the Inspection Office when the work is staked out and before any of the work is communed?
- 4. hat is to be maximum projection or everhang of eaves or drip? ... /4 //
- 5. To you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, worches, and other projections?
- 6. Lo you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building?
- 7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made?

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(3) LIMITED BUSINESS ZONIL



APPLICATION FOR PERMIT Class of Building or Type of St.

	ones of Dunuing of 1	ype of Structure	Third Cless	ANT \$3 13.0
To the INSPECTOR (OF BUILDINGS, PORTLAND,	Portland	, Maine, July 19, 1934	
The undersigned accordance with the L any, submitted herowi	l hereby applies for a perm aws of the State of Maine,	it to creet alter insta ll t the Building Code of th	he following building strice c City of Portland, plans a	Mire equipment in
Location_1149 Congr	ress Street Lu	3 19224 C 1	, 7 /	
Owner's or Lawre's	Town 1	Ward 8 Wit	hin Fire Limits?no	Dist. No
Contractor's usus and	ne and address Senry W.	REMORIT 11454 Co	ngaess St. Tele	phone_2-9227
Architect's name and	address liot Let		Tele	phone
and a truth and ac	iui ess			
r robosed use of billidin	g <u>500168 [2]</u>		37.4	•••
and the contraction of the contraction	10110			
Estimated cost \$ 15000	application?	N	o. of sheets	
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span over 8 feet. Sills and	arrying/partitions)\2x4-16"	O. C. Girder, 6x8 or la	arger. Bridging in every flo	or and flat roof
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1	TAT:	sars to cars habitually sto scellaneous	red in the proposed building	?
Vill above work require 100	noval or disturbing of any sh	SUCITATICUES	_	
Vill there be in charge of the	he above work a narrow	aue tree on a public stree	et?yes	
e observed? yes	he above work a person com	petent to see that the Stat	k and City requirements per	taining thereto
	Eignature of owner.	By Z	Randall Augusta	
ISPECTION COPY	G on on owner.	# # #	1-7-62-6-10-15-1-	