

January 16, 1948

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF COMMUNITY OIL COMPANY
AT 1199 Congress Street

Public hearing on above
ap, 1 was held before
the Board of Appeals
today.

Present for City

Board of Zoning Appeals members:-

Robert L. Getchell
Helen C. Frost
Edw. T. Colley
B. William Holbrook
Gerald A. Cole

VOTE

	Yes	No
Mr. Getchell	(x)	()
Mrs. Frost	(x)	()
Mr. Colley	(x)	()
Mr. Holbrook	(x)	()
Mr. Cole	(x)	()
CONDITIONALLY	()	()

Municipal Officers:-

Opposed:
Francis P. Freeman for F. P. Dougherty, 12-15 Mass. Avenue
in back of present station. Objects
to installation of new large station in City officials:-
residential neighborhood and to expansion
of commercial use with repairs, etc. (enlarged use of use) turnpike situatic
Roger Cabanaugh (behind station) same objection to improve: a new
business and more noise, etc.
For: John J. Devine and William L. Connolly of Community Oil. No repairs or garage intended;
to be strictly a service station; merely improving property by better station of
new type.

CITY OF PORTLAND, MAINE
BOARD OF APPEALS

January 12, 1948

Community Oil Company
512 Cumberland Avenue
Portland, Maine

Gentlemen:

The board of appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, January 16, 1948 at ten-thirty o'clock in the forenoon on your appeal relating to 1199 Congress Street.

Please be present or be represented at this hearing in support of your appeal.

Very truly yours,

BOARD OF APPEALS

Robert L. Getchell
Chairman

M

CITY OF PORTLAND, MAINE

BOARD OF APPEALS

January 6, 1948

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, January 16, 1948 at ten-thirty o'clock in the forenoon to hear the appeal of Community Oil Company under the Zoning Ordinance requesting permit to cover demolition of present filling station and service garage at 1199 Congress Street and erection of new filling station and service garage, one story high, 34' x 26' at same location.

This permit is not issuable under the Zoning Ordinance because the property is located in a Local Business Zone, in which type of zone, according to Section 6A of the Ordinance, a filling station or service garage is an excluded use except as authorized by the Board of Appeals after the usual appeal procedure.

This appeal is taken under Section 17B of the Zoning Ordinance which provides that the Board of Appeals, by unanimous vote of its members, may permit exceptions in specific cases so as to grant reasonable use of property where necessary to avoid confiscation and without substantially departing from the intent and purpose of the Zoning Ordinance, subject always to the rule that said Board shall give due consideration to promoting public health, safety, convenience and welfare, encouraging the most appropriate use of land and conserving property values, that it shall permit no building or use injurious, noxious, offensive or detrimental to a neighborhood, and that it shall prescribe appropriate conditions and safeguards in each case.

All persons interested either for or against this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the premises in question as required by law.

BOARD OF APPEALS

Robert L. Getchell

Chairman

Appeal of Community Oil Company at 1199 Congress
 11/24/47

✓ Whitney Avenue - 1 to 25 ✓	27 4 1/2
✓ Bolton Street - 1 to 43 ✓	33
- 2 to 36 ✓	17
✓ Massachusetts Ave. 1 to 45 ✓	25
- 2 to 48 ✓	147
✓ Douglas Street - 1 to 29 ✓	
- 2 to 88 ✓	
✓ Wood Street - 1 to 29 ✓	
- 2 to 20 ✓	
✓ Jose Street - Entire ✓	
✓ Sewall Street - 2 to 28 ✓	
✓ Congress Street - 1131 to Whitney Ave ✓ (233)	
- 1130 to Sewall Street ✓ (200)	

Spade of Community Circle at 177 Congress St.

Voluntary Income

Pg. 1 of 3

- 1-7 Mrs. Janet L. & Co. R. Rogers - 375 Beacon St. 48 1/2
 9-13 Miss H. McNamee - 17 - 175 1/2 - 175 1/2 - 175 1/2 - 175 1/2
 17-21 Edward - 175 1/2 - 175 1/2 - 175 1/2 - 175 1/2
 22-25 William - 175 1/2 - 175 1/2 - 175 1/2 - 175 1/2

Bolton St.

- 1-13 Elizabeth - 515 - 515 - 515 - 515
 17-21 Charles - 35 - 35 - 35 - 35
 22-25 Charles - 35 - 35 - 35 - 35
 27-31 Mrs. M. & Sarah H. Hadley - 35 - 35 - 35 - 35
 32-36 Mrs. J. & J. Hadley - 35 - 35 - 35 - 35
 37-41 Frederick Eugene - 43 - 43 - 43 - 43
 42-46 Mrs. Cummings - 124 - 124 - 124 - 124
 47-51 Gerardo R. Small - 11 - 11 - 11 - 11
 52-56 Mrs. (female) - 11 - 11 - 11 - 11
 57-61 Gerardo & Alice - 26 - 26 - 26 - 26
 62-66 Eugene - 26 - 26 - 26 - 26
 67-71 Eugene & Alice - 36 - 36 - 36 - 36

Massachusetts Ave.

- 1-5 Community Circle, Inc. - 510 Commonwealth Ave.
 7-9 Roger E. Cabana - 9 - 9 - 9 - 9
 11-13 James J. Vasilis - 11 - 11 - 11 - 11
 15-17 James & Anna - 19 - 19 - 19 - 19
 19-21 Mrs. (female) - 19 - 19 - 19 - 19
 23-25 James D. Brookings - 25 - 25 - 25 - 25
 27-29 Premier Oil Co. - 102 - 102 - 102 - 102
 31-33 Elizabeth - 31 - 31 - 31 - 31
 35-37 Thomas - 10 - 10 - 10 - 10
 39-41 Harold - 55 - 55 - 55 - 55
 43-45 Thomas - 45 - 45 - 45 - 45
 47-49 Ralph - 12 - 12 - 12 - 12
 51-53 Ralph - 12 - 12 - 12 - 12
 55-57 Thomas - 18 - 18 - 18 - 18

Longview St (Apt. 7)

77.3 of 5
11/2 0.7

- 50-54 William W. Conley - 50 Longview St.
- 51 George A. Hamilton - 50 Longview St.
- 52 Edward A. Conley - 50 Longview St.
- 60 Appleton - 50 Longview St.
- 62-64 F. B. Brown - 57 Exchange St.
- 7-8 Map (S. W. & Perkins)
- 7-12 Mary Smith - 431 South St.
- 7-18 John Smith - 50 Longview St.
- 82-88 John J. Smith - 50 Longview St.

Wood St.

- 1-7 John E. & M. Cummings - 1170 Congress St.
- 9 John E. Conley - 9 Wood St.
- 11-13 Edward R. Williams - F.F.D. #2, 20 Portland, Me.
- 15-17 Paul D. Smith - 15 Wood St.
- 17-19 Fred B. & Catherine C. Conley - 17 Wood St.
- 21-23 Map (S. W. & Perkins)
- 2-8 John E. & M. Cummings - 482 Brighton Ave.
- 10-12 Map (S. W. & Perkins)
- 14-20 Thomas A. Smith - 14 Wood St.

Forest St.

- 170-A-1 Wilbur Franklin Roberts - 1218 Congress St.
- 170-B-2 Vera B. Rich - 1198 Congress St.
- 170-B-4-11 Map (S. W. & Perkins)
- 170-C-4-12 " " " "
- 171-D-1-3 " " " "
- 171-E-1-7 " " " "
- 171-F-1-19 " " " "
- 171-G-1-19 " " " "
- 171-H-1-19 " " " "
- 171-I-1-19 " " " "
- 171-J-1-19 " " " "
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- 171-V-1-19 " " " "
- 171-W-1-19 " " " "
- 171-X-1-19 " " " "
- 171-Y-1-19 " " " "
- 171-Z-1-19 " " " "

Seaside St.

- 2-8 Map (S. W. & Perkins)
- 10-12 " " " "
- 14-16 " " " "
- 18-20 " " " "

Continued (cont)

Page 4 of 5
21

1132-1134 Kenneth H. Sanderson - 24 Pleasant St.
1135-1137 Edward & Lydia D. Leland - 24 Pleasant St.

Congress St.

1138-1139 Mary H. Esq. - 1138 Congress St.
1140-1141 John H. Esq. - 1141 Congress St.
1142-1143 William H. Esq. - 1142 Congress St.
1144-1145 John H. Esq. - 527 Main St., So. Portland
1146-1147 Anne C. Esq. - 1146 Congress St.
1148-1149 City of Portland
1150-1151 City of Portland
1152-1153 John H. Esq. - 1152 Congress St.
1154-1155 John H. Esq. - 1154 Congress St.
1156-1157 John H. Esq. - 1156 Congress St.
1158-1159 John H. Esq. - 1158 Congress St.
1160-1161 John H. Esq. - 1160 Congress St.
1162-1163 John H. Esq. - 1162 Congress St.
1164-1165 John H. Esq. - 1164 Congress St.
1166-1167 John H. Esq. - 1166 Congress St.
1168-1169 John H. Esq. - 1168 Congress St.
1170-1171 John H. Esq. - 1170 Congress St.
1172-1173 John H. Esq. - 1172 Congress St.
1174-1175 John H. Esq. - 1174 Congress St.
1176-1177 John H. Esq. - 1176 Congress St.
1178-1179 John H. Esq. - 1178 Congress St.
1180-1181 John H. Esq. - 1180 Congress St.
1182-1183 John H. Esq. - 1182 Congress St.
1184-1185 John H. Esq. - 1184 Congress St.
1186-1187 John H. Esq. - 1186 Congress St.
1188-1189 John H. Esq. - 1188 Congress St.
1190-1191 John H. Esq. - 1190 Congress St.
1192-1193 John H. Esq. - 1192 Congress St.
1194-1195 John H. Esq. - 1194 Congress St.
1196-1197 John H. Esq. - 1196 Congress St.
1198-1199 John H. Esq. - 1198 Congress St.
1200-1201 John H. Esq. - 1200 Congress St.
1202-1203 John H. Esq. - 1202 Congress St.
1204-1205 John H. Esq. - 1204 Congress St.
1206-1207 John H. Esq. - 1206 Congress St.
1208-1209 John H. Esq. - 1208 Congress St.
1210-1211 John H. Esq. - 1210 Congress St.
1212-1213 John H. Esq. - 1212 Congress St.
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1246-1247 John H. Esq. - 1246 Congress St.
1248-1249 John H. Esq. - 1248 Congress St.
1250-1251 John H. Esq. - 1250 Congress St.
1252-1253 John H. Esq. - 1252 Congress St.
1254-1255 John H. Esq. - 1254 Congress St.
1256-1257 John H. Esq. - 1256 Congress St.
1258-1259 John H. Esq. - 1258 Congress St.
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1294-1295 John H. Esq. - 1294 Congress St.
1296-1297 John H. Esq. - 1296 Congress St.
1298-1299 John H. Esq. - 1298 Congress St.
1300-1301 John H. Esq. - 1300 Congress St.

DeGroot et al (2007)

79595

48/2

1172-1173 1-2. 1-2. 1-2.

117. 12.2 " (C. f. sect.)

10.5.21 (A. 11.22)

12-6-1952 " (in. 10. 1)

18 2-18-20 Dr. Lee H. ... - 415 Congress St.

1932-1934 Sylvia (1. Duncan) - 1932 Congress St.

[illegible]

1984-1206 Peter Z. Pop - 315° Krypton ArD.

1944-45 Watch A. House - 126th Congress St.

CITY OF PORTLAND, MAINE

BOARD OF APPEALS

December 2, 1947

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine, Friday, December 12, 1947 at ten-thirty o'clock in the forenoon to hear the appeal under the Zoning Ordinance of Community Oil Company requesting authorization to construct one-story addition to gasoline filling station office at 1199 Congress Street.

This permit is not issuable under the Zoning Ordinance because the property is located in a Local Business Zone where, according to section 6A of the ordinance, a filling station or service garage is an excluded use except as authorized by the Board of Appeals after the usual appeal procedure. Further, proposed addition would be only 5' from the rear property line and only 5' from the side property line instead of the least distance of 12' from the rear line and 7' from the side line stipulated by section 6B of the ordinance.

Appellant desires to construct this addition and improve present building so that it will not be a detriment to the appearance of the neighborhood.

This appeal is taken under Section 17B of the Zoning Ordinance which provides that the Board of Appeals, by unanimous vote of its members, may permit exceptions in specific cases so as to grant reasonable use of property where necessary to avoid confiscation and without substantially defeating from the intent and purpose of the Zoning Ordinance, subject always to the rule that said board shall give due consideration to promoting public health, safety, convenience and welfare, encouraging the most appropriate use of land and conserving property values, that it shall permit no building or use injurious, noxious, offensive or detrimental to a neighborhood, and that it shall prescribe appropriate conditions and safeguards in each case.

All persons interested either for or against this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the premises in question as required by law.

BOARD OF APPEALS

Edward T. Colley
Chairman

City of Portland, Maine
Board of Appeals
—ZONING—

November 17,

1947

To the Board of Appeals:

Your appellant, C. O. Gilman, who is the owner of property at 1194 Congress Street, respectfully petitions the Board of Appeals of the City of Portland to permit an exception to the regulations of the Zoning Ordinance relating to this property, as provided by Section 17, Paragraph E of the Zoning Ordinance.

Application for building permit to cover construction of one-story addition to gasoline filling station office is not issuable under the Zoning Ordinance because the property is located in a Local Business Zone, in which type of zone, according to Section 14 of the Zoning Ordinance, a filling station or service garage is an excluded use except as authorized by the Board of Appeals after the usual appeal procedure. The proposed addition would be only 5' from the rear property line and only 5' from the side property line instead of the least distance of 12' from the rear line and of 7' from the side line stipulated by Section 14 applying to Local Business Zones. If addition is not built, present building will be improved in order to increase the appearance of the garage and bring the property up to the status of the area.

The facts and conditions which make this exception legally permissible are as follows:—

An exception is necessary in this case so as to grant reasonable use of property and avoid unnecessary hardship, and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

This application is approved by the Board of Appeals.
Community Dev. Com. Inc.
Edw. J. Gray Treas.

456

HEARING OF APPEAL UNDER THE
OF
Community etc Co
1199 - English Street.

Public hearing on above
appeal was held before
the
Present for City
Board of Zoning Appeals members:-
today.

VOTE

Yes No

Municipal Officers:-

Mr. Mitchell	()	()
Mrs. Frost	()	()
Mr. Cooley	()	()
Mr. Hubbard	()	()
Mr. Cole	()	()
	()	()
	()	()
	()	()

City officials:-
Community etc Co. by John Doe - to vacate & replace existing
Building with new one of 100,000 sq. ft.
Applicant Mr. Doe (Opp. Mr. Smith) - a party of some 2000 sq. ft.
Mr. Smith (Opp. Mr. Doe) - a party of some 2000 sq. ft.
to be used for office space. No objection to the proposed
* Continued to discuss it. To be used for office space.
Representative of the City to be used for office space.

CITY OF PORTLAND, MAINE

BOARD OF APPEALS

December 2, 1947

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, December 12, 1947 at ten-thirty o'clock in the forenoon to hear the appeal under the Zoning Ordinance of Community Oil Company requesting authorization to construct one-story addition to gasoline filling station office at 1199 Congress Street.

This permit is not issuable under the Zoning Ordinance because the property is located in a Local Business Zone where, according to section 6A of the ordinance, a filling station or service garage is an excluded use except as authorized by the Board of Appeals after the usual appeal procedure. Further, proposed addition would be only 5' from the rear property line and only 5' from the side property line instead of the least distance of 12' from the rear line and 7' from the side line stipulated by section 6B of the ordinance.

Appellant desires to construct this addition and improve present building so that it will not be a detriment to the appearance of the neighborhood.

This appeal is taken under Section 17A of the Zoning Ordinance which provides that the Board of Appeals, by unanimous vote of its members, may permit exceptions in specific cases so as to grant reasonable use of property where necessary to avoid confiscation and without substantially departing from the intent and purpose of the Zoning Ordinance, subject always to the rule that said Board shall give due consideration to promoting public health, safety, convenience and welfare, encouraging the most appropriate use of land and conserving property values, that it shall permit no building or use injurious, noxious, offensive or detrimental to a neighborhood, and that it shall prescribe appropriate conditions and safeguards in each case.

All persons interested either for or against this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the premises in question as required by law.

BOARD OF APPEALS

Edward T. Colley
Chairman

CITY OF PORTLAND, MAINE
BOARD OF APPEALS

December 8, 1947

Community Oil Company
512 Cumberland Avenue
Portland, Maine

Gentlemen:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine, on Friday, December 12, 1947 at ten-thirty o'clock in the forenoon to hear your appeals under the Zoning Ordinance relating to gasoline filling station office at 1199 Congress Street, and erection of outdoor advertising sign at 6 Veranda Street.

Please be present or be represented at these hearings in support of your appeals.

Very truly yours,

BOARD OF APPEALS

Robert L. Getchell
Chairman

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CITY OF PORTLAND, MAINE
LEGAL DEPARTMENT

December 8, 1947

TO THE BOARD OF APPEALS:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, December 12, 1947 at ten-thirty o'clock in the forenoon to hear the following appeals under the Zoning Ordinance:

Frank W. Bailey - 105 West Street - change of use of single family dwelling house to three family dwelling house

H. Warren Paine - 161 Pine Street - change of use of single family dwelling house to nurses' dormitory.

Community Oil Company - 6 Veranda Street - construction of outdoor advertising sign 22' x 25'

Community Oil Company - 1199 Congress Street - addition and alterations to gasoline filling station.

(for details of above appeals see copies of notices to property owners attached hereto)

In addition to the above, the Board of Appeals will also hear two appeals as follows relating to construction of metal fire escapes:

Mrs. George F. Ferguson - 134 Spring Street - unlawful encroachment upon side yard required to be 10 feet wide - ladder against wall would be only 7" from property line while lower rung of fire escape stairs at a lower level about 10" above the ground would be only about 3" from side property line.

Mrs. B. E. Foster - 137 Spring Street - additional encroachment upon the front yard space - brick wall of bay-window shaped front already encroaches upon this required yard space and is allowed to continue, however, zoning ordinance forbids any additional encroachments on the part of this front yard space and is now occupied.

BOARD OF APPEALS

Robert L. Getchell

Chairman

WARREN McDONALD
INSPECTOR OF BUILDINGS

On reply refer
to File
AP 1199 Congress Street-1
FU

CITY OF PORTLAND, MAINE
Department of Building Inspection

November 7, 1947

Community Oil Company
512 Cumberland Avenue
Mr. Charles A. Hill
531 Cumberland Avenue

Subject: Application for building permit to construct
construction of one-story addition to gasoline
filling station office at 1199 Congress Street
for Service Garage, and proposed zoning appeal
relating thereto

Gentlemen:

C
O
P
7
building permit for this addition is not feasible under the Zoning Ordinance because the property is located in a Local Business Zone, in which type of zone, according to Section 6A of the Zoning Ordinance, a filling station or service garage is an excluded use except as authorized by the Board of Appeals after the usual appeal procedure.

Also, the proposed addition would be only 5' from the rear property line and only 5' from the side property line instead of the least distance of 12' from the rear line and of 7' from the side line stipulated by Section 6B applying to Local Business Zones.

You have indicated that you wish to follow that procedure, and there is enclosed, therefore, an outline of the appeal procedure. A certain amount of time has to elapse between the filing of such an appeal and the required public hearing. If you wish to know the results of your appeal at an early date, I suggest that you file the appeal at the office of Corporation Counsel immediately.

Under the Building Code, you have made no mention of how the proposed addition was to be heated, but, presumably, the heating appliance is to be in the existing building. The plan shows the wall between the existing building and a proposed Service Garage to be one-hour fire resistance. Section 204f4 of the Building Code provides that this wall shall be of 2-hour fire resistance (this usually means a masonry wall) with no less than Class B (labelled) fire door made either automatic-closing or self-closing by liquid door closer.

Also under the Building Code an emergency exit door and doorway no less than 2' wide and no less than 6' 4" high will be required at the rear of the proposed addition for safe exit on the part of any workman who might be in the rear of the addition if fire should take place in a motor vehicle or otherwise nearer the large entrance doors and also cut off his escape via the door to the office. There may be other features in non-compliance with the Building Code, as we have not made a complete check pending decision of the Zoning question. Your architect should check over these features, so that all may be in order to avoid delay, if your zoning appeal should be successful.

Very truly yours,

Signed: WARREN McDONALD

Inspector of Buildings

/s/

Enclosure to Community Oil Co.: Outline of appeal procedure
Edward L. Gignoux, Assistant Corporation Counsel



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third

Portland, Maine, Dec. 31, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Real plan 4/20/48

PERMIT ISSUED

007211
MAY 12

CITY OF PORTLAND

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1199 Congress St. Within Fire Limits? no Dist. No.
Owner's name and address Community Oil Co. 531 Cumberland Ave Telephone
Lessee's name and address Telephone
Contractor's name and address Charles Hill, 531 Cumberland Avenue Telephone 2-4254
Architect Specifications Plans yes No. of sheets 1
Proposed use of building Service Station No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 6000.00 Fee \$ 4.00

General Description of New Work

To construct 1 story frame building 34'x26' for Service Station

This application is preliminary to get settled the question of zoning appeal. In event the appeal is sustained the applicant will furnish complete information, the estimated cost and will pay legal fee.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. 1/16/48
APPROVED TO Charles Hill

Details of New Work

Is any plumbing work involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Suds (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Community Oil Co.

Charles Hill

Signature of owner By:

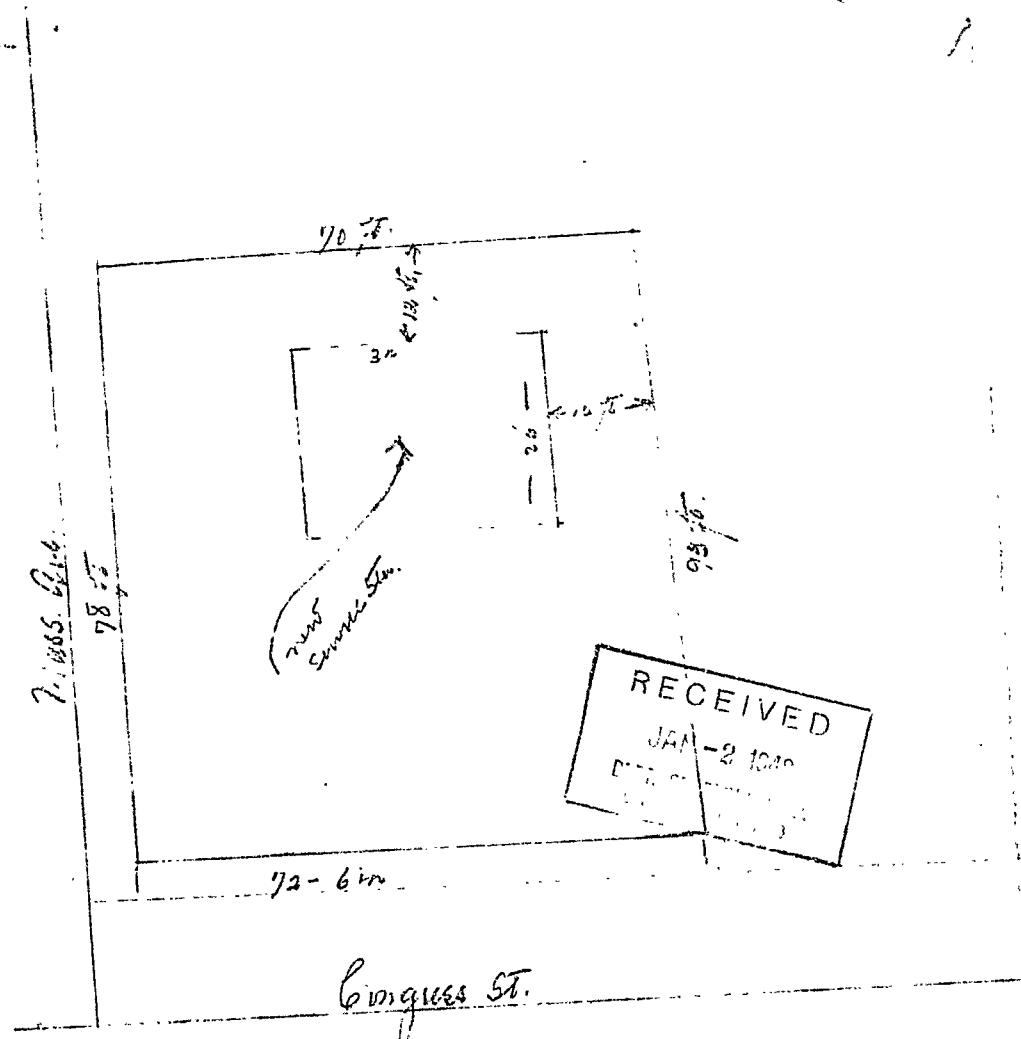
APPROVED:

INSPECTION COPY

Permit No. 48/ 820
Location 1199 Congress St.
Owner Community Oil Co.
Date of permit 15/ 12 /48
Notif. closing-in 6/23/48
5/26/48
Inspn. closing-in
Final Notif None
Final Inspn 5-18-49, S.C.
Cert. of Occupancy issued

NOTES

See notation attached (suspended)
red from 820



Scale 20 ft. = 1 in.

AP 1199 Congress Street-I

May 12, 1943

Mr. Charles Hill
521 Cumberland Avenue
Portland 4, Maine

Subject: Permit for construction of service station at 1199 Congress Street

Dear Sir:

The permit for the above work is issued herewith based on revised plan filed May 11 and subject to the conditions of the appeal sustained January 16, 1943 by the Board of Appeals. The following matters are called to your attention:

1. It is likely that the concrete slab forming the office floor will need to be made thicker where the brick walls of the heater room are to be supported on it, in order to prevent cracking of the slab due to the dead weight of the walls. If it has not already been done, it might be wise to check size of boiler room with heater to be installed in order to make sure that the room will be large enough to contain the equipment.

2. The warm air heater to be installed is required to be of the type specified in Section 20413 of the Building Code. Special attention should be given to the height of return air ducts above the floor and the requirement for taking not less than five percent of the air moved by the fan directly from out of doors. A separate permit issuable only to the installer is required for the installation of this heater.

Very truly yours,

Inspector of Buildings

AJS/s

CC: Community Oil Company
512 Cumberland Avenue

Mr. Fred C. Weislander
98 Preble Street

AP 1197 Cong Street-1

May 6, 1943

Mr. Charles Hill
512 Cumberland Avenue
Mr. Fred W. Weidman
531 Reble Street

Subject: Application for permit for construction
of service station at 1197 Congress Street

Gentlemen:

A check of the plans for the above work shows the following questions as to compliance with building code requirements:

- ✓ 1. If the rear wall of the building, including the office section and the eastern wall of the lubricatorium are closer than 30' to the lot lines, as seems likely, the windows in these walls are required to be metal mesh glazed with fire glass. See Section 204(b).
- ✓ 2. The enclosure of the boiler room is required to be by partitions of 2-hour fire resistance instead of the 1-hour separations indicated. If masonry is used for these partitions, a structural metal instead of metal covered wooden frame is required for the Class B fire door. Since the partition between the office and lubricatorium is not to be built as a fire separation and is not so required because the area of the entire building is less than 500 square feet, the fire door shown in the opening in this partition is not required and the threshold shown in the doorway may be provided at entrance to boiler room if desired.
- ✓ 3. It is not clear what kind of heat is to be used in heating the building. Limitations of type of heating systems allowable for use in this service garage, as specified in Section 204 of the building code, should be noted.
- ✓ 4. The grease trap to be provided for the floor drain in lubricatorium is required to be a type approved by the Chief of the Fire Department.
- ✓ 5. Cross bracing is required at the center of the span of all roof joists. Wherever the studs in walls and carrying partitions are over 10' in height, they are required to be adequately cross braced.

Upon receipt of revised plans showing the boiler room arrangements in compliance with Building Code requirements and approval of the revised plat plan, we should be able to issue the permit for the work.

Very truly yours,

Inspector of Buildings

AJS/S

CC: Community Oil Company
531 Cumberland Avenue

INTER-OFFICE CORRESPONDENCE

CITY OF PORTLAND, MAINE

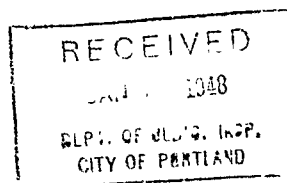
File: Appeal of Community
Oil Company, 1199
Congress Street

BUILDING INSPECTOR

January 21, 1948

To: Robert L. Gatchell, Chairman
Zoning Board of Appeals
9A Forest Avenue

From: Warren McDonald
Inspector of Buildings



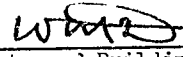
Subject: Issuance of building permit to Community Oil Company under sustained appeal for new filling station building at 1199 Congress Street, corner of Massachusetts Avenue

The order granting the appeal of Community Oil Company reads in part: "it is, therefore, determined, that exception to the Zoning Ordinance may be permitted in this specific case provided the plans for the proposed new filling station and service garage shall be first approved by the Inspector of Buildings and the Chairman of the Board of Appeals".

From the discussion, while I was present, I gathered that the Board was mainly concerned with the layout of the rejuvenated filling station, rather than the details of the building. Such the issuance of the building permit would be confined. No doubt Community Oil has received a copy of this sustaining order, and it seems necessary that I notify them what this proposition of approval by you and myself really means. As I have such a letter in mind, there is one question in doubt.

Mention was made during discussion by the Board of Appeals of the matter of paved sidewalks and curbing on the two street frontages of the corner lot, it being the idea that requiring the sidewalks to be paved and the curbs to be provided as part of the sustaining of the zoning appeal would be to control the approaches to the station and thus keep motor vehicles from driving over the public sidewalk in all directions and entering at any place they saw fit. I do not know, however, that the Board intended to insist upon this paving of the sidewalks and curbing.

Will you be kind enough to write on this letter what your understanding is of this proposal, ^{and return} so that if the Board is to insist on the paved sidewalks and curbing, I may mention that fact in my letter to Community Oil, so that they will know the whole story from the outset, and if necessary show the paved sidewalks and curbing and the driveway approaches through the curb on their layout plan which, I understand, you and I must approve before any building permit whatever is issued.


Inspector of Buildings

WmCD/S

Encl: Stamped envelope

The Appeal Board insists on paved sidewalks and curbing. ✓
The Appeal Board does not intend to require paved sidewalks and curbing. _____

AP 1199 Congress Street-I

January 23, 1948

Community Oil Company
512 Cumberland Avenue
Mr. Charles Hill
531 Cumberland Avenue

Subject: Application for building permit and zoning appeal relating to construction of new filling station building and service garage at 1199 Congress Street, corner of Mass. Ave.

Gentlemen:

Probably the owner has already received a copy of the action of the Board of Appeals under the Zoning Ordinance relating to the above subject, and it will be noted therefrom that there is a condition attached to issuing the building permit as follows: "provided the plans for the proposed new filling station and service garage shall be first approved by the Inspector of Buildings and the Chairman of the Board of Appeals".

Apparently the reason for this proviso is that the Board at the public hearing had nothing in their possession except the location plan of the proposed new building and a photograph of the existing building. The Board was not furnished any information as to the layout of the lot, other than the location of the building upon it, nothing with regard to location of tanks, pumps, approaches from public streets etc.

No doubt the reason for this requirement as to approval of the plans is to give opportunity to get the arrangements in and about the station fixed to the satisfaction of the Board without the delay of another hearing. I have been instructed to the effect that the Board will insist on the sidewalks on both street frontages being paved, curbs provided and the usual approach and driveway through the curb and across the sidewalks.

I am writing to you 1/23/48
The next step seems to be for you to have prepared a plat plan which will show the pavings of the sidewalks, the curb, the location and width of driveway approaches through the curb and over the sidewalk and also all important appurtenances proposed about the station as to the location of pumps and tanks, the capacity of tanks, the number of pumps, especially the location of and arrangements for crank case oil disposal, the location of any flood lights proposed and all other pertinent features.

I also note that pending decision of the Board of Appeals, no estimated cost of the building was given and therefore no building permit fee paid.

With the filing of the plat plan as above for consideration should also be given the estimated cost of the building and the building permit fee paid. Please bear in mind that should more than six months elapse from the date of the action of the Board of Appeals without any work being started, or should one year elapse from that date without the work being completed and the station substantially put in operation, all rights under the action of the Board on the appeal will be dissipated.

Very truly yours,

Inspector of Buildings

WKC/D/S

CC: Mr. John Devine
102 Exchange Street

AP 1199 Congress Street-1

November 7, 1947

Community Oil Company
512 Cumberland Avenue
Mr. Charles A. Hill
531 Cumberland Avenue

Subject: Application for building permit to cover
construction of one-story addition to gasoline
filling station office at 1199 Congress Street
for Service Garage, and proposed zoning appeal
relating thereto

Gentlemen:

Building permit for this addition is not issuable under the Zoning Ordinance because the property is located in a Local Business Zone, in which type of zone, according to Section 61 of the Zoning Ordinance, a filling station or service garage is an excluded use except as authorized by the Board of Appeals after the usual appeal procedure.

Also, the proposed addition would be only 5' from the rear property line and only 5' from the side property line instead of the least distance of 12' from the rear line and of 7' from the side line stipulated by Section 62 applying to Local Business Zones.

You have indicated that you wish to follow that procedure, and there is enclosed, therefore, an outline of the appeal procedure. A certain amount of time has to elapse between the filing of such an appeal and the required public hearing. If you wish to know the results of your appeal at an early date, I suggest that you file the appeal at the office of Corporation Counsel immediately.

Under the Building Code, you have made no mention of how the proposed addition was to be heated, but, presumably, the heating appliance is to be in the existing building. The plan shows the wall between the existing building and a proposed Service Garage to be one-hour fire resistance. Section 20417 of the Building Code provides that this wall shall be of 2-hour fire resistance (this usually means a masonry wall) with no less than Class B (labeled) fire door made either automatic-closing or self-closing by liquid door closer.

Also under the Building Code an emergency exit door and doorway no less than 2' wide and no less than 6' 4" high will be required at the rear of the proposed addition for safe exit on the part of any workman who might be in the rear of the addition if fire should take place in a motor vehicle or otherwise nearer the large entrance doors and also cut off his escape via the door to the office. There may be other features in non-compliance with the Building Code, as we have not made a complete check pending decision of the Zoning questions. Your architect should check over these features, so that all may be in order to avoid delay, if your zoning appeal should be successful.

Very truly yours,

Inspector of Buildings

WMC./S

Enclosure to Community Oil Co.: Outline of appeal procedure
CC: Edward L. Gignoux, Assistant Corporation Counsel



(L) LOCAL ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, October 27, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~alter~~ ~~rebuild~~ ~~reconstruct~~ the following building ~~and~~ ~~in accordance with the Law of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:~~

Location 1199 Congress Street Within Fire Limits? no Dist. No. _____
Owner's name and address Community Oil Co., 512 Cumberland Ave. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Charles A. Hill, 531 Cumberland Ave. Telephone 2-4254
Architect Fred G. Weislander Specifications _____ Plans yes No of sheets 1
Proposed use of building Service Station No families _____
Last use _____ No families _____
Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot none
Estimated cost \$ 3500 Fee \$ 4.50

General Description of New Work

To construct lubritorium 16' x 28' one story

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Charles A. Hill

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Height average grade to top of plate 12' 6" Height average grade to highest point of roof 14' 6"
Size, front 16' depth 28' No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation Concrete trench wall Thickness, top 10" bottom 12" cellar no
Material of underpinning none below grade _____ Height _____ Thickness _____
Kind of roof pitch Rise per foot 6" Roof covering Asphalt Class C Und. Lab.
No. of chimneys none Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
Girders _____ Size _____ Column under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Br. in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x6
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 16"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Community Oil Co.

Signature of owner by: Charles A. Hill

INSPECTION COPY

Permit No. 47/
Location 1199 Congress St
Owner Community Bd Co
Date of permit 10/ 142
Notif. closing-in
Inspn closing-in 6/2/43
Final Notif. 6/2/43
Final Inspn.
Cert. of Occupancy issued

NOTES

* 6' deep by 1' wide trench
excavated under apt
electrical work. Heat
etc. to be installed
to supply for ducts
planned. Also
for the Community Center
in front of 1199 Congress St
in building adjacent to
has 2" clearance from Co
11/12/43. Not completed
yet. see at 1199



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Permit No. _____

Portland, Maine, June 17, 1945

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1180 Commercial Street Within Fire Limits? no Dist. No. _____
Owner's or leasee's name and address Community Oil Co., Inc. 512 Cumberland Ave. Telephone _____
Contractor's name and address Charles Hill, 521 Cumberland Ave. Telephone 2-4254
Architect _____ Plans filed Yes No. of sheets 1
Proposed use of building Service Station No. families _____
Other buildings on same lot _____
Estimated cost \$ 975 Fee \$ 2.00

Description of Present Building to be Altered

Material Frame No. stories 1 Heat _____ Style of roof _____ Roofing _____
Last use Office building No. families _____

General Description of New Work

To construct 1 story frame addition 16'x25' to side of office building.
Cut in new door between office building and new lubricatorium with threshold raised at least 6"

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? yes Height average grade to top of plate 12'
Size, front 16' depth 25' No. stories 1 Height average grade to highest point of roof 18'
To be erected on solid or filled land? solid earth or rock? earth
Material of foundation concrete Thickness, top 10" bottom 12" cellar no
Material of underpinning " to sill sill at least 4' above grade Height _____ Thickness _____
Kind of roof pitch Rise per foot 7" Roof covering asphalt roofing Class C Ind. Leb.
No. of chimneys one Material of chimneys _____ of lining _____
Kind of heat none Type of fuel _____ Is gas fitting involved? _____
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 1x4 Sills 1x6 Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x6
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 16"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner By: Chas a Hill

ORIGINAL

Permit No. 4451
Location 1199 Congress St.
Owner Community Col. Co.
Date of permit 6/14/5
Notif. closing-in _____
Inspn closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____

NOTES

File: 107/521-1

June 25, 1967

Very truly yours,
Very truly yours,
Very truly yours,

Gentlemen:

First, I am sorry to hear that the tank is located on the property of the Airport Oil Co. and that it is a great nuisance to the neighborhood. I am sure that the tank is a great nuisance to the neighborhood and that it is a great nuisance to the neighborhood.

I am sure that the tank is a great nuisance to the neighborhood and that it is a great nuisance to the neighborhood. I am sure that the tank is a great nuisance to the neighborhood and that it is a great nuisance to the neighborhood.

I am sure that the tank is a great nuisance to the neighborhood and that it is a great nuisance to the neighborhood. I am sure that the tank is a great nuisance to the neighborhood and that it is a great nuisance to the neighborhood. I am sure that the tank is a great nuisance to the neighborhood and that it is a great nuisance to the neighborhood.

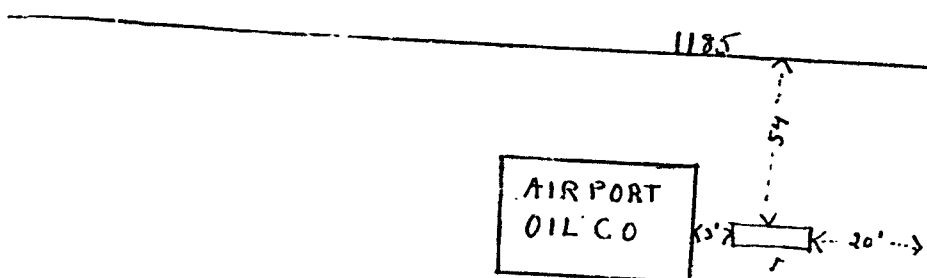
I am sure that the tank is a great nuisance to the neighborhood and that it is a great nuisance to the neighborhood. I am sure that the tank is a great nuisance to the neighborhood and that it is a great nuisance to the neighborhood. I am sure that the tank is a great nuisance to the neighborhood and that it is a great nuisance to the neighborhood.

Very truly yours,

Inspector of Buildings

YCH/H
CC: Airport Oil Co.
1199 Congress Street

1115 Congress St West →.



550 gallon tank for kerosene

Installation by Valvoline Oil Co.
El Bradbury - Cyt.



APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Kerosene Storage

Portland, Maine, March 17, 1942

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ install the following building structure equipment in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1199 Congress Street Ward 8 Within Fire Limits? no Dist. No. _____
Owner's or Lessee's name and address 1199 Airport Oil Co., 1125 Congress St. Telephone _____
Contractor's name and address Valvoline Oil Co., P. O. Box 1800 Telephone 2-7818
Architect's name and address _____
Proposed use of building _____ No. families _____
Other buildings on same lot _____
Plans filed as part of this application? yes No. of sheets 1
Estimated cost \$ 50. Fee \$ 50

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ No. families _____

General Description of New Work

To install one 550 gallon tank for kerosene, tank bears Unit. Lab. will be at least 3' below grade, tank is coated with asphaltum

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Airport Oil Co.
By Valvoline Oil Co.

CHIEF OF FIRE DEPT.

George L. Bradley
Ag't

Ward 8 Permit No. 37/315
Location 1189 Congress St.
Owner Airport Oil Co
Date of permit 3/20/37
Notif. in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued

3/15/37 - Garage limit as
26/11/54 - Nov 10/1936 as
for garage not
5/4/37 same as above
4/16/37 same as above
4/22/37 same as above
5/6/37 same as above
5/12/37 same as above
6/1/37 same as above
6/24/37 The attendant
said it was doubtful
if this installation is
made. Tank has been
on premises for some
time. Cld.
6/25/37 - Letter 109



APPLICATION FOR PERMIT

Permit No. PERMIT 0364Class of Building or Type of Structure Third Class MAY 3 1937

Portland, Maine, May 2, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1199 Congress Street Ward 8 Within Fire Limits? NO Dist. No. _____
Owner's or Lessee's name and address Airport Oil Co, 1199 Congress St. Telephone _____
Contractor's name and address A. DiMillo, 27 Everett Street Telephone 4-0905
Architect's name and address _____
Proposed use of building Filling Station Office No. families _____
Other buildings on same lot _____
Plans filed as part of this application? no No. of sheets _____
Estimated cost \$ 50. Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 1 Heat stove Style of roof _____ Roofing _____
Last use Filling Station Office No. families _____

General Description of New Work

To remove present cedar posts under building and replace with stone in mortar trench wall below from

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ card or rock? _____
Material of foundation stone in mortar trench wall 4' below ground Thickness, top 18" bottom 16"
Material of underpinning brick Height 12" Thickness 6"
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? NO
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Airport Oil Co.
Signature of owner By A. DiMillo

72245

Ward 8 Permit No. 37/564
Location 1199 Congress St.
Owner Ringier Oil Co
Date of permit 5/3/37
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 5/13/37
Cert. of Occupancy issued None

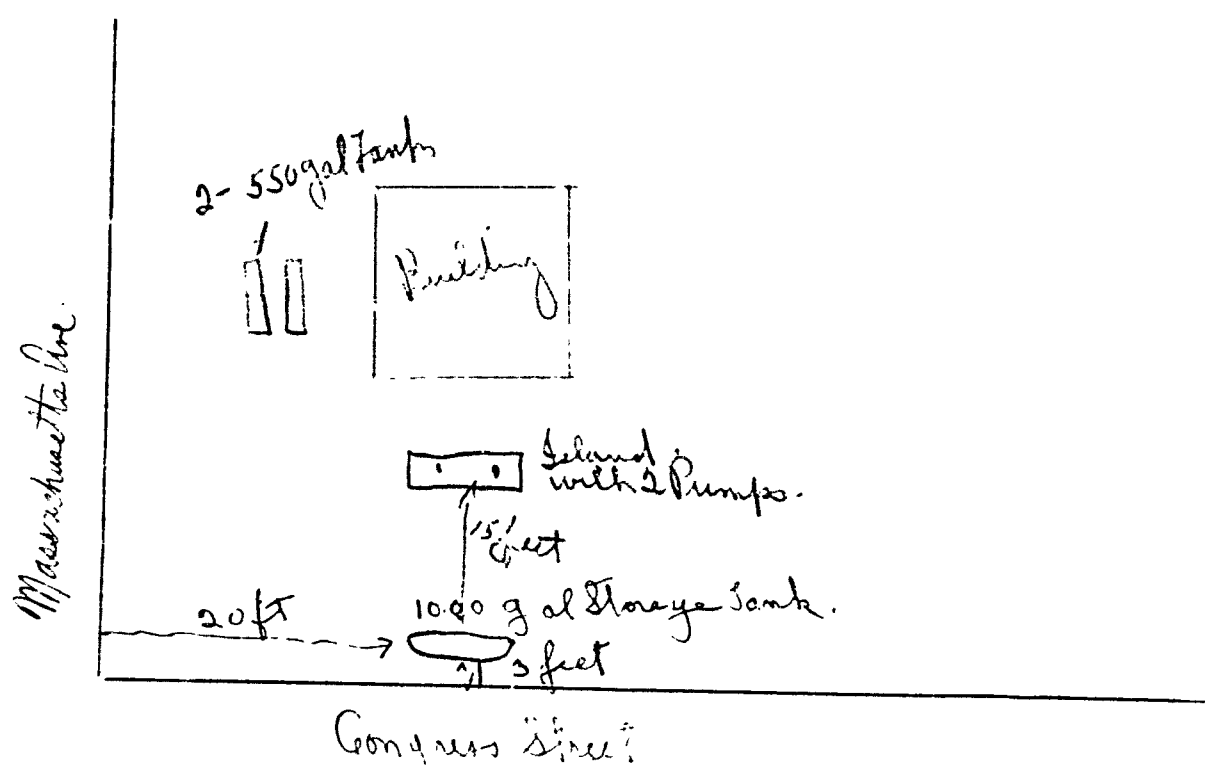
NOTES

5/4/37 - Accounting -
A.G.B.

5/8/37 - Laying wall -
A.G.B.

5/10/37 - Same A.G.

5/13/37 -





APPLICATION FOR PERMIT

Class of Building or Type of Structure Gasoline Installation

Portland, Maine, July 31, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1137 Congress Street Ward E Within Fire Limits? no Dist. No. _____
Owner's name and address Sam Katz, 1137 Congress St. Telephone _____
Contractor's name and address Maxim Tire & Oil Co., 195 Forest Ave. Telephone 3-2862
Architect's name and address _____
Proposed use of building Filling Station No. families _____
Other buildings on same lot _____
Plans filed as part of this application? yes No. of sheets 1
Estimated cost \$ 75. Fee \$.50

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use Filling Station No. families _____

General Description of New Work

To install one 1000 gallon tank for gasoline, additional installation, public use, tank to be at least 8' below grade, No. 12 galv. pipe, will be coated with asphaltum, minimum diameter of piping tank to pump 1 1/2"

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. storage applied for

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY Sam Katz Signature of owner By Maxim Tire & Oil Co.
By J. S. Hoar

CITY OF PORTLAND, ME.

Ward 8 Permit No. 36/1160

Location 1197 Congress St.

Owner Sam H. + 2

Date of permit 7/31/36

Notif. closing-in 11/25/36 11:10 AM

Inspn. closing-in

Final Notif.

Final Inspn. 11/25/36 CDB

Cert. of Occupancy issued *None*

See plan NOTES

See appeal at this location
at the date held in
reference to the Leighton
and and agreed today
that it was best to
bring tank and get
it out of sight and
11/23/36. Work will be done if
the tank is all right before
being moved. Done

3882 Dam
8/13/36 - Tank was
manufactured by Cabel
stating that it is a
1000 gal. tank built
of 1 1/2 in. steel.
Sold filling station
attendant that it is

OK - G.S.
8/28/36. Tank not moved
yet. CDB
9/8/36. Tank 2000
9/25/36. Same. CDB
11/25/36. Tank ready to
close in. CDB.



City of Portland, Maine

*Action deferred at
request of appellant.
wmD 7/1/36*

Appeal to the Municipal Officers to Change the Decision of the
Inspector of Buildings Relating to the Property Owned
by Portland Savings Bank at 1197-1201 Congress Street

June 10, 1936

To the Municipal Officers:

Your appellant, Myer Gope, who is the Prospective owner of property at 1197-1201 Congress Street respectfully petitions the Municipal Officers of the City of Portland to change the decision of the Inspector of Buildings relating to this property, as provided by Section 13, Paragraph c, of the Zoning Ordinance, on the ground that the enforcement of the ordinance in this case involves unnecessary hardship and because relief may be granted without substantially derogating from the intent and purpose of the Zoning Ordinance.

The decision of the Inspector of Buildings denies a permit for a one story frame addition 10' x 16' on rear of the existing building on the ground that the size of the proposed addition is larger than the 20% increase in volume permissible to be added to a building of non-conforming use in the Limited Business Zone where the property is located.

The reasons for the appeal are as follows: The appellant finds the existing building is not large enough to store the necessary equipment and supplies in connection with his work at this filling station, and it is his belief that this proposed addition will not prove objectionable or detrimental to the surrounding property.

File: Rec. 6325B-I

July 28, 1936

Mr. Myer Cope,
124 Franklin Street,
Portland, Maine

Dear Sir:

With relation to your appeal in connection with 1197 Congress Street, on July 29th no action was taken upon the appeal because of your request that action be deferred.

Will you be kind enough to let me know before Friday, July 31, 1936 what your plans are concerning this appeal and the conditions of the filling station complained of by the neighboring property owners so that some conclusion may be reached as to what should be done, if anything, at the City Council meeting on August 3, 1936.

I am holding your application for a storage license for gasoline on these premises, which requires my approval under the zoning law, to see what is to be done to clear up the conditions which seem to be unsatisfactory from the standpoint of the neighborhood. We have no application for a permit to cover installing the tank which you mentioned to me at the time of the hearing. You are probably aware that a permit from this department is required before the tank may be buried from view for the purpose of storing gasoline in it.

If you desire this permit, please make application for it, or have the man that is to do the work make application for it, so that I may take the question up with the Committee on Friday as to whether or not they desire this permit for installing the tank to be granted.

Very truly yours,

McD/H
CC: Portland Savings Bank

Inspector of Buildings

PUBLIC HEARING ON THE APPEAL OF MYER COPE AS PROSPECTIVE OWNER OF THE
PROPERTY AT 1197-1201 CONGRESS STREET, COR. MASS. AVE.

July 17, 1936

A public hearing on the above appeal was held before the Committee on
Zoning and Building Ordinance Appeals today. Present for the City were Chairman
Leighton, Councilor Ward and the Inspector of Buildings.

Mr. Albert C. Hobbs, representing the Portland Savings Bank's owner and
Mr. Cope appeared in support of the appeal. Mr. Hobbs merely stated that he
represented the owner, that the owner was willing that the proposed changes should
be made and that Mr. Cope was actually planning to buy the property.

Mr. Cope said that he wanted the addition to store separate stock in
connection with the filling station, the stock now being largely stored out doors;
that he was fixing the property planning to cover all of the ground area out-
side of the building with gravel. He said that he has been operating this
station since the first part of September 1935.

Judge Joseph W. Connolly appeared representing a large number of
property owners and residents in the vicinity in opposition to the appeal.
Judge Connolly thought by questioning Cope and by questioning various property
owners present to develop that the property and the building has not been kept
clean; that one or more old tanks are exposed to view on the premises; that
boys perhaps as many as 20 hang around the premises a great deal of the time;
that Cope has no power to stop them; that Cope is on the premises about one
hour a day and that he employs a 17 year old boy to run the station; that some
of the neighbors at least signed the original petition or consents for the
filling station under the misapprehension that the petitioners were to erect
an ornamental station and keep a clean, quiet and satisfactory establishment,
and that the representations of the original petitioner had not been kept.

Judge Connolly presented a petition protesting against sustaining the
appeal from a large number of property owners (petition attached to these
minutes). He questioned Mrs. Smith who owns the property directly in the rear
of the filling station said that the filling station was never kept clean, that
it distributed a lot of noise to the neighborhood; Glenn C. Rich, representing
Dewer Rich; Mr. Densmore who estimated the value of his property in the vicinity
at \$15,000. Judge Connolly emphasized the fact that the people opposing the petition
have no desire to put a hardship on anyone or to deprive any persons of their
livelihood but were merely present to represent and protect their interests in
the surrounding property.

Mr. Ward asked Judge Connolly if he thought his clients would be willing
to withdraw their objections if the filling station proprietor could produce
satisfactory evidence that the station would be cleaned up, kept clean and operated
in a reasonably quiet and efficient manner in the future. Judge Connolly replied
that he did not know the attitude of his clients but that probably if the station
could be straightened out and operated in a reasonably satisfactory manner the
objections to the addition would be withdrawn. He added that if the situation was
not cleared up satisfactorily it was quite possible that a petition would be presented
to the City Council to force discontinuance of the station.

Warren McDonald

CITY OF PORTLAND, MAINE
BOARD OF MUNICIPAL OFFICERS
COMMITTEE ON ZONING AND BUILDING ORDINANCE APPEALS

July 7, 1936

To Whom It May Concern:

The Committee on Zoning and Building Ordinance Appeals of the Board of Municipal Officers will hold a public hearing at the City Council Office, Room 32, City Hall at 11:00 o'clock, Daylight Saving Time, Friday, July 17, 1936 upon the appeal of Myer Cope who seeks the right to construct a one story frame addition 10 feet by 16 feet on the rear of the existing filling station building at 1197-1201 Congress Street, corner of Massachusetts Avenue.

The right to construct and maintain this existing gasoline filling station and building was granted by special action of the City Council, such use being non-conforming in the Limited Business Zone where the property is located. For this reason it is not possible for the Inspector of Buildings to issue a permit to cover the construction of the addition, because the proposed addition exceeds the 20% in volume allowance for increase in a non-conforming use.

All persons interested either for or against this appeal will be heard at the above time and place, this notice having been sent to the owners of property within 500 feet of the premises in question, as required by law.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS

Adam P. Leighton, Chairman

Congress St.

1154	Congress St.	Walter C. Keniston - 12 Wood St
1168	"	Hattie A. Cummings - 1134 Congress
1176	"	Geo. H. Richards - 1172 Congress St
1182	"	Amelia A. Curran - 1182 Congress
1186	"	Edw. C. Rich - 1174 Congress
1190	"	Demetrius Rich - 1150 Congress
1216	"	Wallace F. Roberts - 1218 A Congress
1232	"	James & Nellie O'Brien - 19 Pleasant St
1236	"	Charles Realty Imp. Co. Westbrook
1157	"	Catherine B. Lartigue - 7 Florence St
1161	"	Beard M. Johnson - 32 Oakland St
1167	"	Electra H. Dickett - 11 R. - Naples Inc
1171	"	Jessie R. " - 11 R. - "
1183	"	Joseph F. Harrington - 11 Valley St
1189	"	Helen R. Randall - 11 R. - 1189 Congress St
1193	"	Martin H. Lyden - 121 Bradley
1197	"	Portland Savings Bank - 481 Congress
1205	"	Michael J. Greene - 35 Congress St
1213	"	Clay F. Mc Donough - 5 Bolton St
1227	"	Frank P. Cummings - 124 Pleasant St
1233	"	Maine Savings Bank - 246 Middle St
1239	"	Margaret H. Rogers - 1179 Congress St

Longwood St. Contd.

Location	Owner	Address
78-80 Longwood St.	John J. Flaherty	79 Longwood St.
82-88 " "	Mass. Fernald	84 " "
9-11 Longwood St.	William E. Butler	11 Longwood St.
13-15 " "	William J. Kemp	15 " "
17-19 " "	Eastern Real Est. Co.	975 Congress St.
21-23 " "	John W. Smith	925 Congress St.
25-31 " "	} see Congress St.	
37-41 " "		
43-45 " "	Francis E. Stinson	Springvale Ave.
47-49 " "	John H. Rich	156 Washington Ave.
51-53 " "	Robert Brown, Conservator	Rutland Ave.
57-59 " "	Baron W. Hinton	63 Longwood St.
69-71 " "	Edward A. Smith	71 Longwood St.
73-75 " "	Minnetta M. Libby	115 Union Ave.
77-79 " "	Bridget A. Flaherty	old Orchard
81-83 " "	" " "	43 Longwood St.

Massachusetts Ave. 2-42-
1-45-

4-10 Mass. Ave.	Michael J. Greene	
12-14 " "	Napoleon E. Barthold	12 Mass. Ave.
16-22 " "	} George Eric Simmons	18 " "
24-26 " "		
28-30 " "	Mary A. O'Connor	
32-34 " "	John A. McCarthy	So. Portland
	Constance R. Davis	38 Mass. Ave.

Mass. Cor. Contd.

Location	Owner	Address
36-38 Mass. Ave.	Marion M. Davis	38 Mass. Ave.
40-42 " "	George C. Blinn	42 " "
7-9 Mass. Ave.	Louise R. Smith	9 Mass. Ave.
11-13 " "	Mary Gae	11 Mass. Ave.
15-17 " "	Samuel & John Danvers	7 Ashmun St.
19-21 " "		" "
23-25 " "	Frederick P. Worthington	25 Mass. Ave.
27-29 " "	Philip T. Blake	9 Ashmun St.
31-33 " "	Elvira S. Dionne	31 Mass. Ave.
35-37 " "	James Pierce	123 Congress St.
39-41 " "	Howard H. Hemen	55 St. Stephen St.
43-45 " "	Francis M. O'Neill	45 Mass. Ave.

Sewall St. 2-24

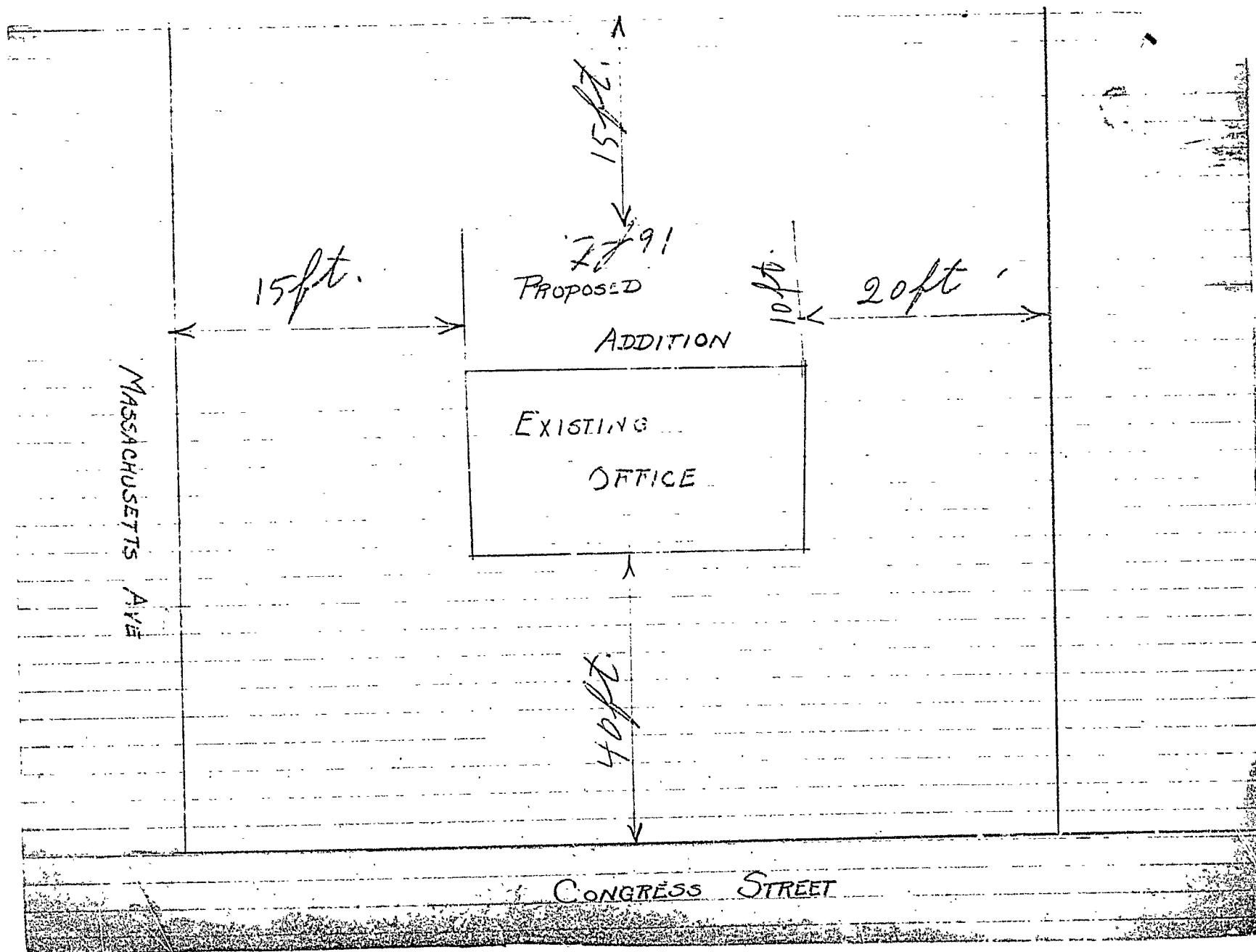
2-8 Sewall St.	Su Cousens	
10-12 " "	George K. Rogers	1239 Congress St.
14-16 " "	John H. Rogers	479 Congress St.
20-24 " "	Blanche H. Van Blarcom	24 Sewall St.

Wood St 1-19 ✓
2-10 ✓

Name	Owner	Address
1-7 Wood St	Hattie C Cummings	
9 " " ?	Master Henry Lyden	70 Gage St
11-13 " "	Edmund R. Lyden	113 Wood St
15-17 " "	Charles E. & Melina S. Robinson	15 " "
19-25 " "	Main Savings Bank	

2-8 Wood St	Matilda E. Kuster	
10-12 " "	George W. Kuster	12 Wood St

Myer Cope - 124 Franklin St



RESPECTFULLY REQUESTING: The undersigned that they are resident at the several addresses given below; that said residences are within five hundred feet of the property 1197-1201 Congress Street; that the gasoline filling station now conducted at said address is an eye sore and detrimental to any increase in value of other property in said vicinity; that they object to any further waiver of the restrictions of the building zone ordinance as applied to this section and pray that the appeal of Myer Cope from the decision of the Building Inspector be denied.

NAME

ADDRESS

1148 Congress St
1198 Congress St
1186 Congress St
1186 Congress St
1170 Congress St
1170 Congress St
1176 Congress St
15 Congress St
15 Congress St
1218 Congress St
1218 Congress St

NAME

ADDRESS

1170 Congress St
1170 Congress St
1218 Congress
1218 Congress
20 Patton St
20 Patton St
1185 Congress
1185 Congress
1191 Congress
1191 Congress
31 Mass.
1182 Congress
1182 Congress

TO THE HONORABLE MEMBERS OF THE CITY COUNCIL:

TO THE HONORABLE

RESPONDENT: I submit the undersigned that they are resident at the several addresses given below; that said residences are within five hundred feet of the property 110-111 of Congress Street; that the gasoline filling station is conducted at said address is an eye sore and detrimental to any increase in value of other property in said vicinity; that they object to any further extension of the restrictions of the building zone ordinance as applied to this section and pray that the appeal of Myer Cope from the decision of the Building Inspector be denied.

units

NAME
Walter H. Lydell
Special Agent in Charge

William D. Russell

James C. Howell

Carl Hansen

~~7/11~~ 7/11 - Greenlee
Proctor & Gentry
HENSE

W. J. Green

Chas. E. Gooding

Chap. 12

Walter L. Leland

2000

~~W. A. S. Hall~~

~~CONFIDENTIAL~~

9. Sal & pepper

David C. Smith
1111 1/2 Ave. K.

1890

G. C. Whitworth

Herland Loren 9 Bl' d' Uson

TENANTS

DISS
1513 Bradley St
The Dalles, W. Y.

Y. I. S. S.

1912

62. 2. 10
57. 2. 10

57 4000
46 10000 Ave

42 March

42 1/2
1791 George

69. THIRSS

Q. 1. R. 1. 1. 1. 1.

Cash

10. 10. 1911

4. 1. 1950

11/11

13 9/10 - 10/10

13 11/10/19

1193 Congress

ΣΤ Χανς

1173260

11 Mass. Ct.

185 Middle



LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Third Class

Portland, Maine, June 10, 1936
Supersedes app/ 6/5/36

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1197 Ward 3 Within Fire Limits? no Dist. No. _____
Owner's or Lessee's name and address Portland Savings Bank, 495 Congress St. Telephone _____
Contractor's name and address Myer Cope, 124 Franklin St. Telephone 4-5025
Architect's name and address _____
Proposed use of building Filling Station Office No. families _____
Other buildings on same lot _____
Plans filed as part of this application? yes No. of sheets 1
Estimated cost \$ 50. Fee \$ 50

Description of Present Building to be Altered

Material wood No. stories 1 Heat _____ Style of roof _____ Roofing _____
Last use Filling Station Office No. families _____

General Description of New Work

To erect one story frame addition 10' x 18' on rear of building
Outside walls to be covered with metal

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front 16' depth 10' No. stories 1 Height average grade to top of plate _____
To be erected on solid or filled land? solid earth or rock? earth Height average grade to highest point of roof _____
Material of foundation cedar posts Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof flat Rise per foot 1" Roof covering Asphalt roofing Class C Und.
No. of chimneys no Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor dirt, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

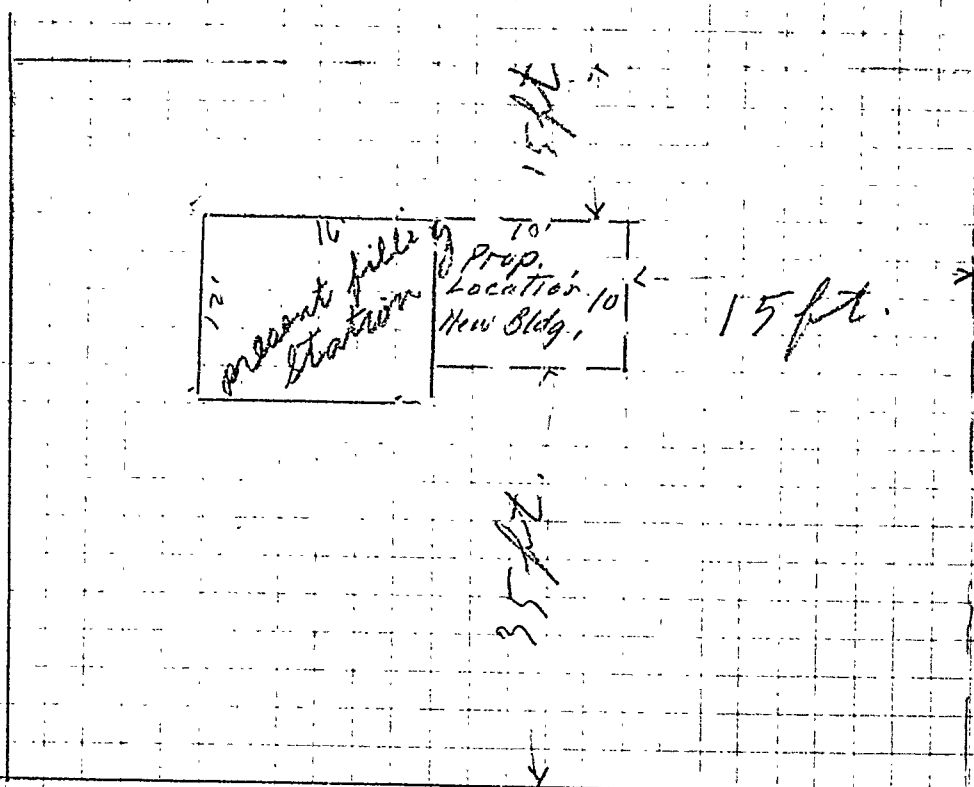
Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? _____

above work a person competent to _____ the State and City of _____

Signature of owner _____

Nass. Ave



Congress St

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for retail store
at 1269-1281 Congress Street

Date 6/5/36

1. In whose name is the title of the property now recorded? *Portland Savings Bank*
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? *yes*
3. Is the outline of the proposed work now staked out upon the ground? *yes* If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced?
4. What is to be maximum projection or overhang of eaves or drip? *6"*
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? *yes*
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? *yes*
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? _____

Myer Cope



(7) LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Third Class

Portland, Maine, June 5, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1268-1281 Congress Street (see 1197-1201 Congress Street) Ward 8 Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address Portland Savings Bank, 485 Congress St. Telephone _____

Contractor's name and address Myer Cope, 124 Franklin Street Telephone 4-5025

Architect's name and address _____

Proposed use of building Fillmation office and store No. families _____

Other buildings on same lot _____

Plans filed as part of this application? yes No. of sheets 1

Estimated cost \$ _____ Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 1 Heat no Style of roof flat Roofing Asphalt

Last use Office (The Portland Co.) No. families _____

General Description of New Work

To move one story building 10' x 10' from 58 Fore Street to above location, this building to be placed adjoining existing filling station building, but there is to be no doorway between the two and the new addition is to be used exclusively as a retail store, not as an adjunct to the filling station on the same property. There will be no heat in the addition for the present at least.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
Height average grade to highest point of roof _____

To be erected on solid or filled land? 4' below grade of ground

Material of foundation concrete under posts Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys no Material of chimneys _____ of lining _____

Kind of heat no Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Portland Savings Bank

Signature of owner Myer Cope

SECTION COPY

Permit No. 36/
on 1247 1/2 E. Engle St.
Owner Portland Savings Bank
Date of permit 6/ 1/36
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued

NOTES



IN LIMITED BUSINESS ZONE Permit No. 447
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, December 12, 1935

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1185 Congress Street Ward 8 Within Fire Limits? no Dist. No. _____
(Old No.) _____
Owner's or Lessee's name and address Myer Cope, 124 Franklin Street Telephone 4-0960
Contractor's name and address not let Telephone _____
Architect's name and address _____
Proposed use of building Filling Station Office No. families _____
Other buildings on same lot _____
Plans filed as part of this application? no No. of sheets .25
Estimated cost \$ 25 Fee \$.25

Description of Present Building to be Altered

Material wood No. stories 1 Heat none Style of roof _____ Roofing _____
Last use Filling Station Office No. families _____

General Description of New Work

To build one outside brick chimney
The brick work of the chimney is to be corbelled so as to pass through the outside wall of the building at the point where the smokepipe enters so as to obviate the need of carrying the smokepipe through the outside wall.
To partition off toilet room app. 4' x 5' in one corner of building, cutting in new window at least three square feet in area for ventilation of same
Entire inside of building to be finished with wall board

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation concrete Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys 1 Material of chimneys brick of lining tile
Kind of heat stove Type of fuel oil Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Myer Cope

INSPECTION COPY

Ward 8 Permit No. 35/2117

Location 1281 Congress St

Owner Mye Cope

Date of permit 12/12/35

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued None

NOTES

12/16/35 - Toilet room
positioned up and
window cut in. No
work on chimney
started. A.G.P.

12/18/35 - No work on
chimney started.
A.G.P.

12/19/35 - Went over
corbelling the wall
with mason - A.G.P.

2/3/36 - Chimney Frost
high enough as it
is not at least 6"
higher than any
roof surface within
10' measured hori-
zontally. Also the

corbelling.

6/10/36 - Mr. Cope
said he would
take care of chim-
ney - A.G.P.

Henry Rand & Theodore Lundland
 1149 - 1157 Congress St. Conf.
 Mass Ave 7/20/24

Rafter

2x6 on 14' span gird for 128#

$$14 \times 2 \times 30 = 840$$

$$14 \times 1.67 \times 30 = 701$$

Will use 2x8 - 2x" OC

$$14 \times 1.5 \times 80 = 1680 \#$$

2x8 on 14' span gird for 1118#

$$14 \times 2 \times 10 = 140 \quad 1746$$

Joist

$$7 \times 7 \times 80 = 3920 \#$$

4x8 on 7' span gird for 4x978 = 3912

$$(14 \times 80 + 9 \times 10 + 14 \times 6) \times 7 = 894 \times 7 = 6258$$

$$6 \times 8 \text{ on } 7' \text{ span} = 6 \times 978 = 5868 \#$$

Joist

$$9 \times (7 \times 80 + 9 \times 6 + 7 \times 6 + 14 \times 30) \times 7 = 1056 \times 7 = 7602$$

$$6 \times 8 \text{ on } 6' \text{ span} \quad 6 \times 1056 = 6336$$

Entrance

$$(8 \times 11.5 + \frac{11.5}{2} \times 5.5) \times 30 = 123.6 \times 30 = 3708$$

$$4 \times 8 \text{ on } 11.5' \text{ span gird for } 682 \times 4 = 2728 \#$$

$$6 \times 8 \text{ on } 11.5' \text{ span gird for } 682 \times 6 = 4092 \#$$



(B) LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT

PERMIT NO. 34391

Class of Building or Type of Structure Third Class

AMC 7/19/34

Portland, Maine, August 11, 1934
Supersedes application 7/19/34

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~and~~ install the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1149 Congress Street Ward 8 Within Fire Limits? no Dist. No. _____

Owner's or lessee's name and address Henry V. Randall, 1145 Congress St. Telephone 2-9227

Contractor's name and address not let Community Oil Co. Telephone _____

Architect's name and address W. B. Tuttle No. families _____

Proposed use of building Filling Station

Other buildings on same lot _____ No. of sheets 1

Plans filed as part of this application? yes Fee \$ 1.00

Estimated cost \$ 800.

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To erect one story frame building 12' x 16' for filling station office as per plan
To install two 550 gallon tanks and two electric pumps for gasoline, public use, tanks to be buried underground - storage to be applied for

Petition granted conditionally and permit ordered by City Council August 8, 1934

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate 10'
Height average grade to highest point of roof 13'

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation cedar posts Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof pitch (1/2 outside) Rise per foot 8" Roof covering Asphalt roofing Class C Und. Lab.

No. of chimneys 1 Material of chimneys brick of lining tile

Kind of heat stove Type of fuel _____ Is gas fitting involved? _____

Corner posts 4x4 Sills 6x6 Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2x8, 2nd _____, 3rd _____, roof 2x8

On centers: 1st floor 16", 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor 12', 2nd _____, 3rd _____, height? _____

If one story building with masonry walls, thickness of walls? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

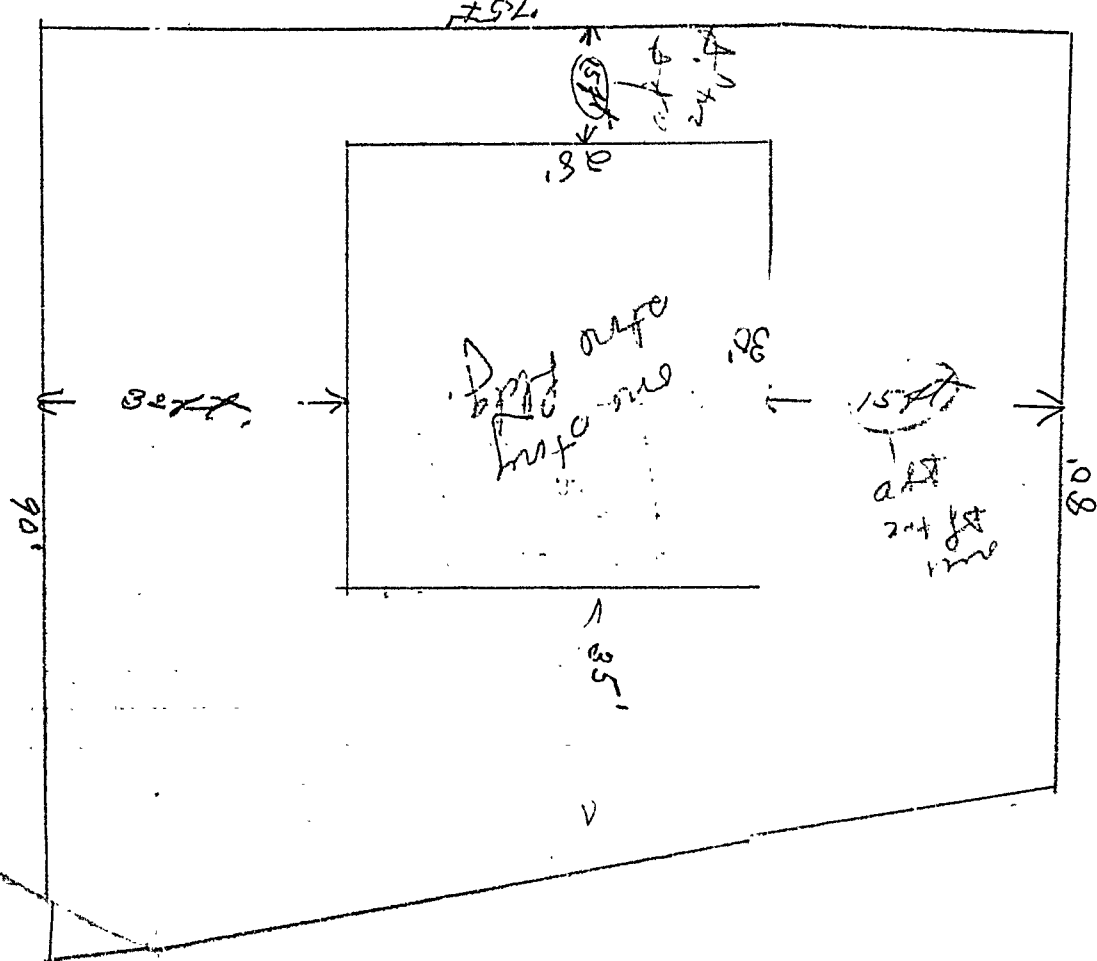
Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner. By Henry V. Randall

INSPECTION COPY

1151 Congress St.



Mass Ave

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for One story frame building
at 1149 Congress Street

Date 7/29/34

1. In whose name is the title of the property now recorded? *Henry W. Randall*
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? *Yes*
3. Is the outline of the proposed work now staked out upon the ground? If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? *Yes*
4. What is to be maximum projection or overhang of eaves or drip? *10"*
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches, and other projections? *Yes*
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? *Yes*
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? *Yes*

H. W. Brewster



(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Permit No. **1149**

Class of Building or Type of Structure **Third Class**

JUL 23 1934

Portland, Maine, July 19, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1149 Congress Street Ward 8 Within Fire Limits? no Dist. No.
Owner's ~~or Lessee's~~ name and address Henry W. Randall 1145A Congress St. Telephone 2-9227
Contractor's name and address Hot Lot Telephone
Architect's name and address Telephone
Proposed use of building Stores (2) No. families
Other buildings on same lot None
Plans filed as part of this application? yes No. of sheets 2
Estimated cost \$ 1,000.00 Fee \$ 1.00

Description of Present Building to be Altered

Material No. stories Heat Style of roof Roofing
Last use No families

General Description of New Work

To build one story frame building 28' x 30' for two retail stores. If women are employed in either store a separate toilet for their use exclusively will be provided, and also a separate toilet for men, as per plan submitted.

It is understood that this permit does not include installation of heat apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front 28' depth 30' No. stories 1 Height average grade to top of plate 2' 3"
To be erected on solid or filled land? solid Height average grade to highest point of roof 12' 16' 2"
Material of foundation cedar posts Thickness, top bottom
Material of underpinning Height Thickness
Kind of Roof Rip Rise per foot 6" Roof covering Asphalt roofing Class C Und Leb
No. of chimneys 1 Material of chimneys brick of lining flue
Kind of heat Stove Type of fuel coal Is gas fitting involved? no
Corner posts 4x4 Sills 4x8/6x6 Girt or ledger board? done Size
Material columns under girders cedar posts Size Max. on centers 8' 7"
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor 2x10, 2nd ceiling no floor above, 3rd 2x8, roof 2x8
On centers: 1st floor 18", 2nd 24", 3rd , roof 24"
Maximum span: 1st floor 14', 2nd 14', 3rd , roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated
Total number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? yes
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Henry W. Randall
By [Signature]

INSPECTION COPY