

1192-1195 CONGRESS STREET

CHARTER

Full cut # 9707 - Half cut # 9202R - Third cut # 9203R - Fifth cut # 9203R

A.P.-1193-1175 Congress St.

July 13, 1967

Community Oil Company
175 Front Street
South Portland, Maine

cc to: Santino J. Viola
84 Payson Street

Gentlemen:

Permit for demolition of the existing 2-story frame structure at the above location is being issued subject to any collar holes being filled and the lot graded to within six inches of the surrounding grade, with the remaining six inches filled with gravel in accordance with Building Code Section 2203.4.

Before this lot is used for parking of motor vehicles it will be necessary to secure a certificate of occupancy for this change of use. To secure this certificate a permit for parking will need to be applied for at this office at which time information is to be provided as per Section 14 of the Zoning Ordinance as follows:

1. Where parking is adjacent to streets it will be necessary to provide either 6x6 inch curb guards at least 5 feet from the street line or 20 inch high bumper guards inside of the street line.
2. A 4 foot high fence will be needed between this use and lots in residence use.
3. Appropriate driveways will need to be shown for approval by the City Traffic Engineer. If entrances are from two streets then Planning Board approval is required.
4. If parking area is to be blacktopped or provided with other surfacing impervious to water then a system of drainage will need to be provided so that water will not run across the public sidewalk.

Very truly yours,

Gerald E. Mayberry
Director of Building & Inspection Services

GER:m



BI BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine,

NOT ISSUED
60581
JUL 14 1967

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location _____ Within Fire Limits? _____ Dist. No. _____
Owner's name and address _____ Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address _____ Telephone _____
Architect _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building _____ No. families _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ _____

General Description of New Work

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO _____

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

A. E. M.

Miscellaneous

Will work require disturbing of any tree on a public street? _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

CS 301

INSPECTION COPY

Signature of owner _____

Do not fill in if any
violations

A. E. M.

Permit No. 67/581

Location 1193-1195 Linport Street ^{11th}

Owner Oppenheim & Co.

Date of permit 7/14/67

Notif. closing in

inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Our Notice

Form Check Notice

NOTES

Blank lined page for notes.



APPLICATION FOR PERMIT

Class of Building or Type of Structure Garage

Portland, Maine, October 22, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~and alter~~ the following building ~~structure~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plan and specifications of any submitted herewith and the following specifications:

Location 115 Congress Street

Owner's name and address Joseph Grimaldi, 115 Congress Street

Lessee's name and address

Contractor's name and address owner

Architect

Proposed use of building 2-car garage

Last use

Material No stories

Other buildings on same lot 2-story dwelling house

Estimated cost \$ 200. 500.

Within Fire Limits? yes

Dist. No. 10

Telephone 2-2745

Telephone

Telephone

No. of sheets 1

No. families

No. families

Roofing

Fee \$ 2.00

General Description of New Work

To construct 2-car frame garage 19' x 22'.

Mr. Grimaldi says side walls are to be covered with asbestos shingles.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO owner**

Permit Issued with Letter

Details of New Work

Is any plumbing involved in this work? no Is any electrical work involved in this work? yes
 Height average grade to top of plate 8' Height average grade to highest point of roof 15'
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation concrete piers at least 1' below grade Thickness, top bottom cellar
 Material of underpinning Height Thickness
 Kind of roof pitch-gable Rise per foot Roof covering Asphalt Class C Long Lab
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing lumber—Kind herlock Dressed or full size? full size
 Corner posts Size Sills Girt or ledger board? Size Max on centers
 Girders Size Columns under girders Size Max on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor asphalt 2nd 3rd roof 2x6
 On centers: 1st floor 2nd 3rd roof 18"
 Maximum span: 1st floor 2nd 3rd roof 9'
 If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot 0, to be accommodated 1 number commercial cars to be accommodated 1
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining to are observed? yes

APPROVED:

with letter by City

Signature of owner

Joseph Grimaldi

INSPECTION COPY

NOTES

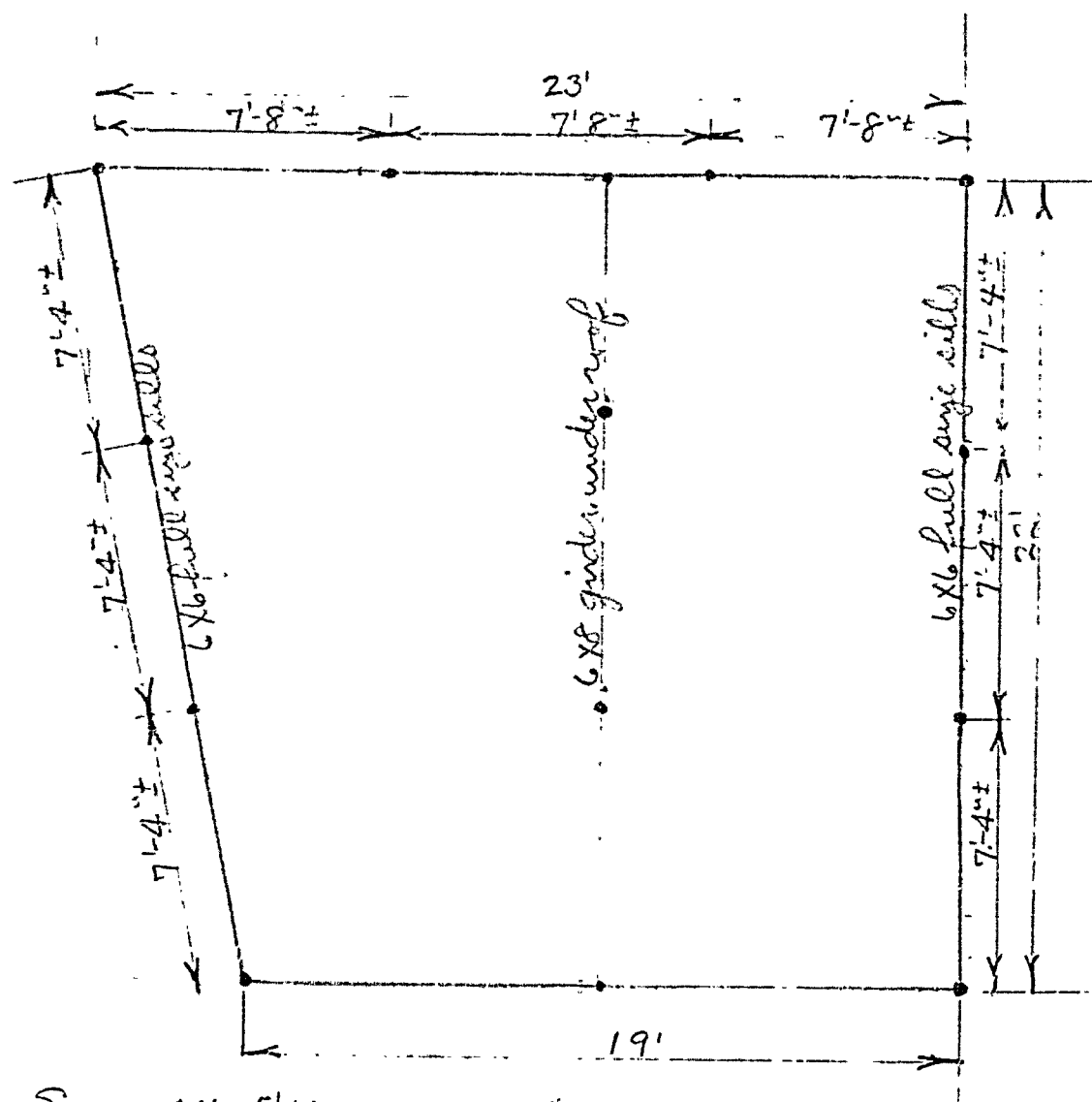
1. The first of the two
 2. The second of the two
 3. The third of the two
 4. The fourth of the two
 5. The fifth of the two
 6. The sixth of the two
 7. The seventh of the two
 8. The eighth of the two
 9. The ninth of the two
 10. The tenth of the two

50/2183
 Permit
 Section 1195 Congress St.
 Owner Joseph A. M. M. M.
 Date of Permit 11/7/50
 Notif. closing in
 Inspn. closing in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued

NO SECTION NOT SURVEYED

1195 Congress Street

11/21/50



SILLS - $4 \times 6 - 5'6'' \text{ span} = 2570^\#$
 $5.5 \times 8.5 \times 10 = 468^\#$
 $5.5 \times 6.25 \times 50 = 1719^\#$
 $\underline{2487^\#}$ } O.K.

GIRDER UNDER ROOF - $8 \times 8 \text{ dressed hemlock} - 11' \text{ span} = 4687^\#$
 $11 \times 11 \times 50 = 6050^\#$
 $8 \times 8 \text{ full size hemlock} - 11' \text{ span} = 5688^\#$

$6 \times 8 \text{ dressed hem} - 7'4'' \text{ span} = 5176^\#$
 $8 \times 8 \text{ dressed hem} - 7'4'' \text{ span} = 7059^\#$
 $11 \times 7.33 \times 50 = 4032^\#$

1195 Congress Street-I

November 27, 1930

Mr. Joseph Grimaldi
1195 Congress Street
Portland, Maine

Dear Mr. Grimaldi:

Amendment 17 to permit 90/4123 covering changes in type of roof and length of rear wall of proposed garage under construction at 1195 Congress Street is issued herewith on the following basis:

1. Joists are to be full size 2x6 instead of the 1x6 originally planned, with concrete piers spaced about 7' on centers. An extra pier is to be provided under rear wall directly beneath the point where the end of the piers supporting the roof joists will land.

2. A full size 2x4 pincer set with one 2x4 dimension upright and supported on two intermediate posts so that the span between them will be about seven feet is to be provided to support of the rafters.

3. If the 2x6 rafters are full size, not dressed, they may be spaced no more than 18" on centers, otherwise the spacing should be 12" on centers as shown on plan filed with the application.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G

APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. 1

Portland, Maine, November 18, 1950

PERMIT ISSUED

NOV 24 1950

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 50/2163 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1195 Congress Street Within Fire Limits? no Dist. No. _____
 Owner's name and address Joseph Grimaldi, 1195 Congress Street Telephone 3-6905
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Plans filed yes No. of sheets 1
 Proposed use of building 2-car garage No. families _____
 Increased cost of work _____ Additional fee 25

Description of Proposed Work

To change shape of roof from pitch to flat.
 To change size on back to 23'.

Permit Issued with Letter

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging on every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof 2x6
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof 12"
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof not 13'

Approved:

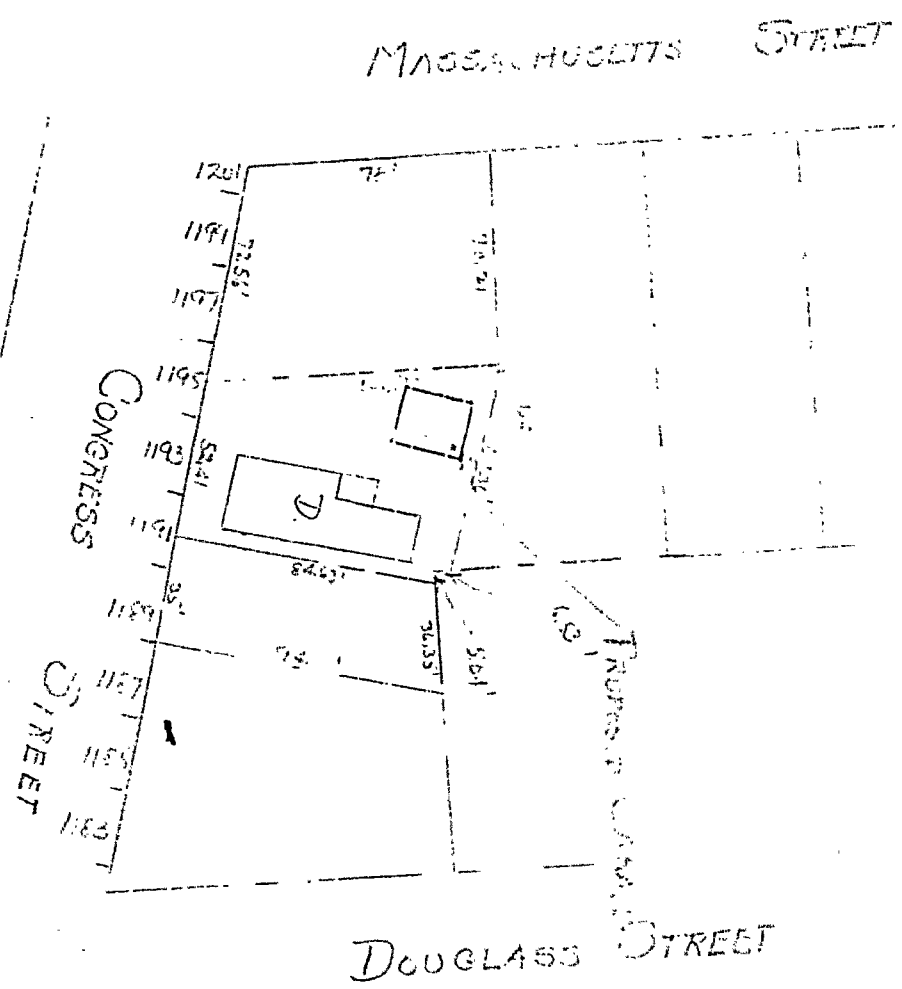
with letter by AGJ

Signature of Owner Joseph Grimaldi

Approved: 11/24/50 WOT

Inspector of Buildings.

INSPECTION COPY



AP 1195 Congress Street-I

November 7, 1950

Mr. Joseph Grimaldi
1195 Congress Street
Portland, Maine

Dear Mr. Grimaldi:

Building permit for construction of a two car wood frame garage 19' x 22' on the lot with your dwelling at 1195 Congress Street is issued herewith subject to the following:

1. If concrete piers supporting the building are to be only 6" in diameter, they are required to be set on concrete footings with an area equivalent or greater than the minimum 10' x 10' bottom dimensions specified by the Building Code for such piers.
2. The 4x6's are required to be set with the 6" dimension upright in order to figure out on the span of about 6' 6" indicated and should be set over metal pins or dowels placed in the tops of the piers when they are poured.
3. Care is to be taken to see that the height of the walls of the building above the ground and the pitch of the roof are such in relationship to each other that a point halfway between the top of the plate and the ridge of the roof is not more than 12' above the grade of the ground at the front of the building, this height of 12' being the maximum allowable under the Zoning Ordinance for an accessory building such as a garage.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for garage
at 1195 Oak Cross Street Date 10/21/50

1. In whose name is the title of the property now recorded? Joseph L. L. L.
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and fence
3. Is the outline of the proposed work now staked out upon the ground? yes
If not, will you notify the Inspection Office when the work is staked out and before any work is commenced?
4. What is to be the projection or overhang of eaves or drip? yes
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the size, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Joseph L. L. L.

BP 50/2183 Amdt. "I-I"
(1195 Congress Street)

November 21, 1950

Mr. Joseph Grimaldi
1195 Congress Street
Portland, Maine

Dear Mr. Grimaldi:

In regard to your application for an amendment to permit 50/2183 covering the changing of the roof from pitch to flat and for increasing the length of the rear wall of the building, more information is needed as to how you are to support the building and the roof in such a way as to provide compliance with Building Code requirements before we will be able to issue the amendment. Information is required as regards the following details:

1. The spacing of concrete piers for supporting the building is not adequate if a 4x6 sill is used even though the sill is set upright. On the basis that the sills are to be set with the 6" dimension vertical, spacing of piers beneath the side walls where the rafters are to rest should not exceed 5' 6" in order to figure out. In addition to those shown a pier will also need to be provided at the center of the rear wall directly beneath the point at which the end of the girder supporting the roof is to be carried. Will you so provide?

2. There is no indication on the plan of any intermediate posts for support of the 8x8 girder shown at the center of the building. This size girder is not adequate to take care of the roof load if it runs the full 22-foot length of the building unsupported and will only do so with a post at the center if it is of Long Leaf Yellow Pine or Douglas Fir lumber. If two intermediate posts are used, a 6x8 dressed hemlock or spruce girder set with the 8" dimension upright will be adequate. How will you take care of this framing?

3. Minimum allowable diameter of concrete piers is 9" instead of the 7" shown on plans and even with the 9" piers a concrete footing is necessary.

4. Cross bridging or block bridging is required at the center of each span of rafters.

5. The roll roofing for covering of roof is required to bear the Class C label of the Underwriters Laboratories, Inc.

Very truly yours,

Warren McDonald
Inspector of Building

AJS/G

6x6
sills
7' max
center
piers to be
provided at
center of
rear wall
2 posts
6x8 girders

APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. 1

Portland, Maine, November 13, 1950

PERMIT ISSUED

NOV 24 1950

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 54/2183 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1195 Congress Street Within Fire Limits? no Dist. No.
 Owner's name and address Joseph Gribaldi, 1195 Congress Street Telephone 2-9905
 Lessee's name and address Telephone
 Contractor's name and address owner Plans filed yes No. of sheets 1
 Architect Telephone
 Proposed use of building 2-car garage No. families
 Increased cost of work Additional fee 25

Description of Proposed Work

To change shape of roof from pitch to flat.
 To change size on back to 23'.

Details of New Work

Is any plumbing work involved in this work? Is any electrical work involved in this work?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Material of underpinning Height Thickness
 Kind of roof Rise per foot Roof covering of lining
 No. of chimneys Material of chimneys Dressed or full size? Size
 Framing lumber—Kind Sills Girt or ledger board? Size Max. on centers
 Corner posts Size Columns under girders Size Max. on centers
 Girders Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor , 2nd , 3rd , roof 2x6
 On centers: 1st floor , 2nd , 3rd , roof 12"
 Maximum span: 1st floor , 2nd , 3rd , roof 23' 13'

Approved.

Signature of Owner Joseph Gribaldi

Approved: Inspector of Buildings.

FILE COPY

AP 1195 Congress Street-1

November 2, 1950

Mr. Joseph Grimaldi
1195 Congress Street
Portland, Maine

Dear Mr. Grimaldi:

The estimated cost of \$300.00 which you have given in making application for a permit for construction of a two car garage 19' x 22' on the lot with your dwelling at 1195 Congress Street seems extremely low based on today's prices of labor and materials. Perhaps when you made this estimate you were not aware that the Building Code specifies that such an estimate of costs shall include a fair value for your own labor going into construction of the building and for any materials which you may have on hand and for labor or materials furnished to you free of cost. Before we may issue the permit for construction of the building it is necessary that you either revise the estimate in the light of this knowledge or else submit a detailed estimate supporting the figure already given. We should also like information as to what you propose to use for covering the walls of the building.

Very truly yours,

Warren McDonald
Inspector of Buildings

LTS/g