1195-1195 CONGRESS STREET

STALEGIVER

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M.F.-1193-1195 Congress Jt. Community Oil Company July 13, 1967 175 Front Street cc to: Santino J. Viola South o tland, Kains 84 Payson street Gentlemen: Permit for demolition of the existing 2-story frame structure at the above location is being issued subject to any cellar holes being filled and the lot graded to within six inches or the surrounding grade, with the remaining six inches filled with gravel in accordance with Before this lot is used for parking of motor vehicles it will be necessary to secure a certificate of occupancy for this change of use. So secure this certificate a permit for parking will need to be applied for at this office at which time information is to be provided as per l. where parking is adjacent to streets it will be necessary to provide either 6x6 inch curb guards at least 5 feet from the street line or 20 inch high bumper guards inside of the street line. 2. A 4 foot high fence will be needed between this use and lots in residence use. 3. Appropriate driveways will need to be shown for approval by the City Traffic Engineer. If entrances are from two streets then Planning Found approval is required. 4. If parking erea is to be blacktopped or provided with other surfacing impervious to water then a system of drainage will need to be provided so that water will not run across the public sidewalk. Very truly yours,

Gerald E. Mayberry Director of Juilding & Inspection Services

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APPLICATION FOR PERMIT

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APPLICATION FOR PERMIT

Class of Building or Type of Structure | Ipar : That's

Portland, Maine, Coucour 22, 1270

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in accordance with the Laws of the State (1) attention in specification specification of any, submitted herewith and the following specification	Within Fire Lowits? 1.	o Dist. No.	
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It is understood that this permit does not include installation of heating opparates which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO O.Mer

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If a Garage If a Garage
No. cars now accommodated on same of the wind repairs to cars habitually stored in the proposed building.
Will work require disturbing of any tree on a public str. no Will work require disturbing of any tree on a public str. no Will there be in charge of the above work a person con patent to see that the State and City requirements pertaining to an observed?
Signature of owner fasth frimaidi

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5.5 x 8.5 x 10 = 462# 0.X 5.5 x 8.5 x 10 = 462# 0.X 5.5 x 6.25 x 50 = 1719# 2187

GIRDER UNDER ROOF - 8XE dressen handede - 11'sfran = 46+7#

11XII X 50 = '2050#

8X8 / Linge - embed 11'sfran = 5688#

6x8dresdlum-7-42fra 8x8dressed len (m -7-42fram: 7059# =5176 11x7.33x50=4032 m 1195 Congress Street-I Hoverno, 1., 1950 ar. Justa britaldi 1195 Josephosa Juneau Porturne, . ine Amendment of to permit 50/2183 covering construction at 1295 John-length of rear sall of proposed parage under construction at 1295 John-gress street is assued herewith on the following consist l. It is are to be in a size into instead of the Anti-originally planned, with concrete of no spaced about 7° on centers. An entrapler is to be provided under rear will directly peneath the point matre the one of the pirace supporting the most joints will have. Supported on two interests to provided to the gran between then will be then the seven feet in the provided to the provided to the provided to the seven feet in the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided to the provided 3. If the 2x6 raiting are fall size, not aresolating 1.9 to apaced no move time 187 on solvers, other ise the spaining thrule be 128 on centers as slown on plan files with the application. Very truly 7.25. Marron McCon'ld Inspector of E lld ngs AJS/G

APPLICATION FOR AMENDMENT TO PERMIT



Architect_

Proposed use of building.____

Increased cost of work....

Amendment No. 1

2-car rarage

Portland, Maine, November 18, 1950

PERMIT	1280ED
NOV 24	1850
CHY of PC	DTI ANI

Plans filed res_No. of sheets_1_

_No. families___

Additional fee ___25

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.	
The undersigned hereby applies for an amendment to Permit No. 50/2163 pertain in the criginal application in a cradance with the Laws of the State of Maine, the Building Cod Portland, plans and specifications; if any, submitted herewith, and the following specifications:	ing to the building or structure comprises le and Zoning Ordinance of the City
Location 17.95 Congress Street Within Fire L	imits?noDist_ No
Owner's name and address Joseph Grimaldi, 1195 Congress Street	Telephone_3-6905
Lessee's name and address	Telephone
Contractor's name and addressowner	Telephone

Description of Proposed Work

To change shape of roof I on pitch to flat. To change size on back to 23'.

Permi. Issued with Letter

Details of New Work

Is any plumbing work in	nvolved in this w	ork?	Is any e	lectrical work involv	ed in this work?	1
Height average grade t						
Size, front						
Material of foundation.						
Material of underpinning						
Kind of roof						
No. of chimneys						
Framing lumber—Kind						
Corner posts						
GirdersSiz						
Studs (outside walls an						
				, 3rd		
On centers:				, 3rd		
Maximum span:				, 3rd		
Approved:					_	-
with litter (i all		¢:		Loreth 9	1' a. a. O.k.
	0-0		Sig	nature of Owner	and the	water_
				11/24	50 JANA	No.
INSPECTION CORY			$\mathbf{A}\mathbf{p}_{1}$	proved:	Inspe	ector of Buildings

AP 1175 Congress Street-I

November 7, 1950

Mr. Josep Griraldi 1:95 Compress Street Forelend, Maine

Dear ir. Grinaldi:

Filleing permit for a nativation of a two car wood frame garage 19: x 22: on the lot with your available at 119; Congress Street is issued herewith subject to the following:

- 1. If concrete plans amporting to a wilding are to be only you in diameter, they he required to be set on concrete lootings with an area equivalent or greater than the minimum 10° x 10° bottom dimensions specified by the Builling Code for such piers.
- 2. The 4x6 s'riu are repried to the net with the C" almention upright in order to figure our on the span of arout o' 6" indicated and should be net over metal pins or dowels placed in the tops of the richs when they ere poured.
- 3. Care is to be taken to see that the height of the walls of the outling access the ground and the pitch of the root are such in relationship to eac that a joint halfway between the top of the plate and the ridge of that a joint halfway between the top of the plate and the ridge of the more than 12' above the grade of the ground at the fron the building, this height of 12' being the maximum allowable under the Zoning Ord three for an accessory building such as a garage.

Very truly yours,

Harren McDonald Inspect r of Buildings -

MS/G

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING ETHING

	THE MATHEMATION FOR BUILDING FERMIT
	for garage
	350
1.	In whome name is the little of the property now recorded? Joseph lrum lui
2.	Are the house of the first laid in the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house of the house
	shown clearly on the round, and in the vicinity of the proposed work
ο.	Is the out if the proposed work now at and out upon the ground? were and before any work is commenced?
+.	What is to be broken in projection or everheng of caves or drip?
5. 1	Projection or everylang of caves or drip?
Ċ	or statement of location filed with this application, and does it show the porches and other projections?
J. 1	be you scanne full responsibility for the correctness of all statements in usedings
7. D	0 400
and e	or in any of the details specified in the application that a revised plan opplication must be submitted to this office before the changes are made; see
	1

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50/2183 Amdt. ..I-I (1195 Congress Street) November 21, 1950 Mr. Joseph Grimaldi 1195 Congress Street Portland, Maine Dear Lr. Grimaldi: In regard to your application for an amendment to permit 50/2183 covering the changing of the roof from pitch to flat and for increasing the length of the rear wall of the building, more information is needed as to how you are to support the building and the roof is such a way as to provide compliance with Duilding Code requirements before we will be able to issue the amendment. Information is required as regards the following details: 1. The spacing of concrete piers for supporting the building is not adequate in a 4x6 will is used even though the will is set upright. On the basis that the sills are to be set with the 6" dimension vertical, spacial of piers beneath the side walls where the ractors are to rest should not exceed 51 6" in order to figure out. I addition to those shown a pier will also need to be proviced at the center of the rear wall directly beneath the point at which the end of the girder supporting the reof is to be carried. Will you so provide? 2. There is no indication on the plan of any intermediate posts for support of the 8x8 girder shown at the center of the building. This size girder is not adequate to take care of the roof load if it runs the full 221 foot length of the building una ported and will only do so with a post at one center if it is of Long Loaf Yorker Pine or Douglas Fir lumber. If two intermediate posts are used, a med dressed herlock or spruce irder set with the 8" dimension upright will be adequate. how will you take care of this framing? 3. Minimum allowable diameter of concrete piers is 9" Instead of the 7" shown on plans and even with the 9" piers a concrete footing is mecessary. 4. Cross bridging or block bridging is required at the center of each span of rafters. 5. The roll roofing for covering of roof is required to bear the Class C label of the Underwriters Laboratories, Inc. Very truly yours, Warren McDonald Inspector of Inilding AJS/G

APPLICATION FOR AMENDMENT TO PERMIT

BERWILL TRANSIA NOV 24 7970 लाप अं १०० मा



Ameadment No. 1

Portland, Maine, lievenher 13, 1550

3/85	Portland, Maine,	hasi-
		Luilding or structure comprises
CPT TAT	PORTLAND, ME. 1/2183	pertaining to the built Ordinance of the Cur
	PROTOR OF BUILDINGS, Found to Permit No.	g Code and 775
To the	INSPECTOR	no_Dist. No
7	Portland, Maine, 1507 Portland, Maine, 1507 INSPECTOR OF BUILDINGS, PORTLAND, ME. The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit No. 1607 The undersigned hereby applies for an emendment to Permit	Fire Limits!
in the of	riginal applications, if any, submitted	Telephon.
Portland	INSPECTOR OF BOILD. The undersigned hereby applies for an emendment to Permit No. Maine, the Building of the United State of Maine, the Building of the State of Maine, the Building of the State of Maine, the Building of the State of Maine, the Building of the State of Maine, the Building of the State of Maine, the Building of the United State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the State of the Sta	Telephone
Locatio	on Grinalate Jack	Telephone
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Owner	S flame and	Plans filed yes No. of sheets 1
Tusses	e's name and address	No. families
Deace	var's name and address	No. rammes
Contr	actor's manage	Additional fee25
	Per 2-CEL FOR	Magnet
1 11 0		1.
Prop	posed use of building————————————————————————————————————)LF
T	pased cost of work Description of Proposed TV	

Description of Propo

To change shape of roof from pitch to flat.

Details of New Work

	Details of New Work	Is involved in this work?
	Details of New Work Is any electrical wo Height average grade to No. stories—solid or filled land Thickness, top—bottom	tichest point of roof
work involved in the	is work?Is any electrical wo Height average grade (No. storiessolid or filled land) Thickness, topbottom Height	earth or rock?
Is any plumbing worst	esolid or filled land	cellar
Height average grown denth	bottom	
Cine front		
Material of Toundary	Roof covering	of lining
Material of underplanting	Rise per foot	
Kind of roofMa	terial of chimneysDressed or full s	size?Size
Material of underplanting Kind of roof No. of chimneys Kind		270405
No. of chinneys—Kind———————————————————————————————————	Girt or ledger board?	Size and flat roof span over 8 feet.
Corner postsSills	Columns under C. Bridging in eve	ery floor and flat roof span over o rect.
Girders Size	ng partitions) 2x4-16" O. C. Bridging in over 1st floor, 2nd	
Studs (outside wans and	Ist floor2nd	
Joists and .	1st floor, 2nd	
On centers.	1st floor, and	1 11 Grimalit
Maximum span:	Signali	ire of Owner Jarth Frimslir
Approved.	Jig Maria	V
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	Appro	
FILE COPY		

AP 1135 Congress Street-I November 2, 1950 Mr. Joseph Grimaldi 1195 Congress Street

The estimated cost of \$300.00 which you have given in making application for a permit for construction of a top car garage 19: x 22: application for a permit for construction of a top car garage 19: x 22: application for a permit for construction of a top car garage 19: x 22: application for a permit for construction of a top perhaps when you have not based on today, a prices of labor and materials. Perhaps when you made this astimate you were not aware that the Building Code specifies made this astimate you were not aware that the Building and for any materials which made this astimate of costs shall include a fair value for you free of that such an estimate of the building and for any materials which that you may have on hand and for labor or materials furnished to you free you may have on hand and for labor or materials for construction of the building cost. Fafore we may issue the permit for construction of the light of this it is necessary that you either revise the estimate in the light of this it is necessary that you either revise the estimate supporting the figure already cost. Pafore also submit a detailed estimate supporting the figure already knowledge or else submit a detailed estimate supporting the propose to use for knowledge or else submit a detailed estimate approximate you propose to use for the walls of the building. covering the walls of the building.

Warren McDonald Inspector of Buildings

138/6