

Permit No. 44) P

Location 946-1004 Cypress St.

Owner Lusinjanam Realty Co

Date of permit 12/1/44

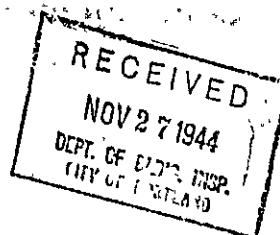
Notif. closing-in 12/1/44

Final inspection 12/1/44

Occupancy issued 12/1/44

NOTES

SPECIFICATIONS
FOR
OFFICE AND GARAGE
FOR
CUNNINGHAM REALTY CO.
ON
COR. CONGRESS & LOGGENDSBURG STREET
PORLAND ME.
FOR LEASE TO
THE WESTERN UNION TELEGRAPH COMPANY



GENERAL CONDITIONS

It is intended that this specification and the accompanying drawings shall be considered as cooperative, and shall comprise all material and labor required for an office and garage located at Corner of Congress and Ogdensburg St., Portland, Maine.

The owner is Cunningham Realty Company, a corporation existing under the laws of the State of Maine.

The contractor referred to is F. W. CUNNINGHAM & SONS, 181 State Street, Portland, Maine.

All work shall be done in strict conformity with the plans and specifications prepared by the owner and all work shall be under his supervision.

The contractor is to obtain all necessary permits and notices for the owner.

The contractor shall employ a competent civil engineer to accurately lay out the building lines, establish grades, etc. Thereafter a man competent to use leveling instrument shall set and maintain required grades, checking same frequently from datum.

The contractor shall erect batter boards well braced at corners.

The contractor shall erect necessary sheds and a temporary convenience for the workmen on the premises.

The owner is to insure the building against loss by fire, policies to be made payable to both the contractor and owner as their interests may appear.

The contractor and all sub-contractors shall carry Workmen's Compensation and Public Liability Insurance to cover any suit for damages that may be brought by workmen or by the public for accidental bodily injuries occurring during the construction of the building.

The contractor and all sub-contractors shall pay all Social Security taxes.

The general contractor shall at all times keep the building free from accumulations of waste material or rubbish caused by his employees or work, and at the completion of the work he shall remove all his rubbish from and about the building and all his tools, scaffolding, and surplus materials and shall leave his work "broom clean" or its equivalent unless more exactly specified.

The Western Union Telegraph Company, its agents and servants, shall have undisputed access to the building during construction and shall be allowed to perform such work and install such equipment or make provision for same during period of construction, as may be necessary.

The contractor shall provide all necessary heat required during time of construction and shall supply fuel and attendance to heating system until the building is complete.

Where the terms "approved" or "equal" are used it is understood that the decision is to be left to the owner.

At the time of delivery, all work performed by contractor shall be subject to inspection by architect, engineer, and supervisor of the city of Ogdensburg, New York, and shall be certified by the architect, engineer, and supervisor as being in accordance with plans and specifications. All work shall be done in a workmanlike manner and to the satisfaction of the architect, engineer, and supervisor.

EXCAVATION

- Remove all brush, rubbish, etc., from the entire lot.
- Remove loam from area of building and 1'-0" outside and pile where directed.
- Excavate for footings, piers, walls, floors on ground, pipe trenches under floor, sewer water and any other excavation that may be necessary to complete the work.

BACKFILLING

- Backfill around all walls, piers and trenches with excavated material.

GRAVEL FILLING

- Where concrete floors rest on ground install gravel fill to underside of floor slab, if necessary. Provide and tamp 1'-0" of gravel under aprons at garage doors.

ROUGH GRADING

- Do all necessary rough grading to bring grade to lines shown on drawings.

FUEL OIL TANK

- Excavate for 3000 gallon fuel oil tank to be installed by others. Tamp well around same when backfilling.

SEWER

- Sewer to be cast iron provided by plumbing contractor but mason contractor is to do the excavating and provide 2 six inch Y branches at main sewer in Ogdensburg Street.

WATER MAIN

- Contractor to have Portland Water District bring 1" main from Congress St. to property line. Excavate inside of building from property line to boiler room and provide 1" copper tubing with shutoff.

PUMP PIT

- Build pump pit in boiler room 30" x 48" x 30" deep. 6" concrete walls and 2" concrete floor.

CONCRETE WORK

- All materials for concrete shall be measured by some method that will insure the exact proportions being obtained. The mixing shall be thorough and shall continue until the mass is uniform in color and homogeneous.

- Where directed install vertical expansion joints the full height of wall.

- All concrete shall be thoroughly compacted by puddling with suitable tools, during the operation of placing and worked around any reinforcing rods.

CONCRETE

CONCRETE WORK (Cont'd)

Suitable apparatus shall be used to heat the sand and water if concrete work is done in freezing weather.

All concrete in place shall be protected during cold weather.

Install concrete footings and walls, as shown. The contractor may have the option of using clean gravel which has the approval of the owner, in concrete footings, walls and floors.

Proportions of mix according to Code requirements.

FLOORS ON GROUND

The ground floor of the whole building to have a 4" slab, base of same to be 3" thick mixed in the proportion of one part cement, $2\frac{1}{2}$ parts sand and 5 parts stone.

The contractor may have the option of using gravel which has the approval of the owner.

Ramp at garage entrance to be 6" thick and of the same material as the floors.

All floors and ramp are to have a 1" thick topping of 1 part cement and 3 parts sand, floors troweled to a smooth surface and pitched to floor drains and ramp to have a wood float finish.

Provide concrete steps as shown in corridor.

FLOOR HARDENER

Garage and boiler room floors shall be finished and hardened with a mixture of Master Builders Co. Metalicron applied in strict accordance with the directions furnished by the Manufacturer.

THRESHOLDS

Form cement thresholds at exterior doors.

CAST STONE KEYS

Provide cast stone keys where shown on elevations.

SURFACING CONCRETE

Where exposed on inside and outside concrete walls are to be brought to a smooth surface.

REINFORCING STEEL & MESH

Install 6" x 6" x #6 gauge mesh in concrete floors and ramp.

Install reinforcing rods in footings and walls as shown or required.

BLOCKING & TOOTHING

Rear wall to be blocked into party wall every two feet, blocking 5 courses high. Wedge with slate at each blocking.

Tooth at each course where front wall adjoins Standard Brands building.

BRICK WORK

Build outside 4" on Congress St. and Ogdensburg St. of iron spot brick to match Standard Brands building, if obtainable, if not, to be hard burned red brick.

Build chimney of a local common hard burnt brick. Walls of chimney to be 8" thick. Top out with iron spot brick, if obtainable.

Backing of front wall Congress St. and for about 15 ft. on Ogdensburg St. to be of 8" cinder concrete blocks.

Jambs of garage doors to be iron spot brick. Backing of outside 4" on Ogdensburg St. including piers to be concrete brick except as noted above.

Rear wall to be all concrete brick.¹ All outside walls and inside walls of Garage to be jointed off. Clean with acid and water.

MORTAR

All mortar shall be made in the proportions of one part Portland Cement, one part lime putty and five to six parts sand.

FLASHING

Set flashings provided by roofing contractor over windows and door on Congress St. and two windows and door of boiler room on Ogdensburg St.

CALKING

Calk around all openings with an approved plastic compound.

STRUCTURAL STEEL & MISC. IRON

The work under this heading includes all structural steel and miscellaneous iron as shown on drawings or specified herein.

STRUCTURAL STEEL

The structural steel work is particularly defined on the floor plans and framing drawings. Clip angles to be provided to carry roof timbers, same width as timbers. Provide two 3" x 4" angles in concrete floor at garage door openings.

PLATES

Provide and set steel bearing plates 8" x 12" x 1/2" on brickwork under the ends of all steel beams.

ANCHORS

Cast iron or steel plates under timbers are to have a lip turned up into timber and another lip turned down into masonry to anchor timbers to masonry. Roof timbers resting on clip angles are to be fastened to clip angle with 5/8" x 5" lag bolts and are also to have a 5/8" x 5" lag bolt through top flange of beam and into the timber.

Beams resting on top flange of steel beams are to be fastened with one 5/8" x 4" lag bolt at each end.

PIPE RAIL

Provide Pipe Rail around pump pit in boiler room 2'-6" high, 1½" pipe with fittings and properly fasten to walls and floor.

IN BACK OF THESE WALLS, SET UP A FENCE 10' HIGH
LAGGED ON THE INSIDE, PLATES FORTIFIED AT OPPOSITE ENDS TO THE PEGS PLACED
NORTH EASTERLY, PLATES FORTIFIED AT OPPOSITE ENDS TO THE PEGS PLACED
ON THE INSIDE, PLATES FORTIFIED AT OPPOSITE ENDS TO THE PEGS PLACED

LINTELS

Furnish and install lintels over all openings in masonry as shown on framing plans.

PLATE BOLTS

Provide .5/8" plate bolts spaced 6 feet apart as shown.

LAG SCREWS

Provide lag screws for connecting wood roof beams to steel.

CHAIN LINK FENCE

When obtainable, provide and set up at rear of lot, as shown on plans, a Chain Link Fence, 8'-0" high, with gate; same to be 2" mesh, #12½ gauge. Posts to be set in concrete, 4'-0" below grade.

ROOFING AND METAL WORK

ROOFING

The entire roof shall be covered with a five ply tar and gravel roof and shall be guaranteed for ten years.

This roofing shall be made up of one ply of rosin sized paper, 5 plies of tar felt and to be mopped with pitch between and over felt and to have gravel imbedded in top mopping of pitch while the pitch is hot.

METAL WORK

All edge strips and flashings shall be 24 gauge. Toncan or Armco galvanized iron.

Provide bottom and top flashing along party wall. Cover top of parapet wall with galvanized iron. Flash around chimney.

Provide two Holt roof outlets as shown on roof plan.

WINDOW AND DOOR FLASHING

Provide the mason with through flashing over windows and door on Congress St., also, two windows and boiler room door Ogdensburg St.

VENTILATORS

Provide two 8" ventilators in skylight over toilet rooms as shown.

SKYLIGHT

Build Skylight of galvanized iron, 24 gauge, Toncan or Armco. Curb 10" high furnished by carpenter.

The work under this heading includes all concrete forms, rough framing, doors and frames, trim for doors, finished hardware, sash, glazing, garage doors and any labor or material included under the following headings.

FRAMING

Roof timbers to be merchantable grade of Douglas fir.

Wall plate may be spruce or fir.

Roof planking shall be $\frac{1}{2}$ " thick matched Douglas fir.

Roof timbers shall be securely anchored to steel and to masonry as called for in steel and miscellaneous iron. Wall plates to be 2 x 8 and bolted to wall every 6 feet, except front parapet which will be full thickness of wall.

Roof to be framed and pitched to outlets as shown.

Wall studding to be of sizes as shown on plans, double at openings and for capping. 16" on centers.

CONCRETE FORMS

Build suitable forms for all concrete footings, piers, beams and walls. All forms to be tied and braced in a workmanlike manner.

OUTSIDE FINISH

Provide 1 x 5 pine edge strip around entire building.

OUTSIDE DOORS AND FRAMES

Outside doors to be stock pattern, sizes as shown, of pine and frames to be from 2" stock rabeted for doors, to have staff bead on outside.

GARAGE DOORS

Install two overhead-type garage doors complete with spring balances, tracks, cable and locking device. Doors to be approved by the owner.

Three rows of panels in each door glazed with double strength clear glass.

STEEL SASH

Provide factory type pivoted ventilator, steel sash in all openings as shown on plans. Sash to be "Fenestra" or an approved equal.

GLASS AND GLAZING

Glaze all steel sash with rough wire glass.

FINISHED HARDWARE

Each entrance door is to have three 4" x 4" butts and a cylinder lock set. Locks are to be keyed alike.

LADDER
Painted wire frame
cigarette box
directions and instructions
be furnished

DOUBLE HUNG WINDOWS

Provide double hung windows where shown, made according to detail.
Sash to be the same as on the front of Standard Brands Building, glazed
with A grade double thick glass.

FURRING

Walls of Office, Work Room, Toilets, corridor and closet off office
to be furred with 7/8" x 3" furring, 16" on center.

These same places to have hung ceilings and furred with 7/8" x 3"
furring, 16" on center.

WALL BOARD & TILE

Cover walls of above places with 3/8" Gypsum Board, cover joints with
tape.

Ceilings of these places to be 1/2" Celotex beveled tile, 16" square.

Provide 1 $\frac{1}{4}$ " Scotia at joint between wall and ceiling.

BASE

Provide 7" beveled base board in all above places.

FLOOR TILE

Provide in above places 9" x 9" x 1/8" Asphalt Tile Flooring over cement
floor same to be laid in very best cement. Provide black border in office,
corridor and work room. Provide brass stops where necessary.

INTERIOR FINISH

Provide 4" casings, stools and aprons at all window openings, also, casings
at all door openings in places where wall board is used.

Provide shelf and hanging strip with hooks in closets.

Toilet partitions to be made up of two thicknesses of Flexboard 3/16" in
rabated frame. Door jamb to be 1 $\frac{3}{4}$ " x 1 $\frac{3}{4}$ ". Doors to have 1" x 3" frame and
covered two sides with 3/16" Masonite. Provide spring hinges, sliding bolt,
door pull and coat hook.

INTERIOR DOORS

To be of sizes as shown on plans same to be 2 panel fir 1-3/8". Provide
2, 3 $\frac{1}{2}$ x 3 $\frac{1}{2}$ butts, steel bit key lock sets for each door.

Provide 2, tin clad swing fire doors where shown; angle iron frames with
self-closing device. Standard fire door hardware. Doors to have Underwriter's
label.

BINS As shown on plan to be furnished and installed by tenant.

SKYLIGHT CURB Build curb of 2" x 10" for skylight. Skylight is specified
under metal work.

FIRE EXTINGUISHERS

Furnish three fire extinguishers of a type bearing the label of the Under-
writer's Laboratories, Inc., approved for use of extinguishing fires in flammable
liquids and as many two and one-half gallon labelled fire extinguishers as may
be prescribed by the Chief of the City of Portland Fire Department.

PAINTING

All galvanized iron work to receive a coat of metal primer and one coat of lead and oil paint.

All steel sash are to receive two coats of lead and oil paint in addition to the factory priming coat both inside and outside.

All doors, frames, windows and trim are to receive a priming coat and one additional coat of lead and oil paint both inside and outside.

All wall board, scotia and base to receive a priming coat and two additional coats of lead and oil paint. Ceilings and interior of garage not to be painted. Colors to be selected by the owner.

All glass to be cleaned at completion.

PLUMBING

The work under this section is to cover the complete installation of the plumbing, including fixtures, cold water supplies, wastes, etc., as shown on the plans or called for by these specifications, all to be done in accordance with the City and State requirements. All materials are to be the best of their respective kinds.

SOIL PIPE

There will be two lines of soil pipe to sewer on Ogdensburg St.

Furnish and install the soil piping as indicated on the plans, starting at a point about eight feet outside on Ogdensburg St. The floor drain in garage cast iron and shall have gasoline and oil separator approved by City officials for garages, and by the City of Portland Plumbing Inspector.

Provide cast iron 8" x 8" floor drain in boiler room.

Provide clean-outs in convenient locations.

Roof outlets are to be furnished by the roofing contractor.

COLD WATER SUPPLY

The water supply, 1" copper tubing, will be brought inside wall of boiler room by the General Contractor with shut-off. From this point the plumbing contractor will take $\frac{3}{4}$ " galvanized iron pipe to sink, toilet fixtures and hose bib. Half-inch branches permitted except to hose bib.

Each fixture shall have a separate shut-off.

FIXTURES

Furnish and install one 24" x 36" cast iron service sink on pipe frame and legs in location shown on plans and equipped with one hose bib.

Install one siphon action combination closet with white seat, no cover, complete.

Lavatories to be "Sanix" made by Crane Co., 15" x 18" complete.

HOT WATER TANK

Provide a 30 gallon galvanized iron storage tank connected to boiler.

HEATING

For installing a two pipe thermostatic trap
Steam Heating System

BOILER

To be a #204-S-8 - H. B. Smith Co. Oil Fired boiler-rated capacity 1575 sq. ft. and section tapped for Indirect domestic water system.

SMOKE PIPE

Connect boiler to chimney with a 20 gage pipe, fitted with an automatic damper.

RADIATION

To be thin tube legless, and of the following sizes:

Office	2 Radiators	100 sq. ft. total
Entrance	1 "	35 " "
Work Room	2 "	70 " " total
Toilet	2 Ceiling Radiators	30 " " total
Garage	2 #1602 Hijet Heaters, capacity ea.	500 sq. ft.

VALVES & TRAPS

Each radiator on supply end to be furnished with a Barnes & Jones radiator valve and return end with a Barnes & Jones Thermostatic trap.

Hijets to have a gate valve on supply end and a float and thermostatic trap on return.

PUMP

Furnish and install in a pit one #6220 Nash Pump.

ZONE CONTROL SYSTEM

Furnish and install in steam main for office portion of building and garage a Minneapolis-Honeywell motorized valve and a thermostat for each.

PIPE AND FITTINGS

Furnish and erect the necessary pipe, fittings, and hangers to connect each unit of radiation with the boiler, using pipe equal to that manufactured by the National Tube Co. and fittings of heavy grey cast iron.

Pipe under floor to be protected with pipe sleeves, and layed before cement floor is poured.

COVERING

Boiler to be covered with magnesia blocks securely wired on and asbestos cement.

Steam mains to be covered with asbestos air cell sectional covering. Furnish and connect to steam boiler in an approved manner a #15 Excelsa indirect water heater.

Boiler to be furnished with a low water cut off.
A limit switch on each Hijet heater.

Electrician to connect motors and limit switch of two unit heaters, also two zone control valves and thermostats.

BURNER
Furnish and install a oil burner made by an approved manufacturer and guaranteed to be of sufficient capacity to heat the garage to 50° when the outside temperature is 10° below zero and 70° in office and work room.

Burner is to be installed by a dealer who maintains a 24 hour service crew, and he is to guarantee the burner and the installation of same to be free from defects for a period of 12 months.

He shall make any required adjustments and repairs on this burner for a period of 12 months.

FUEL OIL TANK

Furnish and install a 1000 gallon underground fuel oil tank and do all necessary piping to connect same to oil burner, provide vent and filling pipe where directed.

Excavating and backfilling for the oil tank will be done by the General Contractor.

ELECTRIC WORK

All electric work shall be done in strict accordance with the rules of the National Board of Fire Underwriters and the electrical code of the City of Portland.

All wiring is to be done with BX except in locations where rigid conduit may be required..

Wire for two unit heaters which are to be installed by heating contractor, each having motor and limit switch, also to two Zone Control Valves and Thermometers. Wire to pump in pit and provide switch.

Install two convenience outlets in locations where directed.

Provide necessary circuit for oil burner.

Furnish and install steel enamel reflectors for all light outlets in garage. Reflectors to be green on outside and white on inside.

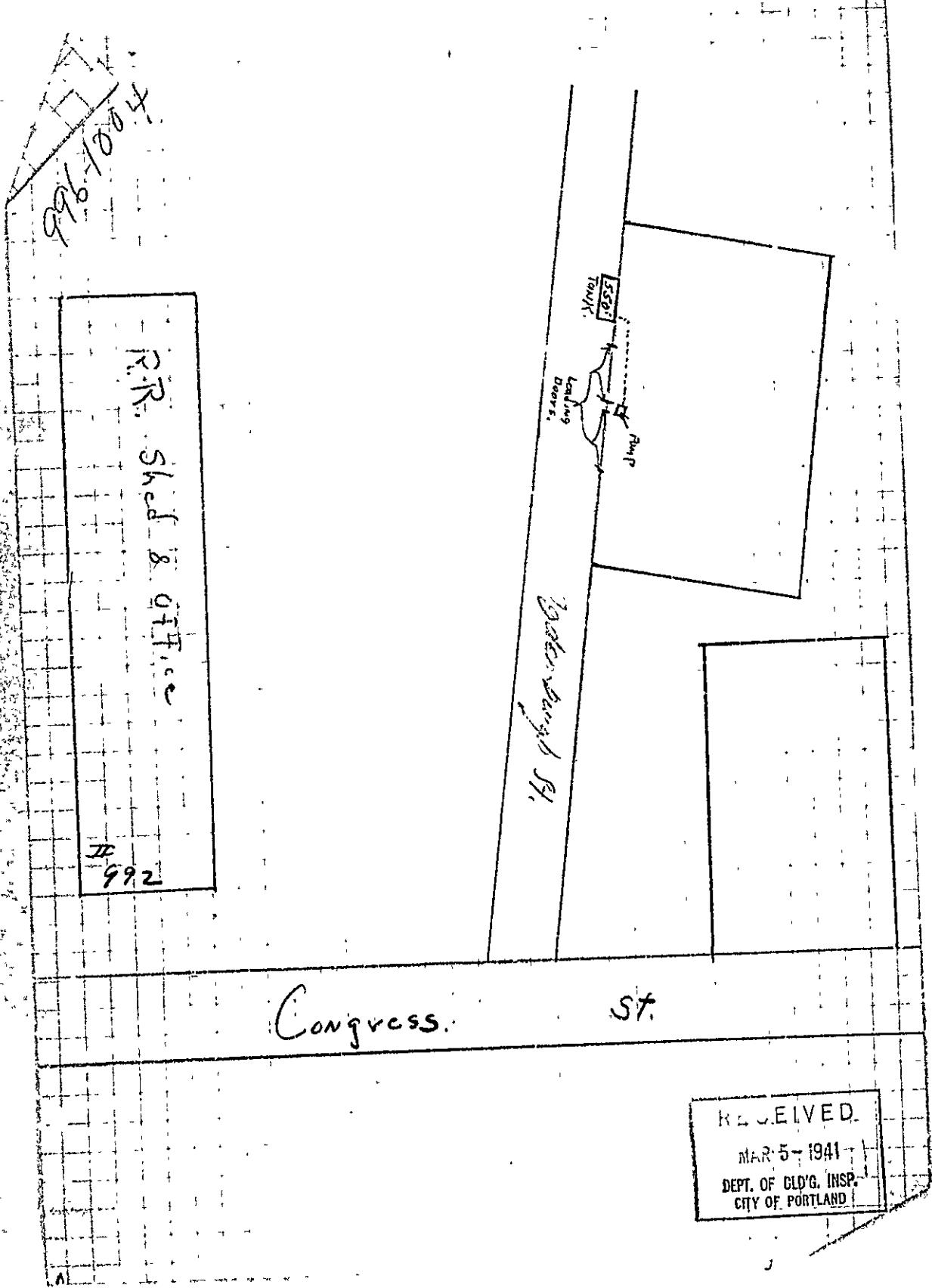
Enclosed commercial fixtures to be furnished for outlet in front part of building. Chain pulls except where there are switches.

CABINETS

Furnish and install in boiler room surface type cabinet of sufficient size to take care of all the circuits. Panel to be circuit breaker type.

MAIN SERVICE

Contractor shall consult Central Maine Power Company for service location and shall install same to conform to all their requirements, and to be of 3 wire, 100 amp. capacity, with a 100 ampere switch.





INDUSTRIAL ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No.

Class of Building or Type of Structure Gasoline Installation

Portland, Maine, Mar. 5, 1941 MAR 10 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.
The undersigned hereby applies for a permit to erect and install the following building or structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Ogdenburgh St.
Owner's or Lessee's name and address Cunningham Realty Co. Owner
Contractor's name and address Railway Express Agent
Architect American Oil Co.
Proposed use of building
Other buildings on same lot
Estimated cost \$ 60.
Within Fire Limits? no Dist. No.
Telephone _____
Telephone 3-4785
Plans filed yes No. of sheets _____
No. families _____
Fee \$.50
Description of Present Building to be Altered
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____
No. families _____

General Description of New Work

install one 550 gallon tank and one electric pump for gasoline, new installation, private use, tank will bear underwriter label coated with asphaltum, will be at least three feet below grade, minimum diameter of piping tank to pump is

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Storage to be applied for

Details of New Work

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? _____
Size, front _____ depth _____
To be erected on solid or filled land? _____
Material of foundation _____
Material of underpinning _____
Kind of roof _____ Rise per foot _____ Roof covering _____ of lining _____
No. of chimneys _____ Material of chimney _____
Kind of heat _____
Framing lumber—Kind _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: _____
On centers: _____
Maximum span: _____
If one story building with masonry walls, thickness of walls? _____ If a Garage _____ height? _____
No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____
Miscellaneous
Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner American Oil Co.
Date of issue Mar 5, 1941

Permit No. 41/274

Location 1000 Madison St.

Owner: Railroad Express Agency

Date of permit 3/8/41

Notif. closing-in 3/18/41 - 11:00 AM

Inspr. closing-in

Final Notif.

Final Inspr. 3/18/40

Cert. of Occupancy issued None

NOTES

Sticker 3/18/41 - Tank O.H.
Excover - A.G.S.



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

0203

Permit No. 20-1941

INDUSTRIAL ZONE

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, February 19, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Ogdenburg Street Use of Building Garage No. Stories 1 New Building Existing "

Name and address of owner of appliance Cunningham Realty Co.

Installer's name and address The Fels Co., 12 Union St. Telephone 2-1939

General Description of Work

To install steam heating system

IF HEATER, POWER BOILER OR COOKING DEVICE

Is appliance or source of heat to be in cellar? no If not, which story 1st Kind of Fuel oil

Material of supports of appliance (concrete floor or what kind) concrete

Minimum distance to wood or combustible material, from top of appliance or casing top of furnace, 4'

from top of smoke pipe 15' from front of appliance no woodwork from sides or back of appliance no woodwork

Size of chimney flue 20x20 Other connections to same flue none

IF OIL BURNER

Name and type of burner Labeled and approved by Underwriters' Laboratories?

Will operator be always in attendance? Type of oil feed (gravity or pressure)

Location oil storage No. and capacity of tanks

Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? \$1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time) The Fels Co.

Signature of Installer

INSPECTION COPY By Charles H. Feltos

Permit No. 411203

Loc 40/1989

Location Ogdenburg St.

Owner Birmingham Poultry Co

Date of Permit 2/20/41

Post Card sent

Notif. for inspn.

Approval-Tag issued 4/1/41

Oil Burner Check List (date)

1. Kind of heat

2. Label

3. Anti-siphon

4. Oil storage

5. Tank distance

6. Vent Pipe

7. Fill Pipe

8. Gauge

9. Rigidity

10. Feed safety

11. Pipe sizes and material

12. Control valve

13. Ash pit vent

14. Temp. or pressure safety

15. Instruction card

16.

NOTES



FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED

Permit No.

JAN 7 1941

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, January 6, 1941

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location Ogdensburg Street Use of Building Garage No. Stories 1 New Building

Name and address of owner of appliance Cunningham Realty Co., 181 State St.

Installer's name and address Community Oil Co., 512 Cumberland Ave. Telephone 2-7431

General Description of Work

To install Oil burning Equipment in connection with steam heat

IF HEATER, POWER BOILER OR COOKING DEVICE

Memorandum from Department of Building Inspection, Portland, Maine

Ogdensburg St.—Installation of Oil Burning Equip. for Cunningham Realty Co. fax by
Community Oil Co. --- 1/7/41

To Installer and Owner:

This tank to be installed underground is required to have the top at least two feet below the surface of the ground.

CC Cunningham Realty Co.
181 State St.

(Signed) Warren McDonald
Inspector of Buildings

(0) 1989

Permit No. 41/81

Location Ogdenburg St.

Owner Cunningham Realty Co.

Date of Permit 1/17/41

Post Card sent

Notif. for inspn.

Approval Tag issued

Oil Burner Check List (date) 4/1/41

1. Kind of heat furnace
2. Label ✓
3. Anti-siphon ✓
4. Oil storage ✓
5. Tank distance ✓
6. Vent Pipe ✓
7. Fill Pipe ✓
8. Gauge None
9. Rigidity
10. Feed safety ✓
11. Pipe sizes and material ✓
12. Control valve ✓
13. Ash pit vent
14. Temp. or pressure safety ✓
15. Instruction card ✓
- 16.

NOTES

44-1712-2
1/17/41

J. S.

Birmingham's say
in the Ogdenburgh
S. gauge that
they will use
5 x 14' on all roof
fans greater
than 24'-6" - On
the 24'-6" span
I have considered
the use of the
5 x 14' on the basis
that the stay
is actually not

~~Cross stay~~

~~Bracing~~

that long,

12/12/40

Rept. 9516C-I

December 6, 1940

F. W. Cunningham & Sons
181 State Street,
Portland, Maine
Gentlemen:

Enclosed is the building permit covering construction of a one story building for Cunningham Realty Company on Ogdensburg Street, off Congress Street. The following matters are called to your attention:

1. While I do not know that we are prepared to insist upon it, it seems quite evident that an ordinary outside door ought to be provided either at the northwest or southwest corner of the building to afford opportunity for getting out in case of any emergency in the building which cut off all other means of egress which are in the front of the building. It is doubtful if a man could get out of the windows.

2. Before the building is occupied a certificate of occupancy is required from this department, and before that may be issued at least three fire extinguishers of a type bearing the label of the Underwriters' Laboratories, Inc. approving them for use for extinguishing fires in inflammable liquids and as many two and one-half gallon labelled fire extinguishers as may be prescribed by the Chief of the Fire Department are required.

3. The windows in the rear wall and both side walls are required to be metal sash and wire glass.

4. All floor drains in the garage proper are required to be equipped with grease and oil traps of a type approved under the Plumbing Code, and the Plumbing Inspector should be consulted.

5. I have been unable to check out the 8x14 Douglas fir beams satisfactorily. A few of them range from 26 foot to 28 foot spans while the most of them appear to be on spans of 24½ feet. The timbers, based on a 1500 pound fibre stress appear to be 5% deficient on the short span and much more on the longer spans. Please advise what you will do in this case.

6. Metal anchors from roof timbers to masonry walls are required at the end of each timber and ought to be fastened to the bottom surface of the timbers. I presume care will be taken to brace the top flanges of the steel beams especially on the long spans where the timbers are to rest on shelf angles.

7. I am assuming that stucco is to be used on the outside of the cinder block walls and that the blocks in the piers formed by the pilasters will be filled solid to give proper support beneath the steel beams. Bearing plates

F. W. Cunningham & Sons——2

December 6, 1940

are not shown under the steel beams. I suppose that you have found that the wide flanges will be sufficient.

S. I note that you are planning extensive reinforced concrete foundations beneath the front wall and the south wall which indicates poor soil conditions. I suppose you have some record of investigation of soil conditions, and, if so, we will appreciate a copy of your data for our records.

Very truly yours,

McD/H

Inspector of Buildings

P.S. All concrete blocks are required to have cast in each block the brand of the manufacturer which must have previously been registered at this office.



APPLICATION FOR PERMIT ISSUE

Class of Building or Type of Structure Hill Construction DEC 6 1940

Portland, Maine December 2, 1940.

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect after install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Ogdenburgh Street Ward Within Fire Limits? no Dist. No _____
Owner's or Lessee's name and address Cunningham Realty Co. Telephone _____
Contractor's name and address F. W. Cunningham & Son, 181 State St. Telephone 2-0246
Architect Owner Plans filed yes No. of sheets _____
Proposed use of building Garage No. families _____
Other buildings on same lot Agency (Standard Brackets)
Estimated costs \$12,000. Fee \$ 7.50

Description of Present Building to be Altered

Material No. stories Heat Style of roof Roofing
1st use _____ No. families _____

General Description of New Work

To erect one story cinder block building app. 80' x 80' as per plans yes

I understand that this permit does not include installation of heating apparatus which is to be taken out separately by any in the heating contractor.

Douglas Fir Details of New Work

Size, front depth dressed Height average grade to top of plate yes

To be erected on solid or filled land? solid and filled earth or rock? earth

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof Pitch Rise per foot _____ Roof covering 1" shingle 5 ply

No. of chimneys 1 Material of chimneys brick gr of lining _____

Kind of heat steam Type of fuel oil Is gas fitting involved? _____

Corner posts Sill Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8' feet. Sills and corner posts all one piece in cross section

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? _____ no _____

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes _____ Cunningham Realty Co. W. J. Cunningham

INSPECTION COPY

Signature of owner W. J. Cunningham

W. J. Cunningham
Cunningham Realty Co.

Wkd 7 Permit No. 40/1989
Location Ogdenburgh St.
Owner Cunningham Realty Co.
Date of permit 12/16/40.
Notif. closing-in
Inspn. closing-in
Final Notif. 4/1/41. 9:20 AM
Final Inspn. 4/1/41 - O.K.
Cert. of Occupancy issued 4/1/41

NOTES

12/19/40 - Some of
poor tie piers.

1/6/41 - Found all in good
shape.

1/4/41 - Found all
above - good.

1/26/41 - Found all
started - O.K.

1/29/41 - All in good
shape.

2/1/41 - Found all
in good condition.

2/13/41 - Working around
area - O.K.

3/18/41 - Working around
area - O.K.

3/26/41 - Building
around - O.K.

closing building

4/1/41 - Four soda acid
2 1/2 gal fire extinguisher,
and one qt dry carbon
tetrachloride provided.
Besides each truck has
a 1 qt carbon tetrachloride
extinguisher - Q.S.

October 18, 1957

To The Municipal Officers:

Having examined an application by John Donnelly & Sons for a building permit to cover alterations of certain billboards on the ground at 1002 Congress Street, the Committee on Zoning and Building Ordinance Appeals recommends that the application be approved and that the Inspector of Buildings by the acceptance of this report and its recommendations, be directed to issue said building permit, subject to full compliance with all terms of the Building Code.

COMMITTEE ON ZONING AND BUILDING
ORDINANCE APPEALS

Chairman

<p>RECEIVED OC 7 1937 DATE OF ISSUE REC'D. CITY OF PORTLAND</p>	<p>UNION STATION R.R. TRACKS CONGRESS ST LOCATION 1002 CONGRESS ST OWNER JOHN CUNNINGHAM JOHN CUNNINGHAM & SONS TEL 20357</p>
	<p>NEW 32' X 12' 376' 14" - 59' X 12' OLD</p> <p>STANDARD BRANDS BUILDING</p>



APPLICATION FOR PERMIT

Permit No. 1524
PERMIT ISSUED

Class of Building or Type of Structure Billboards

Portland, Maine, October 5, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1002 Congress Street Ward 7 Within Fire Limits? no Dist. No.

Owner's or Lessor's name and address John Donnelly & Sons, 75 Main St., So. Portland Telephone 2-0557

Contractor's name and address Owner Telephone

Architect Plans filed yes No. of sheets 1

Proposed use of building No. families

Other buildings on same lot

Estimated cost \$ 1.00

Description of Present Building to be Altered

Material No. stories Heat Style of roof Roofing

Last use No. families

General Description of New Work

To relocate billboard 52' x 12' as shown on plan, billboard will be wood frame with metal face at least three feet above grade and not more than 15' to highest point

Approved by vote of Municipal Officers Oct. 18, 1937

Owner of property John J. Cunningham

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

NOTIFICATION BEFORE LATENT
HEIGHT AVERAGE GRADE TO TOP OF PLATE OR CLOSING-IN IS WAIVED

Size, front depth No. stories Height average grade to highest point of roof

CERIFICATE OF OCCUPANCY
EARTH OR ROCK?

To be erected on solid or filled land? Thickness, top bottom

Material of foundation Thickness, top bottom

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto

are observed? yes

Signature of owner John Donnelly & Sons

By J.A. Tinkham

INSPECTION COPY

Ward 7 Permit No 37/1771

Location 1002 Congress St

Owner John Dargatzka & Sons

Date of permit 10/19/37

Matif closing-in

Insprn. closing-in

Final Notif.

Final Inspn. 1/13/38. Ode,

Cert. of Occupancy issued None

NOTES

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1007-4 Congress St
2 panels 52 x 12

Standard
Brands

Post
sign 10' wide

09
+1
now

+8 ways 18

Puritan Adv. Co



INDUSTRIAL ZONE
APPLICATION FOR PERMIT

Permit No. **PERMIT ISSUED**

1510

Class of Building or Type of Structure Bill Board Date Oct 24 1934

Portland, Maine, October 3, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1002 Congress Street Ward 7 Within Fire Limits? no Dist. No. Holyoke

Owner's or Lessee's name and address Puritan Advertising Co., 1002 Congress St. Telephone 2-0357

Contractor's name and address Owner Telephone _____

Architect's name and address _____ No. families _____

Proposed use of building _____

Other buildings on same lot _____ No. of sheets 1 Fee \$ 1.00

Plans filed as part of this application? yes

Description of Present Building to be Altered

Material Wood No. stories 1 Heat Gas Style of roof Gabled Roofing Shingles No. families 1

Last use _____

General Description of New Work

To erect bill board - 2 panel - 50' x 12' - all metal face with wood frame
Sign will be 8' above grade and not over 15' to highest point NOTICE OF DEPARTMENT
OR CLOSING-IN IS WAIVED.

**CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED**

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 8x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____ height? _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

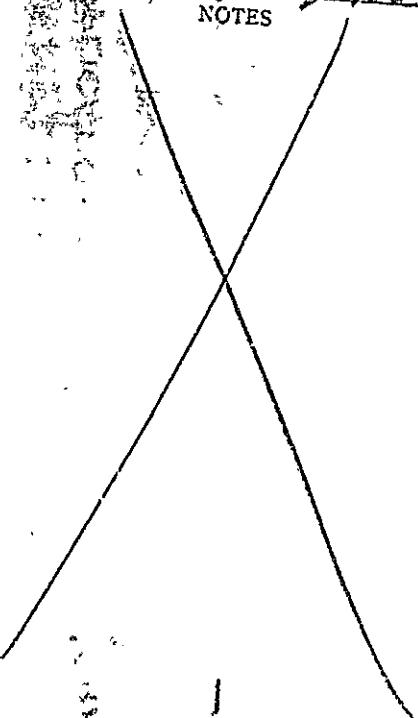
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Puritan Advertising Co. By W.P. McLaughlin 2816

INSPECTION COPY

Ward _____ Permit No. 34/1510
Locality 1302 Congress St
Owner C. L. Johnson & Co.
Date of permit 10/14/34
Not to do _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. 10/34. C.L.C.
Cert. of Occupancy issued 10/14/34

NOTES





FILL IN COMPLETELY AND SIGN WITH INK

PERMIT ISSUED
2425

Permit No. 2425

Nov. 24, 1931

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Nov. 24, 1931.

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications.

Location 998 Congress St. Use of Building Mercantile

Name and address of owner Cunningham Realty Co. Ward 7

Contractor's name and address The Fels Co. Telephone F. 193

General Description of Work

To install New steam heating plant

IF HEATER, POWER BOILER OR COOKING DEVICE

NOTIFICATION BEFORE
OR CLOSING DAY IS WAIVED.
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED.

Is heater or source of heat to be in cellar? yes If not, which story Kind of Fuel Concrete

Material of supports of heater or equipment (concrete floor or what kind) Concrete

Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, 3 ft.

from top of smoke pipe 20", from front of heater 6' from sides or back of heater 5 ft.

IF OIL BURNER

Name and type of burner Approved by Underwriters' Laboratories? B.C. 12/2/31

Location oil storage No. and capacity of tanks

Will all tanks be more than seven feet from any flame? How many tanks fireproofed?

Amount of fee enclosed? (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of contractor

The Fels Co
C.H. Nelson

INSPECTION COPY

Ward 7 Permit No. 31/5425
Location 998 Congress St.
Owner Cunningham Realty Co
Date of permit 11/25/31

Notif. closing-in

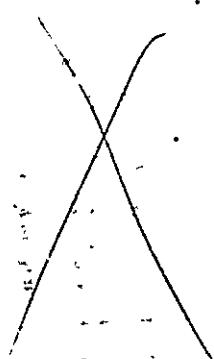
Inspn. closing-in

Final Notif.

Final Inspn. 12/2/31 - O.T.

Cert. of Occupancy issued None

NOTES



Cunningham Realty B Co. - 1000 - 4th Street
9/5/31.

✓ In Industrial Zone OK.

Raised 4" threshold at F. D. leading to garage or at main door leading to cellar stairs. One of doors to be truly self closing on wall between garage & balance of Rd. ✓ Safety trap on floor drain of garage. Sect. 72 - Garage wall next to base of front project wall - with window shall be cap. Sect. 75 - Front doors to swing out & be double acting and recessed enough so as not to swing on sidewalk. Sect. 82 - 2 - fire ext. in garage - land w. ext. fire in ground floor & one in basement - no ext. on first & 1st story in conspicuous place.

men's toilet inside - incidentally boys' shower - must not have scablon walls at 5 ft. 6" scablon.

If outside wall tile with brick facing brick facing bonded with at least one header course every six courses or at least one full header in each 7 1/2" of wall - such facing may not be more than 1" wide and not part of wall. Wall bearing tile shall be cut across not more than 1" less than 7 1/2" as laid in wall and no single tile less than 6 1/2" sq in.

Foundation wall at least 1" thicker than wall above it and plumb bearing separate. According to page 24.

Buntings in Reality - Page 2

OK. Roof - 24" C B @ 1.50' on 48' span good for 6.3 tons
48 x 7.9 x 50 = 45,600

→ Tily width 12" - $\frac{1}{48}$ th of span - enough
trusses so as to brace top flange - above
wall anchors.

6x12 D F on 8' span - 6' center good for
76.56 x 0.85 = 63.4

1.9 x 6 x 50 = 5700
2x12 W.T. good for 76.56 x 0.65 = 48.23

All dressed

OK. 16" C B @ 40" on 21' span good for 37000.

Plg 7" - $\frac{21 \times 2}{2 \times 1} = 24,150$

= 3.6 times span length OK.

2x12 D F on 12" o.c. on 23' span good

OK. for 188.9 x 0.85 = 153.4

→ 2 rows - 2x3 bridging - wall anchors
every 8 ft.

Floor on basement

10" C B @ 4 1/2 m. 1.6' span good for

must measure 21 m 42 cm - no 42

21 grid for 16.500

42 " " 29.000

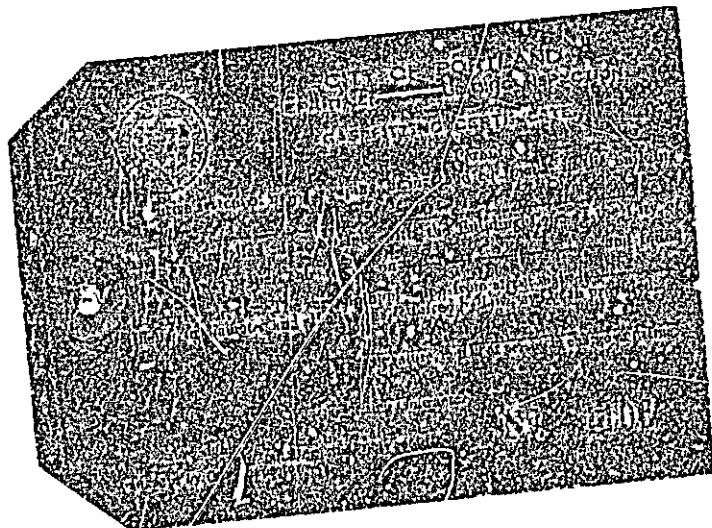
16 x 14.5 x 130 = 30,160 *

OK. 5.5 - 12.3 - 1.5" o.c. 16.5 span good for 16.5 x 22.6 = 3729.

16.5 x 1.25 x 130 = 2600

OK. 5.5 - 12.3 - 1.5" o.c. 18' span good for 18.0 x 18.9 = 341

18 x 13.0 = 2740



F6709A-I

Copy to Cunningham Realty Co.-181 State St. January 20, 1932

C. M. Robinson Company
14 West 12th Street
Cincinnati, Ohio

Gentlemen:

On December 21, 1931, your representative who signs himself Joe Killinger made application for a permit to install a refrigeration plant for the Cunningham Realty Company at 1000-4 Congress Street, this City.

At the time that Mr. Killinger made the application, the plant was practically completed despite the fact that no permit from this office had been issued to cover the installation. Mr. Killinger represented that he was unaware of the permit requirement, or at least unaware of his responsibility towards this city department, and we believe that he was in good faith about the matter.

However, he was told that we required a plan of the installation showing all control valves, etc. for the benefit of the Fire Department, and he agreed to have the plan forwarded from your main office. More than a month has now elapsed, and we have not received the plan.

I wish to call your attention to the fact that had we been inclined to stand upon ceremony, you would have created a very embarrassing situation for your client, the Cunningham Realty Company, as strictly speaking they cannot legally occupy the building until all of the requirements of the building have been met.

I feel sure that you have not understood the situation, but will you without delay forward the plans of the refrigeration plant and avoid any further difficulties on our part or yours?

Very truly yours,

Inspector of Buildings,

W.H.B.C.

If outside wall is to be tile with brick facing, facing shall be bonded to wall with one header course every six courses or at least one full length header in every 72 square inches of wall. Such facing bonded to

THE C. M. ROBINSON COMPANY

ENGINEERS AND CONTRACTORS

ICE MAKING AND REFRIGERATING MACHINERY

2827-2831 FLORENCE AVENUE

CINCINNATI, OHIO

DISTRIBUTORS FOR
FRICK COMPANY, INC.
WAYNESBORO, PA.

BRANCH OFFICE
478 N. PARK ST.
COLUMBUS, OHIO

February 2, 1952

Mr Warren McDonald,
Inspector of Buildings,
City of Portland,
Portland, Maine

Dear Sir:-

We acknowledge your letter of January 29th. We have just talked with Mr Killinger regarding the building permit for the installation we made at Portland, Maine and he advises that he was not aware that it was necessary for him to take out a permit until your representative called on him. At that time he accompanied your representative to your office and made application which is covered by your receipt # 6709-A and your office made a typewritten notation on the back of this receipt reading as follows. "Kindly send plan showing location of control valves and shut off."

Mr Killinger sent this receipt in here with his expense account and it was not turned over to the reverse side and this entire matter was overlooked which we regret exceedingly.

We are in accordance with your request, enclosing drawing showing the details of the piping and valves of the refrigerating equipment in question and we hope this will give you the information you require. If there are any further questions write us and we will try to give you proper answers.

Very truly yours,

THE C.M. ROBINSON COMPANY.

RECEIVED

The man's toilet is inside and evidently is to have a skylight over. A ventilator through roof with a ventilating area of at least 56 square inches is also required. This may be a ventilated skylight.

If outside wall is to be tile with brick facing, facing shall be bonded to wall with one header course every six courses or at least one full length header in every 72 square inches of wall. Such facing bonded to wall

File Rec. No. 5735A-I

Sept. 5, 1931

F. W. Cunningham & Sons,
181 State St.,
Portland, Me.

Gentlemen:

Enclosed is the building permit for construction of the building for Cunningham Realty Co. at 1000-4 Congress St. The following matters are called to your attention:

A threshold raised at least 6" above the level of the first floor, should be provided either in the opening in brick wall between garage and front part of building or at the doorway leading from Shipping Room to cellar stairs. At least one of the fire doors in opening between garage and front of building should be a "self-closing" door, and by the term "self-closing" is meant a door that is normally closed and kept closed by an approved device. Either or both of these doors may be made to swing, but the frame of the opening, if any, should be structural metal.

Traps of an approved type to exclude oils from the sewer should be provided at floor drains in garage.

The westerly wall of the garage should have a parapet wall at least two feet above roof and an incombustible cap without woodwork.

The front doors should swing outwards or be double acting and recessed sufficiently so that they will under no circumstances project over any part of the public sidewalk.

Two fire extinguishers are required in the garage portion, one in balance of first story, and one in basement, all to be of an approved type and kept in conspicuous places. One-quart size or larger extinguishers, using carbon tetrachloride as an extinguishing agent will be satisfactory at all of these locations.

The men's toilet is inside and evidently is to have a skylight over. A ventilator through roof with a ventilating area of at least 58 square inches is also required. This may be a ventilated skylight.

If outside wall is to be tile with brick facing, facing shall be bonded to wall with one header course every six courses or at least one full length header in every 72 square inches of wall. Such facing bonded with mortar.



AMENDMENT TO APPLICATION FOR PERMIT

PERMIT ISSUED

original Permit No. 1

Amendment No. 1

NOV 5 1931

Portland, Maine, November 4, 1931

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 81/1677 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1600-A Congress Street Ward 7 With the Fire Limits? no Dist. No. _____

Owner's or lessee's name and address Cunningham Realty Co. 181 State St. F 5380

Contractor's name and address P. W. Cunningham & Sons 181 State St.

Plans filed as part of this Amendment Yes No. of sheets 1

Description of Proposed Work
To change openings and install two skylights as shown on plan submitted

Cunningham Realty Co.
by P. W. Cunningham & Sons

Signature of Owner by J. L. [Signature]

Approved:

Original No. 51/1877

Amendment No. 2



AMENDMENT TO APPLICATION FOR PERMIT : 4 1832

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine December 21, 1931

Plan Rec'd 2/4/32

The undersigned hereby applies for an amendment to Permit No. 51/1877 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 1000-4 Congress Street Ward 7 With the Fire Limits? RC Dist N

Owner's or Lessee's name and address Cunningham Realty Co., 101 State St.

Contractor's name and address C. W. Robinson Co., 14 West 12th St. Cincinnati, Ohio

Plans filed as part of this Amendment yes (to be sent in) No of sheets

Description of Proposed Work

To install refrigeration (room 16' x 12')

Cunningham Realty Co.
By C. W. Robinson Co.

Signature of Owner By Joe Rice, Manager

Approved 2/10/32

Approved: Elmer T. Taubone

Chief of Fire Department.

Commissioner of Public Works

INSPECTION COPY

Inspector of Buildings

3,000

Fee \$1.50

Warren McDonald



INDUS. BLDG. ZONE

P Permit No. 1677

SEP 8 1931

APPLICATION FOR PERMIT

Class of Building or Type of Structure Second & Mill

Portland, Maine, September 4, 1931.

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect after install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1000-4 Congress Street Ward 7 Within Fire Limits? No Dist. No.

Owner's or lessee's name and address Cunningham Realty Co., 181 State St. Telephone

Contractor's name and address F. W. Cunningham & Sons, 181 State St. Telephone F 5280

Architect's name and address Leslie Libby

Proposed use of building Agency Building (Warehouse and garage) No. families

Other buildings on same lot none

Description of Present Building to be Altered

Material No. stories Heat Style of roof Roofing No. families

Last use

General Description of New Work

To erect no story brick and tile building, app 60' x 126'

as per plans submitted

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? solid earth or rock? earth

Material of foundation concrete Thickness, top bottom

Material of underpinning Height Thickness

Kind of roof flat 1/8" rise Roof covering tar and gravel 5 ply

No. of chimneys yes Material of chimneys brick of lining tile

Kind of heat steam Type of fuel Distance, heater to chimney

If oil burner, name and model

Capacity and location of oil tanks

Is gas fitting involved? gas Sills Girt or ledger board? Size

Corner posts Sills Size Max. on centers

Material columns under girders

Studs (outside walls and carrying partitions) 2x1-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? 12" height? 12"

If a Garage

No. cars now accommodated on same lot none to be accommodated 14

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street?

Plans filed as part of this application? yes No. sheets 2 fees \$ 10.25

Estimated cost \$ 10,000. fee \$ 10.25

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner F. W. Cunningham & Sons Cunningham Realty Co.

1 PREPAID COPY

(William J. Saunier)

FIRE DEPT.

5785 A

Ward

7 Permit No. 31/1677

Location 1006-4 Congress St.
Cincinnati from Realty
Date of permit 9/18/31
Notif. closing-in 11/20/31 1:00 PM
In-pn. closing-in 12/1/31 - GT
Notif. Final Inspection Report sent 11/25/31
Final Notif. 12/21/31 9:10 AM
Final Inspn. 1/6/32 - OK to certificate
Cert. of Occupancy issued 1/7/32

NOTES:

9/14/31 - No work started. - A.G.S.
9/16/31 - Same day
9/27/31 - Same day
9/30/31 - Same day
10/31 - New work started
10/14/31 - Excavating for foundation walls & labeling off for O.J.
11/1/31 - Poured foundation walls - A.G.S.
11/20/31 - Pouring concrete in wall of garage
12/1/31 - Pouring concrete floors - A.G.S.
11/10/31 - Boarding up A.G.S.
11/17/31 - Pouring concrete floors - A.G.S.
11/21/31 - Firestopping to be done around soil stack and roof drain at ceiling level. Did not require firestopping to be done between strapping on outside walls at ceiling level where ceiling is hung about 30' below rafters. 1st floor is concrete with wooden floor on top and combustible insulation to provide ventilation under floor to prevent nothing by means of air passage between strapping & into space between ceiling and roof. Each down three passage between strapping on other side. Disadvantages of this ventilation seem to me to far outweigh any benefit that firestopping might do, as possibility of fire

occurring so as to pass up between strapping is not very great. A.G.S.

12/21/31 - How about refrigeration fire? 1st door yet at head of basement stairs. One more door to go on between garage + rest of building. No fire extinguishers as yet A.G.S.

12/21/31 - Refrigeration permit applied for. No fire extinguishers.

1/29/32 - Building bonds man called up for final inspection. He is to tell them to get fire extinguishers and notify when they are in place - fire

12/31/31 - Working on fire extinguishers A.G.S.

1/6/32 - Fire extinguishers up - Plan of refrigeration not yet received. A.G.S.

YOU!
 are responsible for complying, Ownership and detail must be correct, complete and legible.
 with the Building Department or not.
AD!
 This Application and
 Get All Questions Answered
 BEFORE Commencing Work.
 Failure To Do So
 May Prove

Separate application required for every building.
 Plans must be filed with this application.

Application for Permit for Alterations, etc.

Portland, Me., June 8/25..... 19

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—
 Location 994 Congress Street Ward 7 in fire-limits? No.

Description of Present Bldg.	Name of Owner or Lessee, " Contractor, " " Architect,	Putitan Adv. Co owner	Address	897 Congress St
			"	"
			"	"
	Material of Building is	Style of Roof,	Material of Roofing,	
	Size of Building is	feet long; feet wide.	No. of Stories,	
	Cellar Wall is constructed of	is inches wide on bottom and batters to inches on top.		
	Underpinning is	is inches thick; is feet in height.		
	Height of Building	Wall, if Brick; 1st, 2d, 3d, 4th, 5th,		
	What was Building last used for?	No. of Families?		
	What will Building now be used for?	sign board		

Detail of Proposed Work
 Add 25 feet to present sign board
 all to comply with the building ordinance

Estimated Cost \$ 100.

If Extended On Any Side

Size of Extension, No. of feet long? ; No. of feet wide? ; No. of feet high above sidewalk?
 No. of Stories high? ; Style of Roof? ; Material of Roofing?
 Of what material will the Extension be built? Foundation?
 If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.
 How will the extension be occupied? How connected with Main Building?

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations?
 No. of feet high from level of ground to highest part of Roof to be?
 How many feet will the External Walls be increased in height? Party Walls

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? in Story.
 Size of the opening? How protected?
 How will the remaining portion of the wall be supported?

Signature of Owner or
 Authorized Representative

Address

*Putitan Advertising Co.
 1008 Melanchl. Bldg.
 697 Congress St.*



Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the

Portland, Me., April 11, 1924, 19:

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:

Location 994 Congress Street Ward 7 in fire-limits? no
Name of Owner or Lessee, Puritan Advertising Co. Address 697 Congress St.

" " Contractor, owner

" " Architect,

Description of Present Bldg. Material of Building is brick Style of Roof, pitch Material of Roofing, asphalt
Size of Building is 28ft feet long; 10ft feet wide. No. of Stories, 1
Cellar Wall is constructed of posts is inches wide on bottom and batters to inches on top.
Underpinning is is inches thick; is feet in height.
Height of Building 12ft Wall, if Brick; 1st, 2d, 3d, 4th, 5th,
What was Building last used for? store No. of Families?
What will Building now be used for? store

Detail of Proposed Work

erect sign board on above described building 11x25feet
all to comply with the building ordinance

Estimated Cost \$75.

If Extended On Any Side

Size of Extension, No. of feet long?; No. of feet wide?; No. of feet high above sidewalk?
No. of Stories high?; Style of Roof?; Material of Roofing?
Of what material will the Extension be built? Foundation?
If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.
How will the extension be occupied? How connected with Main Building?

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations
No. of feet high from level of ground to highest part of Roof to be?
How many feet will the External Walls be increased in height? Party Walls

If Any Portion of the External or Party Walls Are Removed

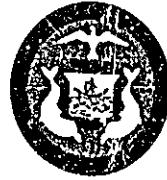
Will an opening be made in the Party or External Walls? in Story.
Size of the opening? How protected?

How will the remaining portion of the wall be supported?

Signature of Owner or
Authorized Representative, *Puritan Advertising Co., Inc.*
Address 697 Congress St.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

100



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

February 7, 1986

RE: Rear 1004 Congress Street
(Near Danforth Street)

Mr. John L. Donovan, President
Biotherm International, Inc.
P.O. Box 4043, Station A
Portland, Maine 04101

~~Denial~~ Denied

2/7/86

Dear Mr. Donovan:

I have concluded that based on the additional information submitted with your application for a building permit and change of use for your proposed use in the I-2 Industrial Zone, these permits must be denied based on the following reasons.

We have concluded that this is a product which can be valuable as a growth supplement or a fertilizer, that such a process involving fish and seaweed and its transformation into a liquid state or bactericide is a process not allowed within the I-2 Industrial Zones.

These uses are prohibited in Section 14-246 (2) of the City Zoning Ordinance (Portland Land Use Code). If you wish to appeal, you may file an appeal for review by the Board of Zoning Appeals through this office.

Sincerely,

Warren J. Turner
Zoning Specialist

Not sent

cc: Merrill Seltzer, Chairman, Board of Appeals
Joseph E. Gray, Jr., Director of Planning and Urban Development
David Lourie, Corporation Counsel
Alexander Jaegerman, Chief Planner
P. Samuel Hoffses, Chief of Inspection Services



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

February 6, 1986

Rear 1004 Congress Street
(Near Danforth Street)

Mr. John L. Donovan, President
Biotherm International Inc.
P. O. Box 4043, Station A
Portland, ME 04101

DRAFT

Dear Mr. Donovan:

Building permit and change of use for your proposed project cannot be issued by this office based on the following reasons:

a. Section 14-246 (2) of the Zoning Ordinance governing prohibited uses within the I-2 Zones includes:

(2) Fabrication, processing or manufacture of:

- "d. processing of fish is not allowed."
- "f. The distillation or rendering of fertilizer or growth supplements is prohibited."
- "g. Production of insecticides or fungicides...refining or derivation of by-products."

Based upon these above prohibitions in the City Zoning Ordinance, the proposed uses which Biotherm contemplates are denied by this office.

If you wish to appeal this decision, you may initiate a Use Variance or Interpretation Appeal before the Board of Zoning Appeals by filing for such an appeal before the Board of Appeals. The fee for such action is \$50.00 per appeal or variance.

Sincerely,

Warren J. Turner
Zoning Specialist

WJT/jmr

cc: Merrill Seltzer, Chairman, Board of Appeals
Joseph E. Gray, Jr., Director, Planning & Urban Dev.
Alexander Jaegerman, Chief Planner
P. Samuel Hoffses, Chief, Inspection Services

W. Turner



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING & URBAN DEVELOPMENT

February 3, 1986

John L. Donovan, President
Biotherm International, Inc.
P.O. Box 4043, Station A
Portland, Maine 04101

Re: Biotherm/1004 Rear Congress Street
Dear Mr. Donovan:

This is to acknowledge receipt of your letter of January 29, 1986 apparently requesting a building permit for Biotherm's proposed facility at 1004 Rear Congress Street. According to our records, however, there is no such application pending, the two previous applications having been withdrawn and the fees twice refunded at your request. Since this office does not give advisory opinions, if you still seek a decision on the permissibility of this use at that location, please resubmit an application for permit together with the appropriate fee to the Code Enforcement Division, Department of Planning and Urban Development. A decision will then be made in due course.

Sincerely,

Joseph E. Gray, Jr.
Joseph E. Gray, Jr.
Director

JEG/smb

Joseph -

John Donovan - Brother - called me at

home last night he wants to speak with you

about the small digester - the original

one from the Portsmouth area demonstration -

which he is now operating on St. John Street.

He wants to know if this is OK as to zoning

(since it's a "test unit" I suppose) and wants a

permit to enclose it with some kind of structure.

Can you call him?

Tom

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: P. Samuel Hoffses, Chief of Inspection Services
FROM: John E. Vandaloski, Assist. Chief of Inspection Services
SUBJECT: Bio Therm's Request

DATE:
February 3, 1986
JEL

After reviewing the letters concerning Bio Therm's fish hyrolysate, I have not been convinced positively that a "loose" interpretation of the word fertilizer might support an opponents position that the plant should not be allowed to operate in the proposed I-2 Zone.

Although the N-P-K (nitrogen phosphorous - potassium) level in the most recent experimental test batches have been analyzed around .9 .9 .9, the Department of Agriculture, according to Robert Clark (Enforcement) candidly stated that they could very well still determine that this product is a fertilizer. The laws of the State of Maine 7 MRSA Sec. 742.7 would seem to illustrate that the substance (fertilizer) must be primarily used for its plant nutrient content.

In looking at the supporting "documents", it seems that Bio Therm altered their original plans to manufacture the product as a fertilizer after Warren Turner turned down their original application. In looking at their latest lab reports and research by the University of Rhode Island and the Florida Department of Agriculture & Consumer Services, I sincerely feel that this microbiologically digested organic (fish) product will take the place of a; herbicide, fungicide, insecticide and bactericide. Obviously, the product still has some fertilizer value and this is the grey area which we should evaluate very thoroughly before we collectively make a final determination.

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development

Section 14-246 (2)(B) of the City's Zoning Ordinance prohibits the "Manufacture, processing or
manufacture of... (v) agribills and animal products, ... (including) fertilizers" in an I-2 zone.
Based upon the information submitted with your application and code our own analysis, this office
has concluded that if the product you described as resulting from the proposed plant would fall
within this prohibition as a potential growth supplement or fertilizer.



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

February 7, 1986

RE: Rear 1004 Congress Street
(Near Danforth Street)

Mr. John L. Donovan, President
Biotherm International, Inc.
P.O. Box 4043, Station A
Portland, Maine 04101

Dear Mr. Donovan:

I have concluded that based on the additional information submitted with your application for a building permit and change of use for your proposed use in the I-2 Industrial Zone, these permits must be denied based on the following reasons:

We have concluded that this is a product which can be valuable as a growth supplement or a fertilizer, that such a process involving fish and seaweed and its transformation into a liquid state or bactericide is a process not allowed within the I-2 Industrial Zones.

These uses are prohibited in Section 14-246-(2) of the City Zoning Ordinance (Portland Land Use Code). If you wish to appeal, you may file an appeal for review by the Board of Zoning Appeals through this office.

Sincerely,

permit denied February 5, 1986
as Herby

Within 30 days of this decision.

Warren J. Turner
Zoning Specialist

cc: Merrill Seltzer, Chairman, Board of Appeals
Joseph E. Gray, Jr., Director of Planning and Urban Development
David Lourie, Corporation Counsel
Alexander Jaegerman, Chief Planner
P. Samuel Hoffses, Chief of Inspection Services

APPLICATION FOR PERMIT

B.O.C.A. USE GROUP
 B.O.C.A. TYPE OF CONSTRUCTION
ZONING LOCATION ... *T-3 Zone*, PORTLAND, MAINE ... Feb., 5, 1986.

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 1004 Rear Congress Street

1. Owner's name and address Cianbro Corp. ... Pittsfield, Maine Telephone
 2. Lessee's name and address Biotherm International, P.O. Box 4043, Station A Portland, e. 04101 Telephone 799-8126
 3. Contractor's name and address Contractor - David DiPietro ... 221 Virginia St. Telephone 797-9531
 Proposed use of building concrete pad. No. of sheets
 Last use No. families
 Material No. stories Heat Style of roof No. families
 Other buildings on same lot Roofing
 Estimated contractual cost \$... 4,000.

FIELD INSPECTOR—Mr.	Appeal Fees \$
..... @ 775-5451.	Base Fee 40.00
To construct concrete pad, 18' x 36' x 12"	
which would support a storage tank and anaerobic digester.	
	Late Fee TOTAL \$

Stamp of Special Conditions

Permit Denied 2/7/86

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... no Is any electrical work involved in this work? ... no
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size Girder Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? no

ZONING:
 BUILDING CODE:
 Fire Dept.:
 Health Dept.:
 Others:

Will there be in charge of the above work a person competent
 to see that the State and City requirements pertaining thereto
 are observed? yes

Signature of Applicant

Phone # .. *SAME*

Type Name of above John L. Donovan, for 2 3 4
 Biotherm International

Other
 and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

NOTES

Location	Permit No.
Owner	
Date of permit	
Approved	
Dwelling	
Garage	
Alteration	

Biotherm

INTERNATIONAL

P.O. Box 4043 Station A Portland, Maine 04101 (207) 799-8126

RECEIVED

FEB - 5 1986

DEPT OF BUILDING INSPECTION
CITY OF PORTLAND

Joseph E. Gray
Director of Planning and Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

January 29, 1986

Dear Joe:

Biotherm International, Inc. believes that it has the right to use a building in an I-2 zone to conduct its affairs.

In discussions with the Building Inspectors' Office of the City of Portland, Biotherm was informed that its application for a building permit would be denied on the grounds that it is marketing a fertilizer product. We believe this interpretation to be erroneous, arbitrary, capricious and an abuse of authority.

The pertinent section of the Zoning Ordinance reads in part:

"No building shall be...altered...or used...in an I-2...zone... for any of the following uses:..."

(2) Fabrication, processing or manufacture of:...

f. Vegetable and animal products, except those from materials previously processed elsewhere which shall not include...fertilizer ..." Section 14-246 (2) f.

The American College Dictionary defines "fertilizer" as "any material used to fertilize (enrich) the soil, esp. a commercial or chemical manure." Obviously a very broad generic type definition that can cover all sorts of matter or compounds.

The laws of the State of Maine do not define fertilizer as such. However they do define "fertilizer material" as any substance containing nitrogen, phosphorous, potassium or any recognized plant nutrient element or compound which is used primarily for its plant nutrient content or for compounding mixed fertilizers except un-manipulated animal and vegetable manures." 7 MRSA Sec. 742 7. This definition is not as broad since the "any substance" (material) is qualified by the standard that it must be primarily used for its plant nutrient content.

Biotherm's product, the hydrolysate of anaerobically digested fish, will not be used for its plant nutrient (N-P-K) content. Since we have a microbiological process and not a chemical process, Biotherm cannot provide a guaranteed analysis of minimum plant nutrient levels as required by the State of Maine fertilizer laws. Consequently, it cannot be charged with manufacturing a fertilizer.

J.E. Gray
1/29/86
Page 2

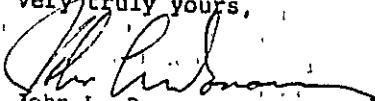
Admittedly Biotherm, in its early stages, considered that it might manufacture a fertilizer. However, in the intervening months as laboratory and field tests have been analyzed, we have reconsidered our product lines.

Enclosed are copies of correspondence that support our contention that the highest and best use of our product is in the nature of a bacteristatic agent. This has been a Company position since the fall of 1985. Enclosure 1. is a letter dated November 8, 1985 to Dr. T.S. Schubert, Plant Pathologist, Florida Department of Agriculture and Consumer Services, requesting tests as a bactericide. Enclosure 2. dated January 20, 1986 to the Company, is a copy of Dr. Schubert's reply. Enclosure 3. is a Company letter to Dr. Walter Kinder, University of Florida, continuing the bactericide discussion. Enclosure 4. is a letter to the Company, dated January 23, 1986, from C.R. Skogley, Professor of Turfgrass Management, University of Rhode Island, urging the testing of the product as a fungicide or insecticide. Enclosure 5. is a letter to the Company dated January 24, 1986 from W.E. Colby, Microbiologist, Northeast Laboratory, Waterville, Maine suggesting investigation of the bactericidal properties. We trust that these noted scholars and scientists and Biotherm's own representations will convince you of the merits of our position.

We believe that the manufacture of a bactericide from animal products previously processed elsewhere is allowed in an I-2 zone. This product does not violate the standards in Sec. 14-246 (2) g. because it is not a plastic or a chemical product but an animal product and thus allowed.

In our opinion, Biotherm should be granted immediately, any and all building permits, use permits and other licenses necessary to proceed with the conduct of its affairs. Continued delay on the City's part will only result in a needlessly expensive legal process to secure our rights.

Very truly yours,


John L. Donovan
President

/stc

Biotherm

INTERNATIONAL

P.O. Box 4043 Station A Portland, Maine 04101 (207) 799-8126

Dr. Tim Schubert
Florida State Department of Agriculture
Plant Pathology Department
P.O. Box 1269
1911 SW 34th Street
Gainesville, Florida 32602

November 8, 1985

Dear Dr. Schubert:

I appreciate the opportunity to have Biotherm's new organic hydrolysate tested for possible bactericidal action against Xanthomonas Citri.

To date we have tested our product against Fecal Choliform, *Salmonella typhimurium*, *Clostridia botulinum*, C. Bot toxin type E, together with vegetative spore analysis. All of these tests showed complete reductions of the toxins, indicator bacteria and vegetative spores.

In addition, work by others has determined similar results with *Fusarium oxysporum*, *corynebacterium* and *Globodera pallida*. Informal tests have shown the product to be effective against aphids and potato beetles.

We thank you for your assistance. If we can be of any service to you, or provide additional information, please feel free to contact us.

Very truly yours,

James R. Ferguson
Executive Vice President

cc: William McCullum, M.C.
C.H. Swan

enc: Material safety data sheet

/stc

STATE OF FLORIDA



FLORIDA DEPARTMENT OF AGRICULTURE & CONSUMER SERVICES

* DIVISION OF PLANT INDUSTRY / DOYLE CONNER BUILDING / 10116 W. 34TH STREET

* POST OFFICE BOX 1260 / GAINESVILLE 32602 / TELEPHONE 904-372-3505

January 20, 1986

Mr. Jim Ferguson
Biotherm International
P. O. Box 4043
Station A
Portland, Maine 04101

Dear Mr. Ferguson:

Samples 1, 2, 3, and 4 of Biostar Batch #1110851 have been received. Several in vitro tests against Xanthomonas campestris pv citri have revealed significant bactericidal activity in the product. Sample #4 demonstrated the most antimicrobial activity. It is my opinion and the opinion of my colleagues here that the product warrants further testing. Dr. Mike Meadows has recently joined our staff in the Bureau of Plant Pathology, and will be overseeing further laboratory testing of your product in our quarantine facility.

We will be in touch with further results of our tests.

Sincerely,

J. S. Schubert/jm
T. S. Schubert
Plant Pathologist

TSS:jm

Biotherm

INTERNATIONAL

P.O. Box 4043 Station A Portland Maine 04101 (207) 799-8126

4/11

Dr. Walter Kinder
University of Florida
Lake Alfred, Florida

January 21, 1986

Reference: Citrus Cancer Testing

Dear Dr. Kinder:

Thank you for the time you took to discuss the ongoing testing of our new organic based hydrolyzed fish material.

Tim Schubert and Dr. Michael Meadows of the Florida State Department of Agriculture in Gainesville have confirmed a definite bacteriostatic or bactericidal response when *Xanthomonas Citri* is exposed to our material. During other in-vitro testing we have had great success against the following:

Salmonella typhimurium
Clostridia botulinum
Choliform
De-naturing of C-Bot toxin Type E
Suppression of Vegetative spore growth

Work by others has shown similar results with:

Fusarium oxysporum
Corynebacterium michiganense
Globodera pallida

Biotherm has proprietary technology in the area of microbial fermentation/digestion. The liquid which possesses these bactericidal qualities is derived from the biological conversion of macerated fish material. We believe the inhibition of growth of plant pathogens in the Biotherm material is due in part to the presence of abundant enzymes, including proteolytic types. Fatty acids and ester by-products as well as volatile organics may also play an important role in the inhibition process.

It was recommended by Tim Schubert that we seek field trials to determine the level of systemic activity derived from foliar application of our material.

We are, therefore, most encouraged by your agreement to initiate field testing against citrus canker in Argentina, and are eager to work closely with Dr. Ray McGuire at his earliest convenience.

Please let us know how to proceed with the Argentina test program and advise us of any additional information which may be required.

Dr. Walter Kinder
1/21/86
Page 2

Thank you for your cooperation.

Sincerely,

James R. Ferguson
Executive Vice President

/stc

enclosures *NE habe*
5841-2, 4. Materials, Testimony

cc: C.H. Swan
Congressman William McCullum



University of Rhode Island, Kingston, RI 02881-0804
College of Resource Development, Department of Plant Science

January 23, 1986

Mr. John Donovan
Bio Therm International
P.O. Box 4043, Station A
Portland, ME 04101

Dear Mr. Donovan:

This is in response to your phone call of January 17, 1986. We are looking forward to working with you in the effort to evaluate the fish waste product you have developed. As I have stated to you, your product should not be considered to be a fertilizer. It is obvious that it has fertilizer value. Any decomposable organic matter has some fertilizer value. As it also contains many minor and trace elements it may also have value as a "tonic" similar to various inorganic commercial products formulated for use on turf, ornamentals and food crops. Beyond these potential values, however, we would like to evaluate the product as it affects the health and well-being of plants. We would like to determine whether it has fungicidal or insecticidal values or because of its complex organic base it may have other benefits to plant growth.

Through the years considerable research has been done with various products from the sea. There are reports of beneficial effects on enhancing plant growth with certain of these products. These benefits have not been attributed to "fertilizer" value.

It is certainly possible to fortify your product with nitrogen, phosphorus and potassium, or other elements to create a fertilizer for various crops. Since this type of product would be considerably more expensive than commercial inorganic fertilizers there would have to be additional benefits. It is these "added" benefits that we must ascertain.

Preliminary studies we have done here with your product and other fish waste products would indicate that plant growth is improved beyond that attributable only to fertilizer. We do look forward to working with you to fully evaluate your product.

Sincerely,
C.R. Skogley,
C. Richard Skogley
Professor of Turfgrass Mgt.

CRS/afn