

450-452 ST. JOHN STREET

SHAW-WALKER
8203-JR



R6 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, February 17, 1958

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ~~alter~~ ~~repair~~ ~~demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 450 St. John St. Within Fire Limits? no Dist. No.
 Owner's name and address Gerald L Arno, 450 St. John St. Telephone
 Lessee's name and address Telephone
 Contractor's name and address Maine Shawnee Step Co. Inc. P.O. Box 59 Auburn Me. Telephone
 Architect Specifications Plans yes No. of sheets 1
 Proposed use of building Dwelling No. families 1
 Last use " " No. families 1
 Material No. stories Heat Style of roof Roofing
 Other building on same lot
 Estimated cost \$ 235.00 Fee \$ 2.00

General Description of New Work

To erect pre-cast steps with 48" platform-4' wide-4 risers and sets 30" high.

According to Standard Shawnee plan. Approved by R.I Perry, Structural Engineer filed in the Building Dept. 8/15/57

Revised 5/1/58 - work not done.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Richard Snowe, RFD#4, Lunt Rd., Falmouth Me.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Is connection to be made to public sewer? If not, what is proposed for sewage?
 Has septic tank notice been sent? Form notice sent?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front Depth No. stories solid or filled land? earth or rock?
 Material of foundation concrete at least 4' below grade Thickness, top bottom cellar
 Material of underpinning precast posts Height Thickness
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining Kind of heat fuel
 Framing Lumber—Kind Dressed or full size? Corner posts Sills
 Size of Girder Columns under girders Size Max. on centers
 Kind and thickness of outside sheathing of exterior walls?
 Studs (outside walls and carrying partitions) 2x4-16" O. C Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof
 On centers: 1st floor 2nd 3rd roof
 Maximum span: 1st floor 2nd 3rd roof
 If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

.....
.....
.....

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 Gerald L Arno
 Maine Shawnee Step Co. Inc.

Signature of owner by:

Richard L. Snowe

INSPECTION COPY

FM

February 19, 1958

AP - 450 St. John Street
Proposal to construct 48-inch wide platform and steps at left side (as one faces
the building from the street) of the dwelling house, and departure from the space
requirements of the Zoning Ordinance in connection herewith.

Mr. Gerald L. Arno
450 St. John Street
Maine Shawnee Step Company, Inc.
P. O. Box 59
Auburn, Maine

cc to: Mr. Richard L. Snowe
RFD 4, Lust Road
Falmouth
Corporation Counsel

Gentlemen:

Building permit intended to authorize erection of pre-cast first
story concrete platform and steps, 48 inches wide, at the left side
(facing the building from the street) of the dwelling at 450 St. John St.,
is not issuable under the Zoning Ordinance, because the proposed plat-
form and steps would be nine feet from the side lot line instead of the
minimum of ten feet stipulated in Sec. 7B1 of the ordinance, applying in
the R-6 Residence Zone where the property is located.

It is realized that the concrete steps and platform represent a re-
placement of an existing set of steps and platform, the latter being some-
what narrower than the proposed work.

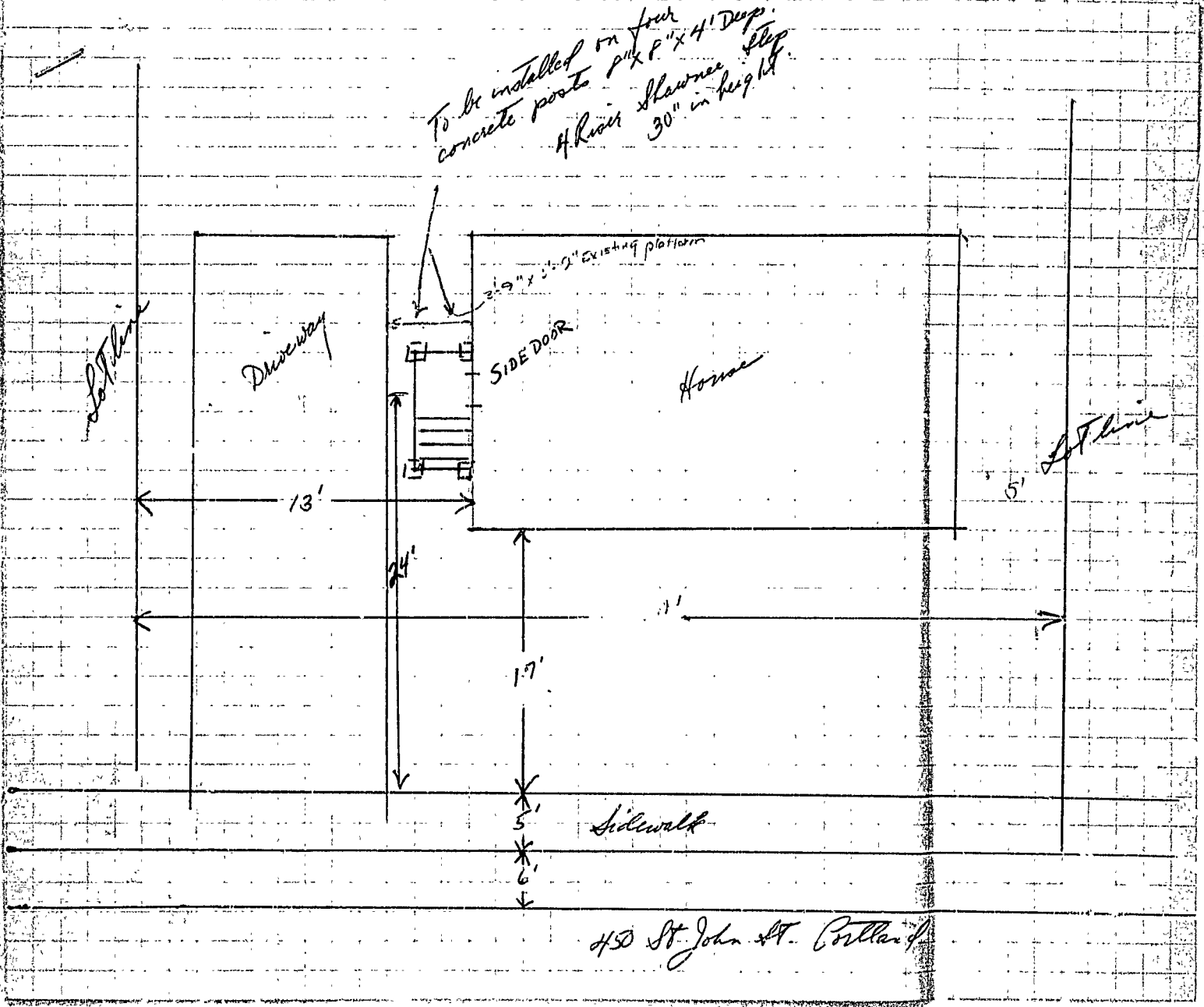
It may be that the owner will desire to seek a variation from the
Board of Appeals. In that case, he should file his appeal at the office
of Corporation Counsel, where he will find a copy of this letter.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMD:M

To be installed on four
concrete posts 4" x 4" x 4' Deep.
4" Rivet slawnee step
30" in height.



450 St. John St. Portland



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, August 25, 1950

PERMIT ISSUED

01550
AUG 30 1950

CITY OF PORTLAND

N-ATH

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 450-452 St., John St. Use of Building dwelling No. Stories 1 New Building
Name and address of owner of appliance Portland Construction Co., 234 Middle Street
Installer's name and address Portland Stove Foundry, 57 Kennebec Street Telephone 3-3864

General Description of Work

To install gas-fired forced warm air heating system

IF HEATER, OR POWER BOILER

Location of appliance or source of heat basement Type of floor beneath appliance concrete
If wood, how protected? Kind of fuel gas
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace 4" with shield
From top of smoke pipe 10" with shield From front of appliance over 4' From sides or back of appliance over 3'
Size of chimney flue 8x8 Other connections to same flue range
If gas fired, how vented? to chimney Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Labeled by underwriter's laboratories?
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner
Location of oil storage Number and capacity of tanks
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? How many tanks fire proofed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

8-28-50 JLB

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Portland Stove Foundry

Signature of Installer: Richard Lawrence

INSPECTION COPY

New folder
City of Portland, Maine
Board of Appeals

*Sustained
7/14/50*

50/72

—ZONING—

July 10, 19 50

To the Board of Appeals:

Your appellant, Portland Construction Company, who is the owner of property at 450-452 St. John Street, respectfully petitions the Board of Appeals of the City of Portland to permit an exception to the regulations of the Zoning Ordinance relating to this property, as provided by Section 18, Paragraph E of said Zoning Ordinance.

Building permit to cover construction of one-story frame dwelling house about 32' x 30' at 450-452 St. John Street is not issuable because space between the side of the proposed dwelling and the side lot line on the north side is proposed 5' wide instead of the minimum of 10' required in an Apartment House Zone.

The facts and conditions which make this exception legally permissible are as follows:

An exception is necessary in this case to grant reasonable use of property and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

Portland Construction Company

By *B. Higgins*
Appellant

After public hearing held on the 14th day of July, 19 50 the Board of Appeals finds that an exception is necessary in this case to grant reasonable use of property and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

It is, therefore, determined that the exception to the Zoning Ordinance may be permitted in this specific case.

Edmund J. Colley
John W. Drake
William H. O'Brien
John C. Frost
Frederic J. Moore
BOARD OF APPEALS



(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
01174
JUL 20 1950
CITY OF PORTLAND

Class of Building or Type of Structure Third Class
Portland, Maine, June 29, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter or repair ~~the~~ all the following building structures ~~and~~ equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 54 St. John Street 450-452 Within Fire Limits? no Dist. No. _____
Owner's name and address Portland Construction Co., 231 Middle St. Telephone 4-0331
Lessee's name and address _____ Telephone _____
Contractor's name and address owners Telephone _____
Architect _____ Specifications Standard Plan B Telephone _____
Proposed use of building Dwelling Plans yes No. of sheets 1
Last use _____ No. families 1
Material _____ No. stories _____ Heat _____ Style of roof _____ No. families _____
Other buildings on same lot _____ Roofing _____
Estimated cost \$ 5,700. Fee \$ 6.00

General Description of New Work

To construct 1-story frame dwelling house 31'6"x29'3"

Appeal submitted 7/14/50

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO

owners

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Height average grade to top of plate 10' Height average grade to highest point of roof 17'
Size, front 31.6" depth 29.3" No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation concrete at least 4" below grade Thickness, top 10" bottom 12" cellar yes
Material of underpinning _____ " to sill _____ Height _____ Thickness _____
Kind of roof pitch-gable Rise per foot 6 1/2" Roof covering asphalt roofing Class C Und. Lab
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat w. air fuel _____
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 4x Sills box Girt or ledger board? _____ Size _____
Girders yes Size 6x6 Columns under girders lally Size 3 1/2" Max. on centers 7'6"
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x8 2nd 2x8 3rd _____, roof 2x8
On centers: 1st floor 16" 2nd 16" 3rd _____, roof 20"
Maximum span: 1st floor 11'7" 2nd 14' 3rd _____, roof 14'6"
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

OK-7/20/50-ags

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Portland Construction Co.

INSPECTION COPY

Signature of owner

By: R. Higgins

NOTES

7-19-50. ~~breath O.K. etc.~~
 7/27/50 ~~For concrete work~~
 9-1-50 ~~See also ...~~
 for first floor. ~~O.K.~~
 10-17-50. ~~First floor concrete work~~
 end of collar.
 First floor around to the first floor.

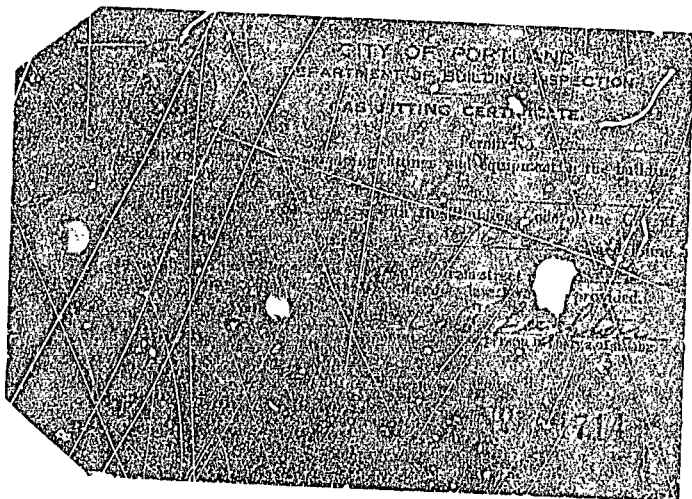
Bottom step side steps is concrete, comes under wood riser and is not below first, so that any action is likely to lift steps and platform.

Mr. Higgins called and will attend to first floor. will look over matter of concrete steps etc.

10-15-50. ~~Done first floor~~ concrete slab to be moved ahead or any part which will not affect platform etc.

Permit No. 52/1174
 Location 450-453 St. 9-1
 Owner O'Connell
 Date of permit 7/12/50
 Notif. closing-in 7/15/50
 Inspr. closing-in 7/15/50
 Final Notif. 10/16/50
 Final Inspn. 10/18/50
 Cert. of Occupancy issued 10/18/50

O.K. 10/17/50



COPY



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to **Portland Construction Company**

Date of Issue **October 28, 1950**

This is to certify that the building, premises, or part thereof, indicated below, and built—
~~at the same location~~ at **450-452 St. John Street**
under Building Permit No. **50/1174** has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire Building

1-famil. dwelling house

Limiting Conditions:

This certificate supersedes

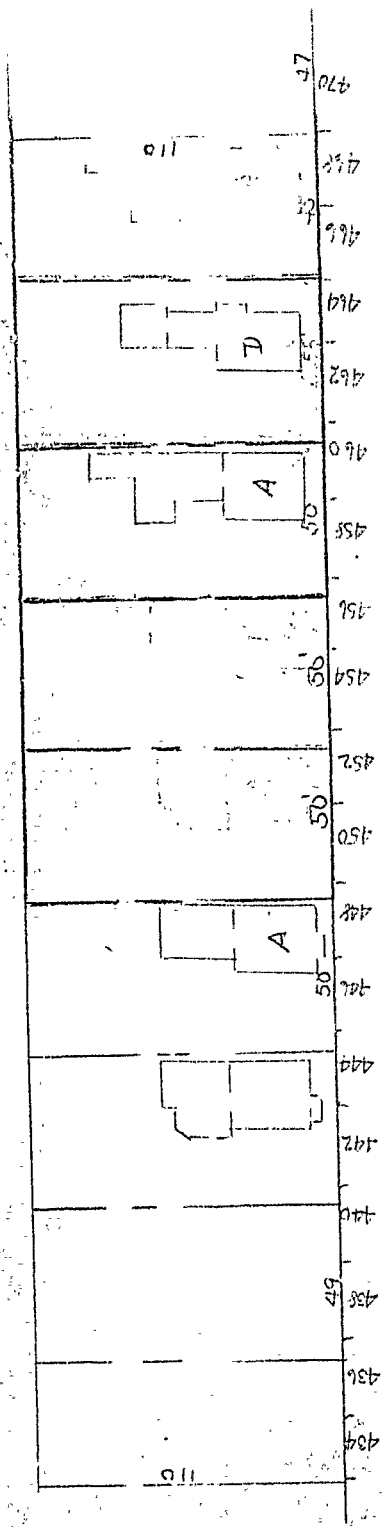
certificate issued

Approved **10/16/50:**

A. T. Hamilton
Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



ST. JOHN STREET

← Photo #2

457-054
457-054

← Photo #1

457-054

W.M.

12
to City of New York

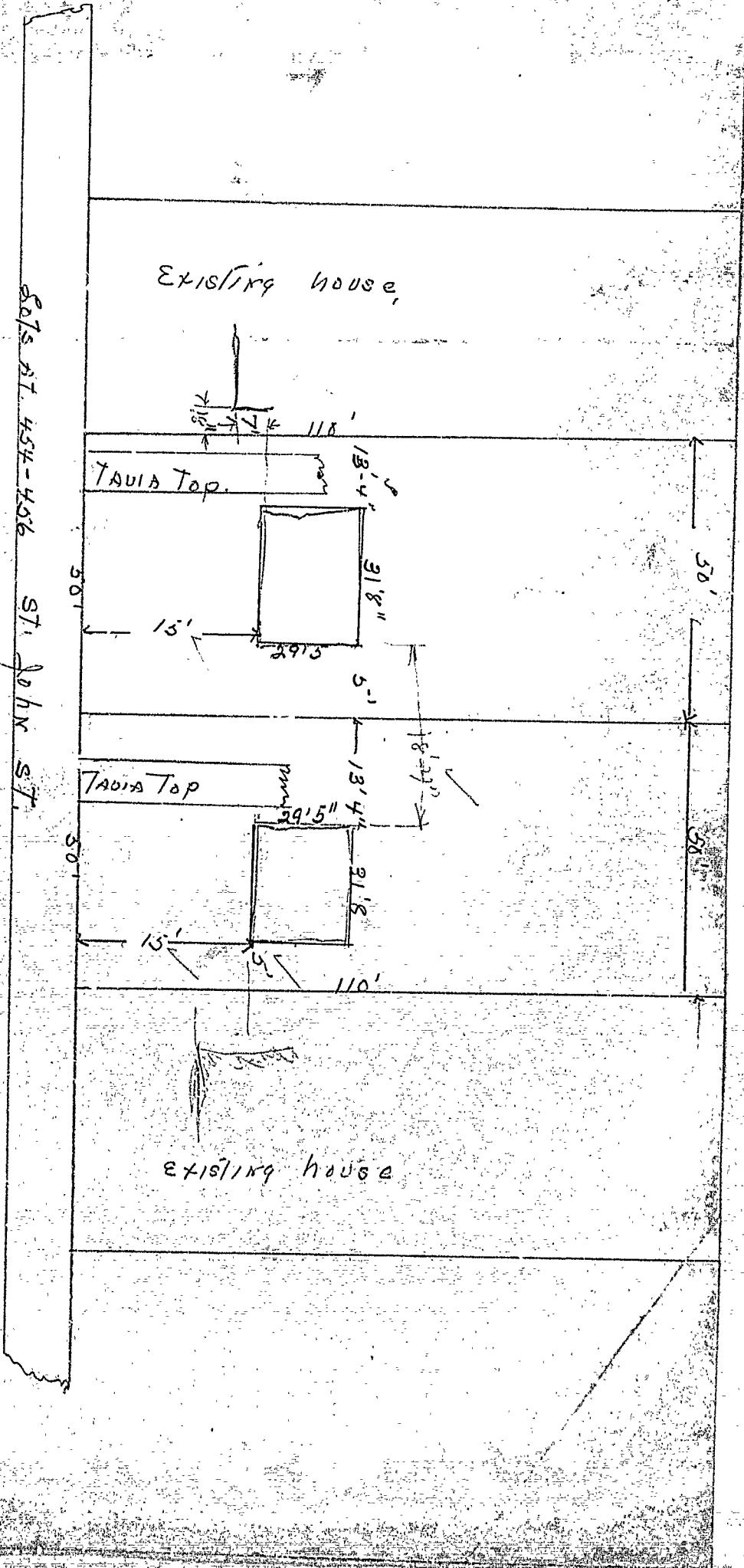
lots at 454-456 ST. JOHN ST.

Existing house

TAOIA Top

TAOIA Top

existing house



STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for dwelling
at 454 St. John Street Date 6/29/50

1. In whose name is the title of the property now recorded? Portland Construction Co.
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? stakes
3. Is the outline of the proposed work now staked out upon the ground? yes Fri.
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? _____
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Portland Construction Corp.
A. Higgins

AP 450-452 St. John Street-I

July 18, 1950

Portland Construction Company
234 Middle Street
Portland, Maine

Copy to:
Mark Barrett
Assistant Corporation Counsel

Gentlemen:

Building permit intended to cover construction of a one story frame dwelling house about 32' x 30' at 450-452 St. John Street, is not issuable under the Zoning Ordinance because a space between the side of the proposed dwelling and the side lot line (side yard) on the north side (toward Brighton Avenue) is proposed 5' wide instead of the minimum of 10' stipulated by Section 80 of the Ordinance, applying to the Apartment House Zone where the property is located.

You have indicated your desire to seek an exception from the Board of Appeals, so there is enclosed an outline of the appeal procedure.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/C

Enclosure: Outline of appeal procedure

AP 450-45 St. John Street-I
AP 454-456 St. John Street-I

June 30, 1950

Portland Construction Company
234 Middle Street
Portland, Maine

Gentlemen:

We find that the lots at 450-452 and 454-456 St. John Street where you have made application for permits for construction of two dwelling houses 29' 5" x 31' 8" in size are located in an Apartment House Zone. Section 80 of the Zoning Ordinance relating to yard spaces in Apartment House Zones specifies that there shall be side yards having a minimum width of ten feet on each side of each detached building. The location plans filed with the applications for permits indicate side yards of 5' on one side and 13' 4" on the other side, which of course do not comply with the above requirement. We are therefore unable to issue the permits for construction of these dwellings.

It is evident that a building of the length which you propose to erect cannot be located on these 50' wide lots with the 10' wide yards on each side of the buildings required by the Zoning Ordinance being provided. Therefore it would appear that you have two courses of action open to you namely--either to change the size of the houses to be built on the lots or else to ask the Board of Appeals for an exception from compliance with the precise terms of the Zoning Ordinance in these cases. It should be borne in mind that this 10' side yard distance is to be measured from the outside edge of any platform or porch on the side of the building and not from the side wall.

Very

Warr
Inspc. atings

AJS/G