

438-440 ST. JOHN STREET



SHAVER WALKER

Full cut # 920C • Half cut # 9202R • Third cut # 9203R • Fifth cut # 9205R



R6 RESIDENCE ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, Nov. 11, 1960

PERMIT ISSUED

01850

DEC 2 1960

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 448 St. John St. (Rear) Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Frank M. Sanituk, 440 St. John St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building 1 family house No. families 1
 Last use _____ " _____ No. families 1
 Material frame No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot Dwelling
 Estimated cost \$ 100.00 Fee \$ 50

General Description of New Work

out (3 steps)
 To relocate inside ~~inside~~ existing stairway and platform 2'6" x 4' ~~(6'0" x 6'0")~~
 and close up door to side of dwelling (cutting in new entrance door- front)
 2'8" using 1x6 header
 over 10 feet to next house
 to use cement piers (2)

Permit Issued with Letter

Special sustained 12/1/60

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? yes
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation concrete piers at least 4' below grade Thickness, top 8" bottom 8" cellar no
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof none Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber—Kind SPRUCE & PINE dressed or 1 1/2 size dressed Corner posts _____ Sills 4x8
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Kind and thickness of outside sheathing of exterior walls? _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2x8, 2nd _____, 3rd _____, roof none
 On centers: 1st floor 18", 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor 2'6", 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

M. E. G. w/ letter 12/2/60
M. E. G. w/ letter 12/2/60

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____
 Frank M. Sanituk

INSPECTION COPY

Signature of owner

Frank M. Sanituk mac + PK

AP-R.138 St. John Street

December 2, 1960

Mr. Frank W. Saniuk
440 St. John Street

Dear Mr. Saniuk:

Permit to demolish the existing platform and steps at right side of dwelling and to construct a new platform and steps at the front and to cut in new entrance door is being issued subject to appeal being sustained on December 1, 1960 and the following:

Foundation for platform is to be 9-inch diameter sonotubes, extending 4 feet below grade and a minimum of 6 inches above, not 8-inch diameter tubes as shown on plan.

Also, upon inspection of premises we noticed that the covered porch at the left side of dwelling is in poor repair being in violation of Chapter 307, Section 2(b) of the Municipal Code of the City of Portland. Items requiring immediate repair are the columns supporting the roof which are either attached loosely or not at all at the base. Sections of railings are also to be replaced.

Very truly yours,

Gerald E. Mayberry
Deputy Inspector of Buildings

GEM/jg

8-4-61
OK
MTC

AP- Rear 438 St. John Street

Nov. 17, 1960

Mr. Frank M. Saniuk
440 St. John Street

cc to: Corporation Counsel

Dear Mr. Saniuk:

A building permit for demolishing existing entrance platform and steps on side of dwelling at the above named location and constructing a new platform 2½ feet by 4 feet on front of building is not issuable because there is only about 14 feet between the front wall of the dwelling in question and the rear wall of another dwelling on the same lot, thus creating a situation whereby the rear dwelling is already encroaching upon the 20-foot depth of rear yard required by Section 7-B-1 of the Zoning Ordinance for the front dwelling, and the proposed platform would therefore further increase this encroachment.

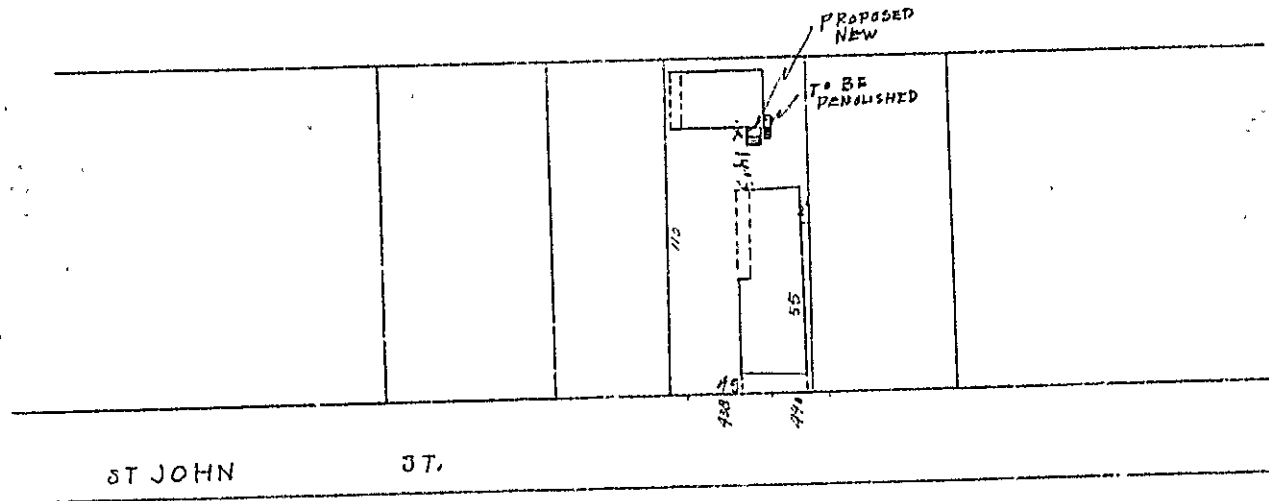
This further encroachment, while of a minor nature, prevents issuance of the permit. However, you have the right to ask the Board of Appeals for a variance from the precise terms of the Ordinance and, while I cannot speak for the members of that body, it seems likely that they would give sympathetic consideration to such a request on your part. If you desire to exercise your appeal rights, you should go to the office of the Corporation Counsel in Room 208, City Hall, where appeals are filed and where a copy of this letter is being sent.

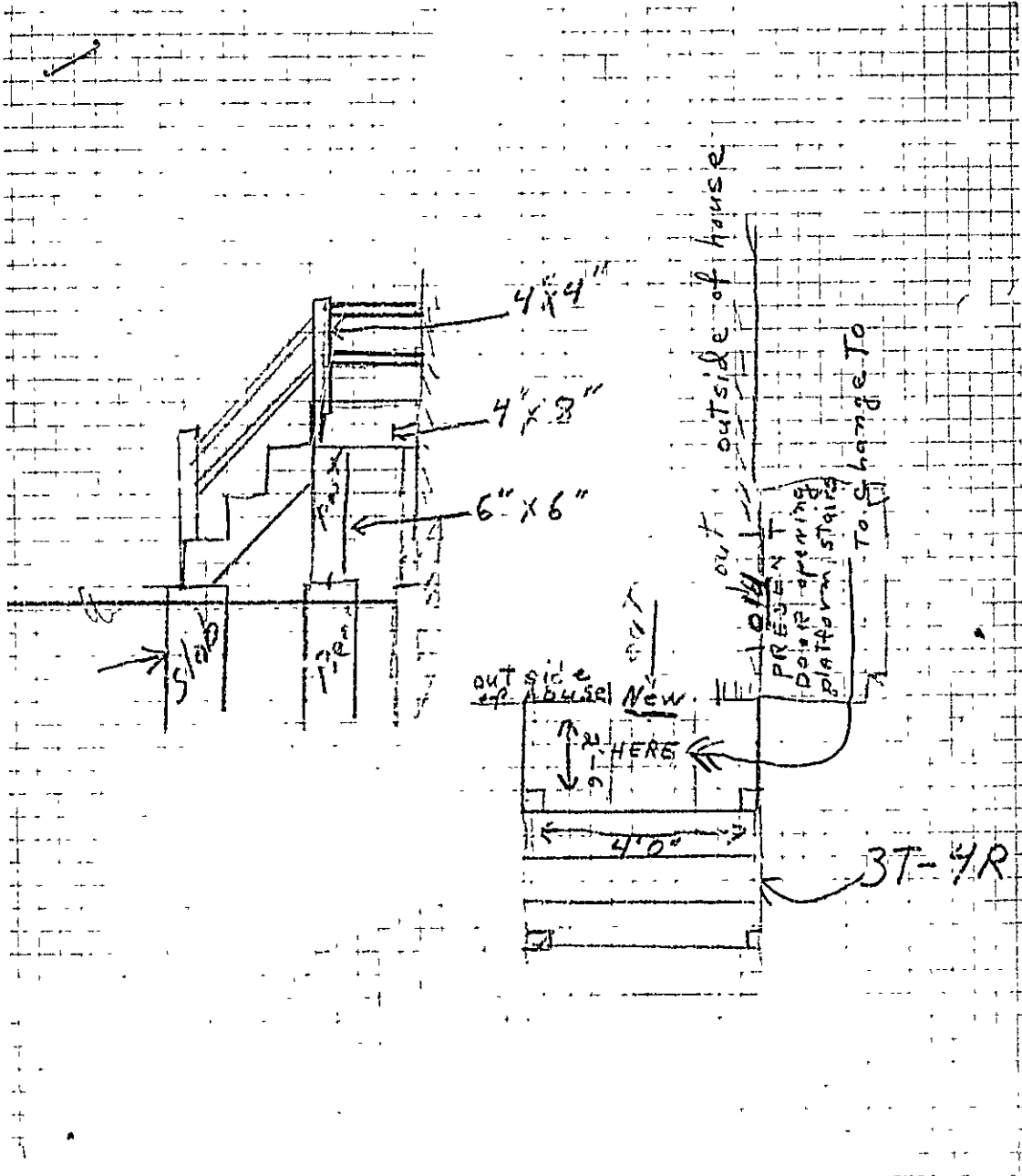
Very truly yours,

Albert J. Sears
Inspector of Buildings

AJS:m

At 438 St. John St. Bldg. 11/16/60





CITY OF PORTLAND, MAINE
BOARD OF APPEALS

MISCELLANEOUS APPEAL

November 18, 1960, 19

Frank M. Saniuk, owner of property at Rear 438 St. John St.,
under the provisions of Section 23 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals to permit demolition of existing entrance platform and steps on side of dwelling at this location and construction of anew platform 2½ feet by 4 feet on front of building. This permit is presently not issuable because there is only about 14 feet between the front wall of the dwelling in question and the rear wall of another dwelling on the same lot, thus creating a situation whereby the rear dwelling is already encroaching upon the 20-foot depth of rear yard required by Sec. 7-B-1 of the Ordinance for the front dwelling, and the proposed platform would therefore furtherincrease this encroachment.

LEGAL BASIS OF APPEAL:

Such permit may be granted only if the Board of Appeals finds that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

Frank M. Saniuk
APPELLANT

DECISION

After public hearing held December 1, 1960, the Board of Appeals finds that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

It is, therefore, determined that such permit should be issued.

Franklin G. Hillley
George M. [unclear]
Edith [unclear]
BOARD OF APPEALS



APPLICATION FOR PERMIT

PERMIT ISSUED

00375
APR 21 1959

CITY of PORTLAND

Class of Building or Type of Structure Third Class

PORTLAND, MAINE, _____

To the INSPECTOR OF BUILDINGS, Portland, Me.

The undersigned hereby applies for a permit to repair or renew roof covering of the following described building in accordance with the laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 440 St. John St.

Owner's name and address Frank M. Sanluk, 440 St. John St. Telephone _____

Contractor's name and address OWNER Telephone _____

Use of building—Present Dwelling Proposed Dwelling

No. of Stories 1 Style of roof shed Type of present roof covering Asphalt

Type and Grade of roofing to be used Asphalt Class C Und. Lab. No. plies _____

GENERAL DESCRIPTION OF NEW WORK

To cover roof of shed.

Fee \$.50

INSPECTION COPY

Signature of Owner

Frank M. Sanluk

CS 115-5C Made

F.M.

Permit No. 59/375
 Location 440 St. Johns St.
 Owner Frank M. Carver
 Date of permit 4-21-59

APPLICATION FOR PERMIT

APR 21 1959
 DEPT. OF HEALTH
 DIVISION OF SANITATION

The City of New York, Department of Health, Division of Sanitation, hereby certifies that the above named premises are in compliance with the provisions of the Sanitary Code of the City of New York, Chapter 24, Section 24.01, relating to the installation and use of sanitary fixtures in buildings.

DEPARTMENT OF HEALTH, DIVISION OF SANITATION

DIVISION OF SANITATION
 100 NASSAU ST.

DIVISION OF SANITATION
 100 NASSAU ST.

DIVISION OF SANITATION
 100 NASSAU ST.



APPLICATION FOR PERMIT

USE ZONE

Class of Building or Type of Structure Third CLASS

Portland, Maine, June 3, 1955

PERMIT ISSUED

SEP 1955

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~and~~ ~~maintain~~ the following building ~~structure~~ ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 110 St., John St. Within Fire Limits? no Dist. No. _____
 Owner's name and address Frank K. Savink, 110 St., John St. Telephone none
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Specifications _____ Plans no No. of sheets _____
 Proposed use of building dwelling house No. families 2
 Last use _____ " " _____ No. families 2
 Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 500. Fee \$ 2.00

General Description of New Work

To remove existing roof of existing 1-story open side piazza and make piazza 2-story open piazza with roof, 5' x 26'.

10 1/2' span.
4x6 plate - 12' span.

CHECK CODE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate 12' Height average grade to highest point of roof 12' 4"
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation existing Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof shed Rise per foot _____ Roof covering Asphalt Class C Und Lab
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber--Kind hemlock Dressed or full size? dressed
 Corner posts 4x6 to 6x6 Sills existing Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor existing, 2nd 2x6, 3rd _____, roof 2x6
 On centers: 1st floor 12", 2nd 12", 3rd _____, roof 16"
 Maximum span: 1st floor 12', 2nd 12', 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

O.R. 9/19/55 - ags

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Frank K. Savink

File copy

June 7, 1955

AP 440 St. John St. - Alteration of side piazza

Mr. Frank M. Saniuk
440 St. John St.

Dear Mr. Saniuk:-

Some details are missing from your plan and application to show compliance with the Building Code, and perhaps some of the details shown are not understood. It is suggested that you make over your sketch either on thin paper and using heavy pencil and then get a blueprint to file here, or by making a carbon copy of your sketch and filing the carbon copy here--to show the following additional information:

1. What are the present foundations of the piazza? Now that the piazza is to be two stories high, masonry piers (usually concrete) are required. Unless the present piers are concrete or masonry of adequate size, and extend no less than four feet below the surface of the ground, new masonry piers will be necessary to extend no less than four feet below the surface of the ground and no less than six inches above the surface of the ground with the woodwork supported upon the piers thoroughly anchored to them by means of metal dowels or otherwise. These piers are required to be no less than eight inches in least cross-sectional dimension at the surface of the ground and no less than 10 inches at the bottom of the pier. If new piers are to be provided, please show them on the plan according to this detail. - Use concrete piers 11" x 11" - O.K.

2. Show the size and number of stair stringers and the rise and tread of the steps in inches, bearing in mind that the risers must be no more than 8½ inches and the treads no less than nine inches, risers to be measured from tread to tread and treads from riser to riser. - O.K.

3. Please show new corner posts and intermediate posts to run clear from top of sill to underside of roof plate, with 18 inch long lap splices permitted if they may not be procured all one length. - O.K.

4. It is assumed that there is or will be a foundation pier under each post. Please show how the 4x6 face beam at second floor and the 4x8 cross beams are to be supported at the same point on these posts. The sketch indicates that the face beams are to be "let-in" the posts. The posts are only 4x6, however, and letting in the 4x8 cross beams at the same point would cut down the strength of the posts too much. - O.K.

5. Please show how the second floor joists are to be supported on the cross beams, whether on the top of the beams or notched over 2x3 nailing strips spiked to the sides of the beams. - Framing clew gail - O.K.

6. Please show that at least the 2x6 second floor joists on the 12 foot span will have no less than 1x3 cross bridging in the center of each span. - Run 5' way - O.K.

7. Please indicate what is meant at the rear end of second floor by the note "2x6 on 4x8". - ?

8. The sketch seems to indicate a hip rafter on the new roof. What will be its size? None

9. The sketch is not closely to scale, and it is assumed that the overall width

Mr. Frank M. Saniuk - - - - -/2

June 7, 1955

of the piazza is five feet. Presumably the note on the application and the indication on the roof plan means that a 4x6 plate is to be used and supported upon the posts for a roof plate. The 4x6 should be set with the six inch dimension upright.

This letter and withholding the permit are not to be taken as any adverse reflection on your intent to do a good job and comply with the requirements. However, we are required by law to have information indicating compliance before a permit may be issued.

Very truly yours,

Warren McDonald
Inspector of Buildings

WHCD/G



(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
02402

Class of Building or Type of Structure Third Class
Portland, Maine, December 26, 1952

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~demolish~~ ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 440 St. John Street Within Fire Limits? no Dist. No. _____
 Owner's name and address Frank M. Saniuk, 440 St. John St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Specifications _____ Plans no No. of sheets _____
 Proposed use of building Dwelling No. families 2
 Last use _____ No. families 2
 Material frame No. stories 2 1/2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____ Fee \$.50
 Estimated cost \$ 25.

General Description of New Work

To change window to door, first floor, and close up existing door with 2x4 studs,
 1" O.C., with clapboard covering.
 12/31/52 Porch and steps existing on left hand side of building side
 25' to lot line

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

Signature of owner

Frank M. Saniuk

PH

AP 440 St. John St.

December 27, 1952

Mr. Frank M. Saniuk,
440 St. John Street,
Portland, Maine

Dear Mr. Saniuk:

With regard to the application for a permit to change a window to a door in your dwelling house at 440 St. John Street, we need more information before the permit can be issued.

Will there be a platform and steps outside of this new door? What will the framing and foundation be for this new platform? Is it located on the side of the building or the rear? How far is it to the side property line?

Will you please give us this information so that we can issue the permit if everything is found to be all right.

Very truly yours,

Chief Clerk

H



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #2

Portland, Maine, APR May 9, 1952

PERMIT ISSUED

MAY 14 1952

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 51/1695 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 440 St. John Street Within Fire Limits? no Dist. No.
Owner's name and address Frank M. Saniuk, 440 St. John Street Telephone
Lessee's name and address Telephone
Contractor's name and address owner Telephone
Architect Plans filed no No. of sheets
Proposed use of building Dwelling No. families 2
Last use No. families 2
Increased cost of work Additional fee \$25

Description of Proposed Work

To construct 2'x2' platform on front of building with hood over it.

Permit Issued with Memo

Permit Issued with Memo

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x1-16" O. C. Bridging in every floor and flat roof span over 8 ft.
Joists and rafters: 1st floor 2x6, 2nd, 3rd, roof 2x4
On centers: 1st floor 16", 2nd, 3rd, roof 24"
Maximum span: 1st floor 2', 2nd, 3rd, roof 2'

Approved:

Signature of Owner Frank M. Saniuk
Permit Issued with Memo

Approved: 5/4/52 - WMM
Inspector of Buildings

INSPECTION COPY



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, April 25, 1952

PERMIT ISSUED

APR 29 1952

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 51/1695... pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 440 St. John Street Within Fire Limits? no Dist. No. _____
 Owner's name and address Frank M. Saniuk, 440 St. John Street Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Plans filed no No. of sheets _____
 Proposed use of building dwelling No. families 2
 Last use " " No. families 2
 Increased cost of work 100 Additional fee 1.50

Description of Proposed Work

To remove 1-story open front piazza 7' x 22'
 To construct 1-story open piazza 6' x 7' on front of building.

appl for amend to replace piazza adjacent to 440 St. John St. but not named - see letter with it dated 4/15/52

4x6 plate - 7' span

Permit Issued with Memo

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate 10' Height average grade to highest point of roof 10' 6"
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation concrete piers at least 4' below grade Thickness, top 8" bottom 8" cellar _____
 Material of underpinning _____ Height with 18" square footing Thickness _____
 Kind of roof shed Rise per foot _____ Roof covering Asphalt Class C Und Lab
 No. of chimneys _____ Material of chimneys _____ of lining _____
 Framing lumber—Kind hemlock Dressed or full size? dressed
 Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2x6, 2nd _____, 3rd _____, roof 2x6
 On centers: 1st floor 18", 2nd _____, 3rd _____, roof 16"
 Maximum span: 1st floor 7', 2nd _____, 3rd _____, roof 6'

Approved:

with memo by [signature]

Signature of Owner F. M. Saniuk

Approved 4/29/52 [signature]

INSPECTION COPY

Inspector of Buildings



(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

01695
SEP 11 1951
CITY OF PORTLAND

Class of Building or Type of Structure Third Class
Portland, Maine, September 5, 1951

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE
The undersigned hereby applies for a permit to ~~erect~~ ~~alter~~ ~~repair~~ ~~or~~ ~~move~~ the following building structure ~~equipment~~
in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and
specifications, if any, submitted herewith and the following specifications:

Location 440 St. John Street Within Fire Limits? no Dist. No. _____
Owner's name and address Frank H. Sanjurs, 440 St. John St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Specifications _____ Plans no No. of sheets _____
Proposed use of building Dwelling No. families 2
Last use _____ No. families 2
Material frame No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____ Fee \$.50
Estimated cost \$ 250.50

General Description of New Work

To demolish existing 1 story piazza 10'x4' on rear of dwelling.
To relocate existing ~~brick~~ bulkhead rear of building in location where piazza is to be removed - bulkhead 4'x5', existing concrete wall foundation to be used. Walls 3" thick
To make two existing windows in southeasterly wall in second story smaller.

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber - Kind _____ Sills _____ Girt or ledger board? _____ Dressed or full size? _____ Size _____
Corner posts _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:
OK - 9/10/51 - ags

Signature of owner Frank H. Sanjurs

NOTES

12/18/51 - Same
 11/18/51 - Same
 12/11/51 - Same
 1-17-52 - Same
 6-17-52 - Front steps completed
 Removal of Roan porch almost
 completed
 7-22-52 - Removal of Ben porch
 completed
 Removal of platform +
 roof completed. Final inspection is not
 necessary. Some have to be hung on rollers after.

Permit No.	511695718
Location	111 1/2 St. S.W.
OWNER	Franklin M. Franklin
Date of permit	9/15/51
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	7-24-52
Cert. of Occupancy issued	8/24/52

3-1-52
 5-1-52
 6-1-52

Memorandum from Department of Building Inspection, Portland, Maine

440 St. John Street-Construction of front platform, hood and steps for and by
Frank M. Saniuk

May 14, 1952

Amendment to original permit to do the above is issued herewith, subject to the following:

The amendment is approved on the basis of your sketch which shows the cedar posts, and with reference to details contained in my letter of May 10th concerning the framing.

You still have not shown the size and number of the stair stringers, but it is assumed that you are aware of the needs and the steps are not very long anyway.

WMCD/H

(Signed) **Warren McDonald**
Inspector of Buildings

Memorandum from: Department of Building Inspection, Portland, Maine

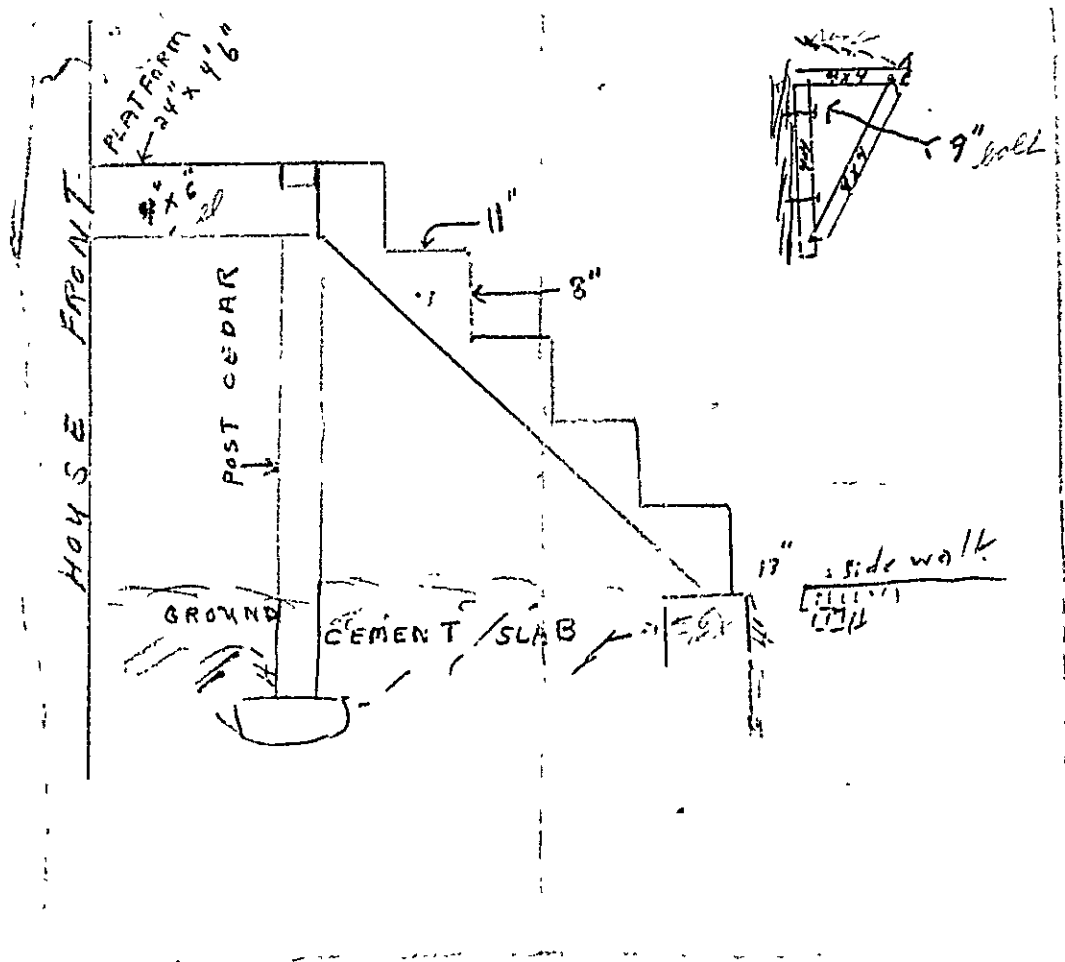
440 St. John Street-- demolition existing 7'x22' open piazza and to construct
6'x7' open piazza for and by Frank N. Saniuk--April 29, 1952

Amendment #1 to permit 51/1695, covering demolition of existing open
piazza 7'x22' on the front of your building at 440 St. John Street and con-
structing of an open piazza 6'x7' in its place, is issued herewith subject to
the following:

1. The 4x6 sills are to be all one piece in cross section, set with
the 6" dimension upright, with the floor timbers supported on top of them or
notched over no less than 2x3 nailing strips spiked to the sides of them.
2. Since the new porch is to have a shed roof, presumably sloping
toward the street, arrangement will need to be made by means of gutters and
downspouts to prevent drainage from the roof flowing upon the public sidewalk.

AJS/B

(Signed) Warren McDonald
Inspector of Buildings



BP 440 St. John St.
Amend. #2

May 10, 1952

Mr. Frank S. Saniuk,
440 St. John Street,
Portland, Maine

Dear Mr. Saniuk:

The information which you have furnished with application for amendment to construct 2'x5' platform in front of your dwelling at 440 St. John Street is not understood, and the part we can understand is not in compliance with the Building Code, which makes it impossible for us to approve the amendment.

We desire to help all property owners but there are not enough of us to work out details such as these and to tell precisely how a job can be built.

I suggest that you get some person able to give us this information to make a clear plan in duplicate (two exact copies) to show clearly how this small structure is to be built and to show compliance with Building Code requirements so that we can approve and issue the amendment.

As far as I am able to understand your rough sketch there are a number of things wrong. The sills which are the members around the edges of the platform are required to be no less than 4x6, solid lumber, the smaller dimension being required to be at least 4" (this would be 3 5/8" if timber were dressed) instead of the 2" which you have shown, indicating to use 2x12's.

The floor joists, being on a 2' span could be 2x4, but of course 2x6 could be used. But however they could not be more than 18" on center instead of the 24" which you have shown.

The floor joists must be supported either on the top edge of the sills and on the top edge of a nailing strip against the building, or at the sills they may be supported on no less than 2x3 strips nailed to the inside surface of the sill. The outer corners of the platform must be supported either upon cedar (no other kind) posts, sound iron pipe no less than 3" in outside diameter with a flat rock or footing at the bottom, or by masonry piers no less than 8" square at the surface of the ground and no less than 10" square at the bottom of the pier. In any case these foundations must extend no less than 4' below the surface of the ground.

You should show the exact distance between the inside edge of the public sidewalk (your front property line) and the front of the main house.

You must show the construction of the steps as to size and number of stringers and the rise and tread of the steps. The greatest rise allowed is 8 1/2" and the least tread allowed is 9", the latter to be measured from riser to riser.

Since the building is only a two family dwelling, we shall not object to supporting the steps on a concrete slab on the ground, but you should take care that the slab does not project at all over or into the public sidewalk. You will have a far more permanent job if the steps were supported on a concrete pier extending 4' below the surface of the ground and large enough to form the bottom step, and at the same time support the stair stringers well up above the dampness of the ground.

Mr. Frank Saniuk-----2

May 10, 1952

Your plans must include framing and support of the hood, and should show the make up of the brackets which you have indicated as 4" thick. These should be 3-piece brackets with an upright against the building ~~between~~ the flat member and the diagonal. Show method of fastening brackets to the building with weather-boarding removed and the brackets lag-bolted to the frame of the building.

We are being greatly delayed in serving people who file applications in good form by the ~~case~~ of many to attempt to give us information which cannot be understood by those who check the application or by the inspector in the field, and by those who insist upon giving us verbal information. Will you be good enough to help us and yourself by getting this comparatively small job cleared up in good fashion.

Very truly yours,

WMcd/H

Inspector of Buildings

OK



(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, July 17, 1951

PERMIT ISSUED
JUL 18 1951
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ ~~and~~ ~~install~~ the following building ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 440 St. John Street Within Fire Limits? no Dist. No.
Owner's name and address Frank L. Saniuk, 440 St. John Street Telephone
Lessee's name and address Telephone
Contractor's name and address owner Telephone
Architect Specifications Plans no No. of sheets
Proposed use of building Dwelling No. families 2
Last use " " No. families 2
Material frame No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ 75 Fee \$ 50

General Description of New Work

To change existing rear door to window, 1st floor
To change existing window to smaller window, 1st floor rear.

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or ft. size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Frank M. Saniuk

pt. 1

Permit No. 511512

Location 440 St. John St.

Owner Frank M. Samiak

Date of permit 7/18/51

Notif. closing-in _____

Inspn. closing-in _____

Final Notif. _____

Final Inspn. 7-31-51 GDC

Cert. of Occupancy issued 11/11/51

NOTES

~~Vertical lines for notes, crossed out with a large X.~~

074



(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

6034
1951

Class of Building or Type of Structure Third Class

Portland, Maine, March 5, 1951

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair or reconstruct the following building structure in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 440 St. John Street Within Fire Limits? yes Dist. No. 3
Owner's name and address Frank Saniuk, 440 St. John Street Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Specifications _____ Plans no No. of sheets _____
Proposed use of building Dwelling No. families 2
Last use _____ " _____ No. families 2
Material frame No. stories 2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 25 Fee \$.50

General Description of New Work

To change existing window, first floor rear, to small window 28"x40".

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

Frank Saniuk

NOTES

APPLICATION FOR PERMIT

Permit No. 51/315

Location 1110 St. Johns St.

Owner Franklin D. Johnson

Date of permit 3/6/51

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 3-10-51

Cert. of Occupancy Issued 3/10/51

General Description of New Work

(This section contains faint, mostly illegible text describing the work, including phrases like "Highest grade made to highest point of roof" and "Roof covering".)

(This section contains faint, mostly illegible text, possibly related to specifications or conditions, and is partially obscured by a large handwritten 'X' mark.)



Out of Cellar APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
01709
SEP 19 1950
CITY of PORTLAND

Class of Building or Type of Structure Third Class
 Portland, Maine, September 11, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repairs~~ ~~to~~ ~~the~~ following building structure ~~erected~~ ~~erect~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 440 St. John Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Frank Sanruk, 440 St. John Street Telephone none
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Ames Telephone _____
 Architect _____ Specifications _____ Plans no No. of sheets _____
 Proposed use of building Dwelling house No. families 2
 Last use _____ " " _____ No. families 2
 Material wood No. stories 7 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 50. Fee \$ 50.

General Description of New Work

To divide existing second floor hall into two halls by providing 2' 8" wide door in approximately 4' wide hall.

Permit issued with T-2121

**CERTIFICATE OF OCCUPANCY
 REQUIREMENT IS WAIVED**

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO owner**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Brown M. Sanruk

Permit No. 50/1709
Location 440 St. James St.
Owner Frank Bussard
Date of permit 9/19/50
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued

NOTES

9/19/50 No inspection necessary

2249 records
to Chq form
1. 26 & pencils
in 1948.

Stairs

AP 440 St. John Street-I

September 18, 1950

Mr. Frank Canruk
440 St. John Street
Portland, Maine

Dear Mr. Canruk:

Building permit for dividing existing second floor hall in the two family dwelling house at 440 St. John Street is issued herewith, subject to the following:

It appears that the dividing of the second floor hallway into two halls is to be accomplished by building a short partition with a door in it across the existing hallway. While this is described as merely a door in the application for the permit, there must of course be a short length of partition on either side of the doorway, and in all probability the partition will continue across over the doorway. It is important to bear in mind that even these short lengths of partitions are to be framed with no less than 2x3 studs (uprights), spaced no more than 16" from center to center.

Very truly yours,

Warren McDonald
Inspector of Buildings

W McD/G



**(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT**

Class of Building or Type of Structure Third Class

Portland, Maine, August 18, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter repairs ~~to~~ ~~include~~ all the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 446 St. John Street Within Fire Limits? no Dist. No. _____
 Owner's name and address Frank N. Sanruk, 44 Brackett St. Telephone 3-0600
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Specifications _____ Plans no No. of sheets _____
 Proposed use of building Dwelling No. families 2
 Last use _____ No. families 1
 Material frame No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 150. Fee \$ 2.00

General Description of New Work

To change from 1 family to 2 family dwelling. 1 apt. 1st floor and 1 apt. 2nd floor.
 To relocate existing inside rear stairway from first to second floor.
 3' wide - Riser 8 1/2" and tread 10", handrail on one side.
 To provide new bathroom, first floor, in existing room.
 To demolish approximately 10' of existing rear piazza.
 Cedar post foundations - 8x8 corner post; 4x6 sill;

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YES

Signature of owner Frank N. Sanruk

NOTES

Permit No.	171769
Location	1111 1/2 St. S.W.
Owner	Wm. L. G. G. G.
Date of permit	9/5/48
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	3/15/50
Cert. of Occupancy issued	3/20/50

10/5/48 - Work started
 window opening at first
 floor level outside has been
 enlarged preparatory to
 setting glass frame. No one
 on job so could not get in.

10/19/48 - Don cut around and
 floor level and neutral
 system has been started.
 Filing of lists around same need
 to be closed. No one on job
 get in. E S S

11/2/48 - Making access way to the program
 made to S S

11/20/48 - Let Red D. try with instructions manual
 made ready around same time. No one on job
 No one coming to be closed would be completed
 approved by the city. E S S

1/25/49 - No one on job. E S S

2/21/49 - Same. E S S

3/15/49 - Same.

6/27/49 - Section torn off over arch
 over permit. Installation not as yet
 installed. Not yet which now forming
 outside wall. E S S

1/12/50 - Little change. T H

3/15/50 - Work completed except for providing
 base under stairs from rear platform - to be
 done when grad-ing is done. T H

COPY



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to Frank W. Saniok

Date of Issue March 20, 1950

This is to certify that the building, premises, or part thereof, indicated below, and ~~not~~ altered—changed as to use at 440 St. John Street under Building Permit No. 48/1769, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire Building

APPROVED OCCUPANCY

2-Family Dwelling House

Limiting Conditions:

This certificate supersedes
certificate issued

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Cop will be furnished to owner or lessee for one dollar.

Memorandum from Department of Building Inspection, Portland, Maine

440 St. John Street—Amendment to building permit to cover construction of rear platform without roof for and by Frank W. Sanruk—7/12/49

The 4x6 sills are required to be all one piece of lumber in cross section and to be set with the 6" dimension upright. The floor joists of the platform are to be supported upon the sills, either by bearing the floor joists on the tops of the sills or by supporting the floor joists upon no less than 2x3 nailing strips spiked to the side of the 4x6 sill. It is not allowable to support the floor joists by spiking through the 6's into the end of the grain of the 2x3's.

No less than 1x3 cross bridging is required at about the center of the span of each pair of floor joists.

The concrete piers are to extend no less than 6" above the grade of the ground, as well as 4' below the grade, and the woodwork bearing upon the piers is to be anchored to the piers by means of metal dowels cast into the concrete or in equivalent fashion.

If you are unwilling to abide by these conditions, it is necessary that you refrain from starting the construction on the platform and return the amendment for adjustment.

(Signed) Warren McDonald
Inspector of Buildings



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 2
Portland, Maine, July 11, 1949

PERMIT ISSUED
JUL 12 1949
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 48/1769 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 444 St. John Street Within Fire Limits? no Dist. No. _____
Owner's name and address Frank W. Sanruk, 440 St. John Street Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address own Telephone _____
Architect _____ Plans filed _____ No. of sheets _____
Proposed use of building Dwelling No. families 2
Last use _____ " _____ No. families 2
Increased cost of work 50 Additional fee .25

Description of Proposed Work

To construct 4'x10' platform on rear of dwelling.

*2x6 m 10' span = 628, 85
10x1.25x45 = 600*

Permit Issued with Memo

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ at least 4 No. stories _____ below grade _____ solid or filled land? _____ earth or rock? _____
Material of foundation concrete piers Thickness, top 8" bottom 10" cellar no
Material of underpinning _____ Height _____ Thickness _____
Kind of roof none Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills 4x6 Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x6, 2nd _____, 3rd _____, roof none
On centers: 1st floor 16", 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor 10', 2nd _____, 3rd _____, roof _____

Approved:

Signature of Owner Frank Sanruk

Approved [Signature]

Inspector of Build'

BP 48/1769-I
(440 St. John Street-)

June 2, 1949

Mr. Frank W. Sanruk
440 St. John Street
Portland, Maine

Subject: Amendment to permit 48/1769 cover-
ing demolition of shed on rear of dwell-
ing at 440 St. John Street

Dear Sir:

The amendment covering the above work is issued herewith. We have included in the application the providing of concrete piers as a foundation for the rear wall of the kitchen, which is now to become an outside wall. We understand that you have some other work in mind in connection with the outside platform and steps from kitchen and the entrance to cellar from out of doors. This work should be covered by another amendment before any start is made upon it and should be undertaken before freezing weather sets in since otherwise the existing platform and steps, which are now inside the building, will not have foundations below frost as required.

Very truly yours,

Inspector of Buildings

AJS/G



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1
Portland, Maine, June 1, 1949

PERMIT ISSUED
JUN 2 1949
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 46/1769 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 440 St. John Street Within Fire Limits? Dist. No.
Owner's name and address Frank W. Sanruk, 440 St. John Street Telephone none
Lesser's name and address Telephone
Contractor's name and address owner Telephone
Architect Plans filed no No. of sheets
Proposed use of building Dwelling No. families 2
Last use No. families 1
Increased cost of work Additional fee \$25

Description of Proposed Work

To demolish 1-story frame shed 20' x 18' on rear of building. End wall to be clapboarded. This shed joins two dwellings, both end walls to be clapboarded. To change pitch of roof over kitchen portion rear of building from gable end roof to shed roof. To provide concrete piers 8" square at the top and 10" square at the bottom extending at least four feet below grade and six inches above in place of wood posts beneath existing 6x6 sill at end of kitchen.

Permit Issued with Letter

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof shed-flat Rise per foot 1" Roof covering Asphalt Class C and Lab
No. of chimneys Material of chimneys of lining
Framing lumber--Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof 2x4
Centers: 1st floor, 2nd, 3rd, roof 16"
Maximum span: 1st floor, 2nd, 3rd, roof 6'

Approved:

with letter by AGS

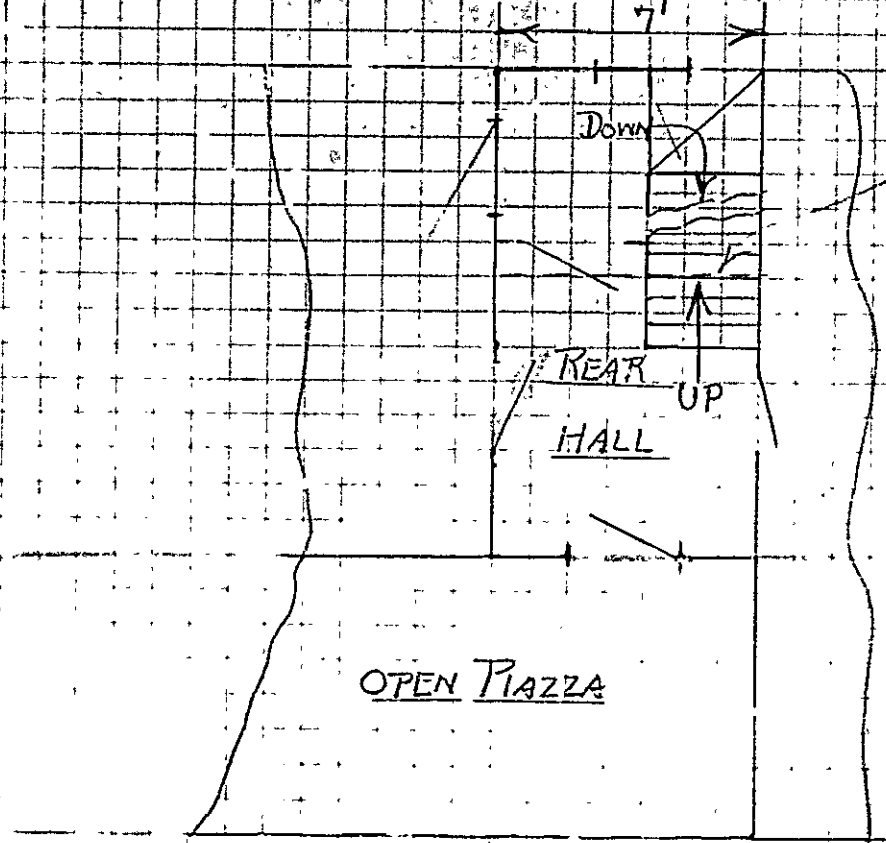
Signature of Owner Frank W. Sanruk

Approved: 6/2/49

Inspector of Buildings

INSPECTION COPY

440 ST. JOHN STREET

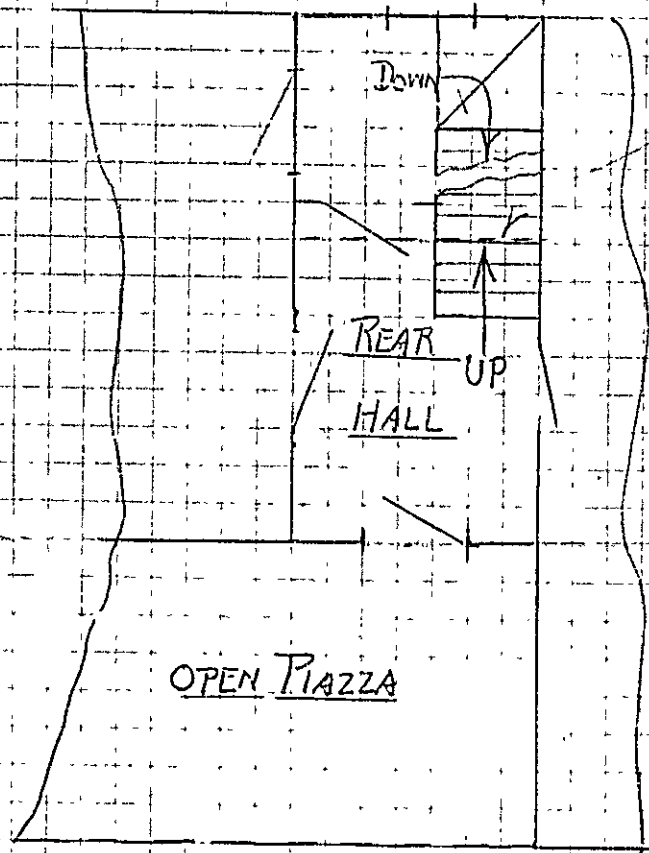


REMOVE REAR STAIRS 1ST
TO 2ND - BASEMENT TO
1ST. CLOSE IN ORNMENTS
AND PARTITION OFF BATH
ROOM. CUTTING IN NEW
WINDOW FOR VENTILATION
IN 1ST STUDY.

OPEN PIAZZA

440 ST. JOHN STREET.

7'



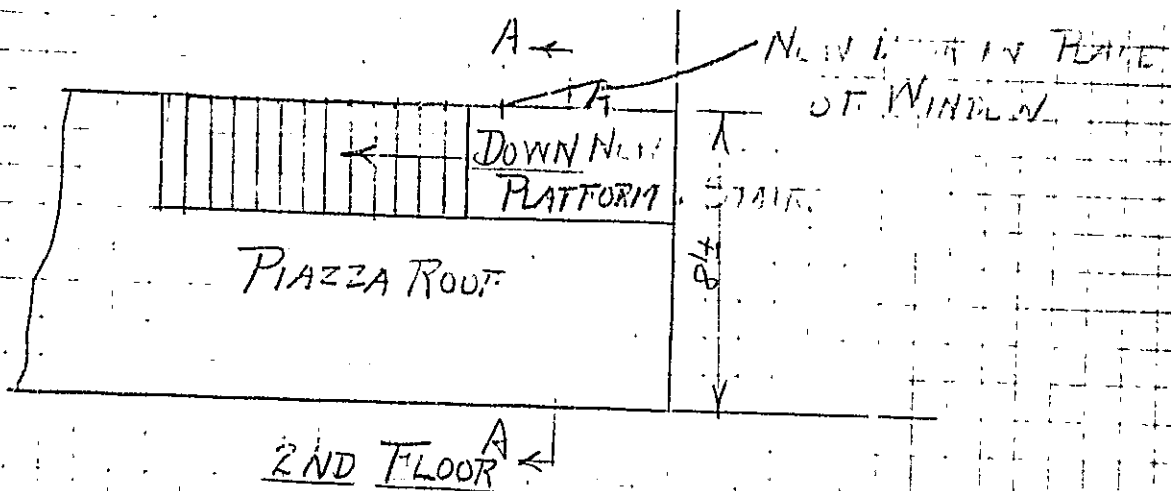
REMOVE REAR TERRACE 1ST
TO END + BARNMENT TO
1ST. CLOSE IN OPENINGS
AND PARTITION OFF BATH
ROOM. CUTTING IN NEW
WINDOW FOR VENTILATION
IN 1ST STORY.

OPEN PIAZZA

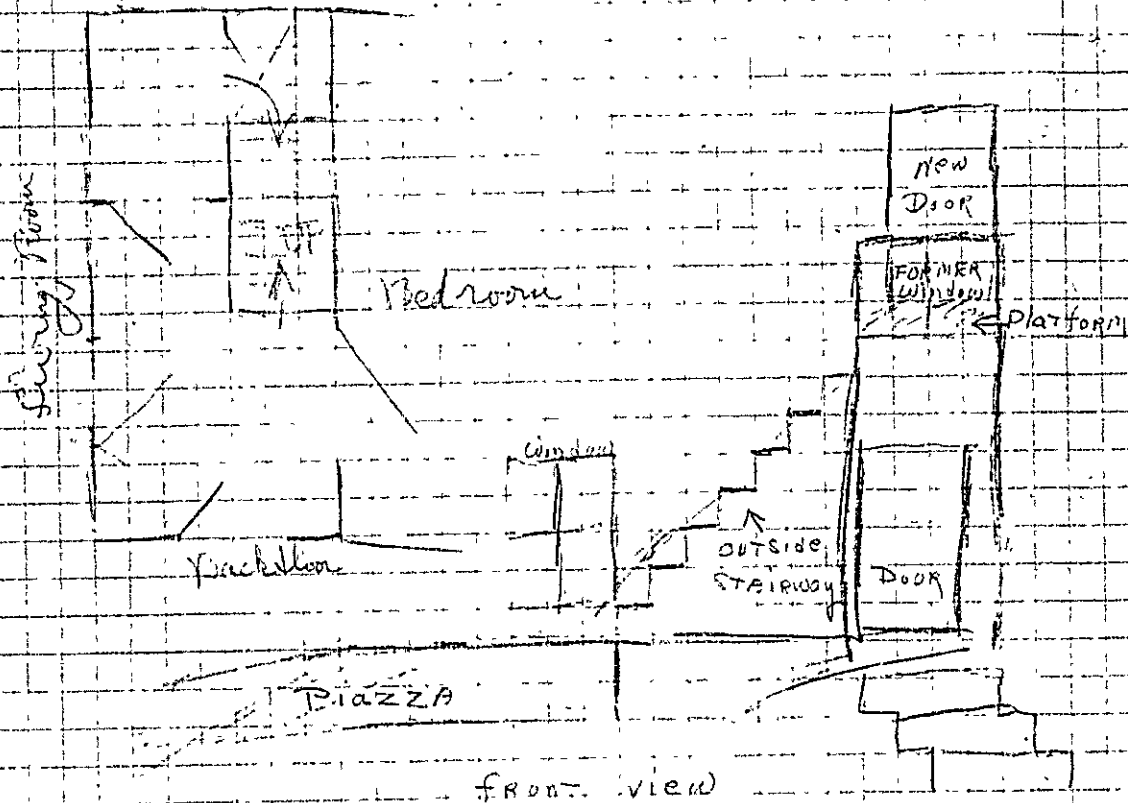
REAR
HALL

DOWN

UP



Wall 34.6'



RECEIVED
SEP-13-1948
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND

AP 440 St. John Street-I

September 30, 1948

Mr. Frank W. Sanruk
44 Brackett Street
Portland, Maine

Subject: Permit for change of use of one
family dwelling at 440 St. John Street to
two family dwelling with alterations

Dear Sir:

The permit for the above work is issued herewith subject to the following:

1. The openings in first and second floors where the inside stairs are to be removed are to be filled in with framing similar to that in rest of floors and properly floored over.

2. While the size of window to be cut in for ventilation of new bath room is not controlled by the Building Code, it is specified by State Law. The Plumbing Inspector should be consulted as to the size required.

3. Where opening is to be cut in the piazza roof for the new stairs, the existing rafters are to be doubled up at the ends of the opening and a double timber provided at the side of the opening where the rafters are cut off. While the rise and tread of the new stairs are not controlled by the Building Code in this two family dwelling, the usual practice is to make the treads not less than 9" wide and the height of riser not more than 8½". We recommend that these dimensions be used in this case.

4. Studs in new partitions are to be no less than 2x3, 16" on centers and no wall board or lath is to be applied to partitions or ceilings until you have notified this department for an inspection and authorization has been given on a green tag to do so.

Very truly yours,

Inspector of Buildings

AJS/G

(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

01769
30 1948

CITY of PORTLAND



Class of Building or Type of Structure Third Class

Portland, Maine, September 18, 1948

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~rebuild~~ ^{repair} ~~renew~~ ^{repair} the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 440 St. John Street Within Fire Limits? No Dist. No. _____
 Owner's name and address Frank N. Sunruk, 44 Brackett Street Telephone 3-0600
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Owner Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building Dwelling No. families 2
 Last use _____ No. families 1
 Material Frame No. stories 2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____ Fee \$ 2.00
 Estimated cost \$ 150.

General Description of New Work

- To change from 1 family to 2 family dwelling. 1 apt. 1st floor and 1 apt. 2nd floor.
- To provide new bathroom, first floor, by existing room.
- To erect ~~new~~ ^{new} ~~one~~ ^{one} story piazza, first floor, ~~new~~ ^{new} ~~existing~~ ^{existing}.
- To change window to door at top of stairs outside stairs and platform.
- To construct outside stairway from first story piazza to second floor for name of ~~stairs~~.
- To remove inside stairway and close up stairwell.
- To provide new bathroom in first story, by removing rear stairs and partitioning off hall space and space now occupied by stairs, cutting in window for ventilation.
- To construct outside stairway from second floor to first through opening to be cut in roof of existing one story piazza.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Frank N. Sunruk

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Cirt or ledger board? _____ Size _____
 Girders _____ Size _____ columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls) _____ (itions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd 2x4, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd 16", 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd 4', 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? Yes
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

APPROVED:

with letter by A.J.S.

Signature of owner

Frank N. Sunruk

ACTION COPY

AP 440 St. John Street-I

August 19, 1943

Mr. Frank N. Sanruk
44 Brackett Street
Portland, Maine

Subject: Application for permit
for change of use of one-family
dwelling to two apartments, with
alterations, at 440 St. John St.

Dear Sir:

We shall need more information concerning the work proposed before we shall be able to issue the permit. A layout plan of the second floor should be furnished showing the proposed use of the rooms, the location of windows and stairways and any partition work that may be necessary. You should also indicate whether there is an existing window for ventilation of new first story bathroom, or, if not, how it will be ventilated.

Very truly yours,

Inspector of Buildings

AJS/S

138-440



(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT

PERMIT ISSUED
0658

Class of Building or Type of Structure Third Class JUN 1 1933
Portland, Maine, June 1, 1933

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 440 St. John Street Ward 7 Within Fire Limits? no Dist. No. _____
Owner's or Lessee's name and address William McCooch, 440 St. John St. Telephone _____
Contractor's name and address F. E. Wallace, 78 Ashmont Street Telephone F 695
Architect's name and address _____
Proposed use of building dwelling house No. families 1
Other buildings on same lot _____
Plans filed as part of this application? no No. of sheets _____
Estimated cost \$ 50. Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 1 1/2 Heat _____ Style of roof pitch Roofing Asphalt
Last use dwelling house No. families 1

General Description of New Work

To put 7' dormer on northwest side of roof 5 1/2' to lot line
for light and ventilation of existing bath room

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof flat Rise per foot 5 1/4" Roof covering Asphalt roofing Class C Und. Lab.
No. of chimneys no Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof 2x6
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 21'
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 9'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

William McCooch

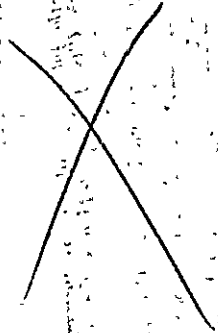
Signature of owner by F. E. Wallace

INSPECTION COPY

9 681

Ward 7 Permit No. 33/656
Location 440 St. John St.
Owner William M. Perich
Date of permit 6/1/33
Notif. closing-in None given
Inspn. closing-in 6/5/33 - GT.
Final Notif. _____
Final Inspn. 6/5/33
Cert. of Occupancy issued None

NO. 75
6/1/33 - 442-444
owned by Grace W.
Phillips -
Ellsworth, Me





(A) APARTMENT HOUSE ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
1716

Class of Building or Type of Structure Third Class

OCT 12 1932

Portland, Maine, October 12, 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 440 St. John Street Ward 7 Within Fire Limits? no Dist. No. _____

Owner's or Lessee's name and address William S. McGeoch, 440 St. John St. Telephone _____

Contractor's name and address F. E. Wallace, 73 Asimont St. Telephone F 695

Architect's name and address _____

Proposed use of building dwelling house No. families 1

Other buildings on same lot _____

Plans filed as part of this application? no No. of sheets _____

Estimated cost \$ 15. Fee \$.25

Description of Present Building to be Altered

Material wood No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____

Last use dwelling house No. families 1

General Description of New Work

To cut in one small window over sink, first floor,

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED.
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____

Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner By William S. McGeoch
F. E. Wallace

INSPECTION COPY

85851

Ward 7 Permit No. 32/1714

Location 440 St. John St.

Owner William McGeach

Date of permit 10/12/32

Notif. closing-in _____

Inspn. closing-in _____

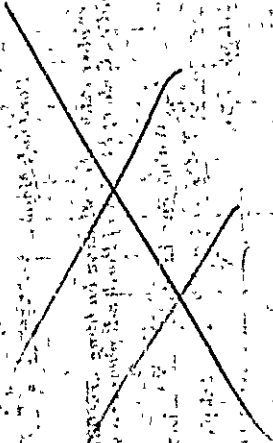
Final Notif. _____

Final Inspn. 10/12/32

Cert. of Occupancy issued None

NOTES

10/12/32 - P.T. - 098



Registration of Material Imported to US Aircraft

General Distribution of New Aircraft

Design of Mc/Airplane

ON THE BASIS OF THE INFORMATION CONTAINED HEREIN THE BUREAU OF AIRCRAFT ENGINEERING HAS DETERMINED THAT THE AIRCRAFT DESCRIBED IN THE ABOVE REPORT IS IN SUBSTANTIAL COMPLIANCE WITH THE REQUIREMENTS OF THE AIRCRAFT ACT OF 1926 AND THE REGULATIONS THEREUNDER.



APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 3213
OCT 16 1928

Class 6 Building or Type of Structure Third Class

Portland, Maine, October 16, 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ install the following ~~building structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 440 St. John Street Ward 7 Within Fire Limits? No Dist. No. _____
Owner's or Lessee's name and address W. S. McGeoch, 440 St. John St. Telephone _____
Contractor's name and address Fred Z. Butterfield, 39 Granite Telephone _____
Architect's name and address _____
Proposed use of building Dwelling house No. families 1
Other buildings on same lot Dwelling house 1 family

Description of Present Building to be Altered

Material wood No. stories 1 1/2 Heat hot air Style of roof _____ Roofing _____
Last use Dwelling house No. families 1

General Description of New Work

To install steam heating system

NOTIFICATION EFFORT TO BE MADE
OR CLOSING IS WANTED.
CERTIFICATE OF OCCUPANCY
AND PERMIT IS WANTED.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Roof covering _____
No. of chimneys no Material of chimneys _____ of lining _____
Kind of heat steam Type of fuel coal Distance, heater to chimney 8'
If oil burner, name and model _____
Capacity and location of oil tanks _____
Is gas fitting involved? _____ Size of service _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Plans filed as part of this application? no No. sheets _____
Estimated cost \$ 500. Fee \$ 1.00
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of owner W. S. McGeoch

7873

Ward 7 Permit No. 28/2213

Location 440 St John St

Owner: W. S. Mac Ghee

Date of permit Oct 18/28

Notif. closing-in _____

Inspn. closing-in _____

Final Notif. _____

Final Inspn. 11/10/28

Certif. of Occupancy issued _____

NOTES

~~Old planing no deposit~~

440 St. John Street

56-1-14



X
October 19, 1977 ✓

Ms. Helen M. Sanluk
440 St. John Street
Portland, Maine 04102

Re: 440 St. John Street 66-F-14
NCP - Oakdale

Dear Ms. Sanluk:

The Housing Inspections Division of the Department of Neighborhood Conservation has recently completed an exterior inspection of your property in conjunction with the above referred program.

Congratulations are extended to you for the general conditions of your property which was found to meet the standards established by the City's Housing Code.

Good maintenance is the best way to protect the value of your property and neighborhood.

Please feel free to call on us if we can be of assistance to you.

Sincerely yours,
Joseph E. Gray, Jr., Director
Neighborhood Conservation

By Lyle D. Noyes
Lyle D. Noyes,
Chief of Housing Inspections

Inspector: Bartlett

