(I) INDUSTRIAL ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED
03422
JUN 19 1947

Class of Building or Type of Structure Third Class

Portland, Maine, June 18, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect/alter/repair/demolish/install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 75 St. James Street Within Fire Limits? no Dist. No.

Owner's name and address Delano Mill Co., 75 St. James Street Telephone

Lessee's name and address Telephone

Contractor's name and address owners Telephone

Architect Specifications Plans no No of sheets

Proposed use of building Mill No. families

Last use " No. families

Material frame No. stories 3 Heat Style of roof Roofing

Other buildings on same lot

Estimated cost $ 1000. Fee $ 2.00

General Description of New Work

6/18/47 O.K. CHB.

To Repair after Fire to former condition. No alterations

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters:	1st floor,	2nd,	3rd,	roof
On centers:	1st floor,	2nd,	3rd,	roof
Maximum span:	1st floor,	2nd,	3rd,	roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Delano Mill Co.

Signature of owner By: E. Dudley Dwyer

INSPECTION COPY

Permit No. 47/1422

Location 75 St James St

Owner Delano Mill Co

Date of permit 6/19/47

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

~~INSPECTION NOT COMPLETED~~

Cert. of Occupancy issued

NOTES

12/6/48 Zoning dist not permitting S-G

INQUIRY BLANK

ZONE _____

FIRE DIST. _____

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Verbal
By Telephone

Date _____

LOCATION 75 St. James Street OWNER Alelano Mill Co

MADE BY Harold Fossett TEL. 4-4011

ADDRESS 75 St. James Street

PRESENT USE OF BUILDING Planing mill

CLASS OF CONSTRUCTION Third Class NO. OF STORIES 2 + basement

REMARKS:

INQUIRY: 1 - Can a space about 15'X36' between southerly end of mill and building housing boiler room be enclosed with masonry walls on ends and wood roof to provide drying room for lumber? Sprinkler system to be extended to addition. Concrete foundation wall of mill and brick wall of boiler room to form side walls of room without any openings in either.

2 - Could any opening be provided from the mill into this space?

Ans - Area of Mill = 76'X187' = 14,212 □' - Third Class

Area of Boiler R = 36'X86' = 3,096 □' - Second Class

" " Addit = 15X36 = 570 □' - Second Class

1 - Because area of mill of third class construction is now greater than allowable for

DATE OF REPLY 1/25/47 REPLY BY Albert J Sears

(over)

BC
3/31/47

a new building of such construction even though sprinklered, any additional space enclosed would have to be cut off from it by separations of 4 hour fire resistance. This means that masonry of that fire resistance would have to extend at least 32" as a parapet above the roof of the new enclosure. Under these circumstances the enclosure would seem to be allowable.

2 - Any opening between the mill and new enclosure would have to be protected by double Class "A" labelled fire doors.

✓Copy to Googins & Clark

November 20, 1934

File Receipt 33493-I

Delano Hill Company,
65 St. James Street,
Portland, Maine

Gentlemen:

I am sending to Googins and Clark today the building permit covering rebuilding of the two story lumber shed at your plant at 65-107 St. James Street, recently destroyed by fire.

As per arrangement with your Mr. Thompson and Mr. Googins, the 6x8 girders, on account of the severe load likely to come on some of them, are all to be framed with 3x6 knee braces, the knee braces to be supported at the posts in each case by a piece of 2x8, spiked to the post and a truss action of the knee braces to be maintained by a piece of 3x6 framed bel . each 6x8 girder and between the upper ends of the knee braces. 6x8 purlins are to be used in the roof and these purlins on either side, which are nearest the ridge, are to be stiffened and strengthened by knee braces consisting of seven-eighths inch board nailed to posts and purlins on each side of the same.

I wish to call your attention to the condition which it appears will develop in connection with the slabs used as foundations for the building on the basis of the loading described to me by your Mr. Schumacher. Apparently the posts, supporting the 6x8 girders which run lengthwise of the building and about halfway between the outside walls and the central runway, will be loaded the heaviest, the total load upon the footings under these posts being approximately 17,000 pounds which is equivalent to nearly four tons to the square foot upon the soil underneath these footings. This is an unusually heavy load for clay soil and the fact that this load may occur beneath these posts and that other posts next to them may only be loaded to one-half ton to the square foot is likely to develop unequal settlement which may prove injurious to the building.

Very truly yours,

MaD/H

Inspector of Buildings.

INDUSTRIAL ZONE

PERMIT ISSUED
Permit No. 1920
NOV 20 1934

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, November 15, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building ~~structure equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 65-107 St. James Street Ward 7 Within Fire Limits? no Dist. No.

Owner's ~~or Lessee's~~ name and address Delano Mill Co. Telephone

Contractor's name and address Coogins & Clark, 46 Portland St. Telephone 2-5168

Architect's name and address

Proposed use of building Storehouse No. families

Other buildings on same lot Planing Mill

Plans filed as part of this application? yes No. of sheets 3

Estimated cost $ 2,000. Fee $ 2.75

Description of Present Building to be Altered

Material No. stories Heat Style of roof Roofing

Last use No. families

General Description of New Work

To replace two story building destroyed by fire in approximately the same location as the former building but approximately 48' x 76' instead of 80' x 80' as was the former building. In view of the fact that the foundations of the former building consisted of mud sills, concrete slabs set near the grade will be used for this foundation.

All as per plans submitted

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering Metal

No. of chimneys no Material of chimneys of lining

Kind of heat none Type of fuel Is gas fitting involved?

Corner posts Sills Gir. or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner By Delano Mill Co. By Coogins & Clark

By F T Coggins

INSPECTION COPY

3349B

7 Permit No. 34/1920 P

65-107 St. James St.

Owner: Delano Mill Co.

Date of permit: 11/20/34

Notif. closing-in:

Inspn. closing-in:

Final Notif.:

Final Inspn.: 8/21/35

Cert. of Occupancy issued: None

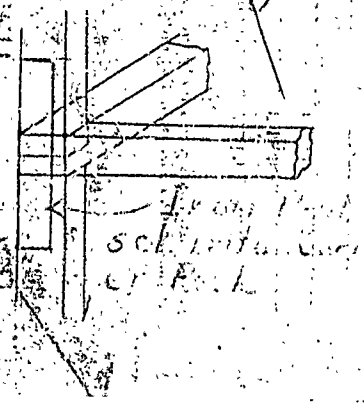
NOTES

11/21/34 - Grading off side of building - A.G.S.

11/26/34 - Work started - A.G.S.

11/30/34 - Sills laid - A.G.S.

12/5/34 - Some of posts in corner posts have been cut off at 2nd floor level - A.G.S.



12/7/34 - Mr. Bobber agreed to put splice plates of iron about 24" long x 8" wide x 3/8" thick around outside corners of corner posts at 2nd floor level - A.G.S.

12/15/34 - Second story framed - A.G.S.

12/21/34 - Roof framed - A.G.S.

12/31/34 - Not much change - A.G.S.

1/17/35 - Framing completed but not boarding done - A.G.S.

2/7/35 - No change - A.G.S.

4/4/35 - Same - A.G.S.

Permit No. _____

APPLICATION FOR PERMIT TO REPAIR BUILDING

PERMIT ISSUED
OCT 15 1934

Third Class Building

Portland, Maine, October 15, 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to repair the following described building in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 65-107 St. James Street Ward 7 Within fire limits? no Dist. No. _____

Owner's name and address J. B. Brown & Sons, 218 Middle Street Telephone _____

Contractor's name and address Googins & Clark, 46 Portland St. Telephone 2-3168

Use of building Mill

No. stories 2 Height _____ ft., Gross area _____ sq. ft., Style of roof flat

Type of present roof covering Tand G

General Description of New Work

To Repair after fire to former condition. No alteration.
(Cause - Exposure)

This permit does not include rebuilding of storehouse which was attached to mill, Outside north wall and office finish

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.

If Roof Covering is to be Repaired or Renewed

When last repaired? _____, Area then repaired _____ sq. ft.

Are repairs or renewal due to damage by fire? yes If so, what area damaged? _____ sq. ft.

Area of roof to be repaired now? _____ sq. ft.

Type of roofing to be used ter and gravel No. plies _____

Trade name and grade of roof covering to be used _____

Estimated cost $ 5,000. Fee $ 3.75

Signature of owner By Googins & Clark
J. B. Brown & Sons
By F T Googins

INSPECTION COPY

Ward 7 Permit No. 3

Location 65-107 St. James

Owner J. B. Brown & Sons

Date of permit 10/15/34.

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 10/25/34

Cert. of Occupancy issued None

NOTES

10/25/34 - Work being done - A.J.S.

CITY OF PORTLAND, MAINE
ELEVATOR INSPECTION

1-66

Bldg. No. 16 Block 6 Sheet ___ of ___

Location of Bldg. 75 Pt formerly 8t

Owner Brown & B & Co

Occupant Dalano Miller

Inspection by H G Crabtree Date 3-16-34

Formal Complaint ___ No. ___ Date ___

Letter sent without complaint ___

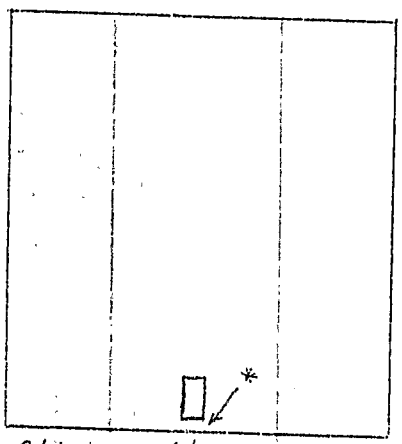
Building Data

Mat'l outside walls Wood Int. Frame Wood

No. stories 2 Style of Roof Flat

No. elev. in bldg., Passenger — Freight 1

Location of Elevator on Street Floor
Shown Below



8t formerly 1t St. Ave.

This report for 1 identical elevators

Elev. Man'f'r. Otis

Use of elev., Pass. — Frt. ✓ Comb'n. — (check which)

No. stops 3 Bsmt, ~~1~~, 2, ~~3, 4, 5, 6, 7, 8, 9, 10, 11, 12~~

Shaftway

Open? — Hatch doors, Auto. ✓ Non-auto —

Gates, Auto. ✓ Semi-auto. — Hand —

** Enclosed? ✓ Mat'l. of enclosure Wood

Fire Doors + Normally closed — open —

Are enclosure doors interlocked? —

Height enclosure, full story ✓ what ht. —

Elevator Machinery

Type of Power Elec.

Type of Machine Worm gear D. B. Co

Location of Machine Roof timbers

Material of Supports Wood of Guides Wood

Material of cables Steel

No. cables, hoisting 2 counterweight 2

Type of brakes Mechanical

Has elev. following safeties: Governor —

Car Safety ✓; Elect. Brakes —; Auto. Terminal Stops top & bottom ✓; Slack Cable Stops ✓; Safety Floor Stops ✓

Remarks: (note defects, if any)

* 12" Open space 1st floor

Elevator Car

Platform Dimensions 5 X 20 Capacity 0

Mat'l. of Encl. — No. sides encl. +

Height of enclosure — No. entrances 2

Type of gates ~~or doors~~ Auto

Are they interlocked? +

Have they auto-closing device? ✓

Type operation, Push-Button — Operator Hand

Any emergency exit? —

Remarks: (note defects, if any)

General Remarks:

** 2 Sides Enclosed
1 End has vertical doors

Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

responsible for complying the law, whether you the requirements or not.

READ! Get All Questions Settled BEFORE Commencing Work. Failure To Do So May Prove Costly

Application for Permit for Alterations, etc.

Portland, Me., May 18, 1925 *19*

To the INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following described building:—

Location 75 St James Street Ward 7 in fire-limits? no

Name of Owner or Lessee, Delano Mill Company Address 75 St James

" " Contractor, Gooding & Clark " 46 Portland St

" " Architect, " "

Description of Present Bldg.

Material of Building is wood Style of Roof, pitch Material of Roofing, asphalt

Size of Building is ..... feet long; ..... feet wide. No. of Stories, ...

Cellar Wall is constructed of ..... is ..... inches wide on bottom and batters to ..... inches on top.

Underpinning is ..... is ..... inches thick; is ..... feet in height.

Height of Building ..... Wall, if Brick; 1st, ... 2d, ... 3d, ... 4th, ... 5th, ...

What was Building last used for? mill No. of Families? .....

What will Building now be used for? mill

Detail of Proposed Work

Build addition two stories high 40x80feet with asphalt roof
all to comply with the building ordinance

Estimated Cost $ 700.

If Extended On Any Side

Size of Extension, No. of feet long? 80ft; No. of feet wide? 40ft; No. of feet high above sidewalk? 22ft

No. of Stories high? 2; Style of Roof? pitch; Material of Roofing? asphalt

Of what material will the Extension be built? wood Foundation? mud sills

If of Brick, what will be the thickness of External Walls? ..... inches; and Party Walls ..... inches.

How will the extension be occupied? mill How connected with Main Building? joined

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? ..... Proposed Foundations? .....

No. of feet high from level of ground to highest part of Roof to be? .....

How many feet will the External Walls be increased in height? ..... Party Walls .....

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? ..... in ..... Story.

Size of the opening? ..... How protected? .....

How will the remaining portion of the wall be supported? .....

Signature of Owner or Authorized Representative Gorgine & Clark
by G. T. Gorgine

Address .....

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

I

1692

May 16/35

75 St James

Location, Ownership and detail must be correct, complete and legible.
Separate application required for every building.
Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the INSPECTOR OF BUILDINGS:

Portland, June 5, 1922 *192*

The undersigned applies for a permit to alter the following described building:—

Location 75 St James Street Ward, 7 in fire-limits? no

Name of Owner or Lessee, Delaro Mill Company Address 75 St James Street

" " Contractor, F. W. Cunningham & Son " 430 Congress Street

" " Architect " "

Description of Present Bldg.

Material of Building is wood Style of Roof, flat Material of Roofing, tar & gravel

Size of Building is 150ft feet long; 60ft feet wide. No. of Stories, 2

Cellar Wall is constructed of concrete is inches wide on bottom and batters to inches on top.

Underpinning is is inches thick; is feet in height.

Height of Building 20ft Wall, if Brick; 1st, 2d, 3d, 4th, 5th,

What was Building last used for? mill No. of Families?

What will Building now be used for? same

DETAIL OF PROPOSED WORK

build addition 9x15 two stories high with asphalt roof
all to comply with the building ordinance

Estimated Cost $ 400.

IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? ; No. of feet wide? ; No. of feet high above sidewalk?

No. of Stories high? ; Style of Roof? ; Material of Roofing?

Of what material will the Extension be built? Foundation?

If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.

How will the extension be occupied? How connected with Main Building?

WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised, or Built upon? Proposed Foundations

No. of feet high from level of ground to highest part of Roof to be?

How many feet will the External Walls be increased in height? Party Walls

IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? in Story.

Size of the opening? How protected?

How will the remaining portion of the wall be supported?

Signature of Owner or Authorized Representative. Delaro Mill Co.

Address. 75 St. James St.

C.H.T.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

75 St. James St.

65-107

PERMIT GRANTED

June 5, 1922 ....192....

Permit filled out by

Permit number.

Location 75 ST James

FINAL REPORT

.....192.....

Has the work been completed in accordance with this application and plans filed and approved?

.....

Law been violated?..... Doc. No.....of 192.....

Nature of violation? .....

.....

.....

.....

.....

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.....

.....

.....

Violation removed, when?.....192.....

Estimated cost of alterations, etc., $ .....

.....

Inspector of Buildings.

Location, ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with this application.

Application for Permit to Build

(3d CLASS BUILDING)

Portland, Me., January 21st, 1916.

TO THE INSPECTOR OF BUILDINGS:

The undersigned hereby applies for a permit to build, according to the following Specifications:—

Location, St. James St. Wd.

Name of owner is? J.B. Brown & Sons Address, Middle St.

Name of mechanic is? F. W. Cunningham & Son " 460 Congress St.

Name of architect is? Miller & Mayo " Fidelity Bldg.

Proposed occupancy of building (purpose)? Planing mill

If a dwelling or tenement house, for how many families?

Are there to be stores in lower story? no No.

Size of lot, No. of feet front?; No. of feet rear?; No. of feet deep?

Size of building, No. of feet front? 187; No. of feet rear? 187; No. of feet deep? 76

No. of stories, front? two; rear? two

No. of feet in height from the mean grade of street to the highest part of the roof? 39 feet

Distance from lot lines, front? feet; side? feet; side? feet; rear? feet

Firestop to be used? No

Will the building be erected on solid or filled land? Solid

Will the foundation be laid on earth, rock, or piles? earth

If on piles, No. of rows? distance on centres? length of?

Diameter, top of? diameter, bottom of?

Size of posts? 12 x 12 roof rafters 8 x 14 8 ft.

" girts? 8x10

" floor timbers? 1st floor 12 x 14, 2d 10 x 14, 3d, 4th

O. C. " " " " 2 ft., " 2 ft., " , "

Span " " " " 16 ft., " 16 ft., " , "

Braces, how put in? Braced as shown on sheet 12 of plan

Building, how framed? Mill construction

Material of foundation? Concrete thickness of? 3 ft. 20in laid with mortar?

Underpinning, material of? concrete height of? thickness of? 20"

Will the roof be flat, pitch, mansard, or hip? flat Material of roofing? tar and gravel

Will the building be heated by steam, furnaces, stoves or grates? steam Will the flues be lined? Yes

Will the building conform to the requirements of the law? Yes

No. of brick walls? sprinkler system throughout and where placed?

Means of egress? two stairways and one elevator

If the building is to be occupied as a Tenement House, give the following particulars:

What is the height of cellar or basement?

What will be the clear height of first story? second? third?

State what means of egress is to be provided?

Scuttle and stepladder to roof?

Estimated Cost,

$

Signature of owner or authorized representative, F. W. Cunningham & Sons

Address, 460 Congress

Plans submitted? Yes Received by?

PERMIT MUST BE RECEIVED BEFORE BEGINNING WORK.

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand

191 .

No. 4697

APPLICATION FOR
PERMIT TO BUILD 3d CLASS BUILDING

LOCATION

No. St. James St.

65-107

Ward 7

Inspector

CONDITIONS

PERMIT GRANTED

January 21st, 1916.

Permit filled out by M. E. S.

Permit number 4697

Plan number

FINAL REPORT

191

Has the work been completed in accordance with this application and plans filed and approved?

Law been violated?

Nature of violation?

Violation removed when? 191

Estimated cost of building, etc., $

Building Inspector.

APPROVAL OF PLA

Supervisor o

Location, ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with this application.

Application for Permit to Build

(1st and 2nd CLASS BUILDING)

Portland, Me., January 21st, 1916.

TO THE INSPECTOR OF BUILDINGS:

The undersigned hereby applies for a permit to build, according to the following Specifications:—

Location, No. St. James St. Wd. 7

Name of owner is? J. B. Brown & Sons Address, Middle St.

Name of mechanic is? F. W. Cunningham & Sons " 460 Congress St.

Name of architect is? Miller & Mayo " Fidelity Bldg.

Material of building? Brick 1st or 2d class? Second Class

Building to be occupied for? Boiler house No. of Stores? None

How many families? None

How near the line of the street?

Will the building be erected on solid or filled land? Solid If in block, how many?

Size of lot, No. of feet front? ; feet rear? ; feet deep?

Size of building, No. of feet front? 34 No. of feet rear? 34 No. of feet deep? 61

No. of stories in height, above basement? one ; No. of feet in height from sidewalk to highest point of roof? 27'.

Material of foundation? Concrete If concrete, submit specifications. 1-3-5

Will foundation be laid on earth, rock or piles? Rock and earth

Length of piles? Wood or concrete piles?

Number of rows?

Distance on centres?

Diameter top? Bottom?

Capped with stone or concrete?

Piles cut off at what grade? Grade of basement?

External walls, Party walls, } thickness { 1st. 12 2d, 3d, 4th, 5th, 6th, 7th, 8th, 9th,
1st, 12 2d, 3d, 4th, 5th, 6th, 7th, 8th, 9th,

Are the walls solid or vaulted? Solid Material? Brick

What will be the materials of front? Brick

Will the roof be flat, pitch, mansard or hip? flat Material of roofing tar and gravel

What will be the material of cornice?

What will be means of access to roof? None

Are there any hoistways or elevators? No How protected?

How is building heated? Steam Thickness of shell of flue? 8

Fire stops provided? No Method of fire stops?

Means of extinguishing fire?

Stairways enclosed in brick walls? Thickness of such walls?

Means of egress? Doorway

If the building is to be occupied as a Tenement House, give the following particulars:

Height of cellar? Height of basement?

Height of first story, second, third, fourth,

fifth, sixth, seventh, eighth, ninth, tenth,

Is the cellar or the basement to be occupied for habitation?

Distance from surrounding buildings? front, ; side, ; side, ; rear,

If there is a building already erected on the front or rear of lot, give height?

State how many ways of egress are to be provided,

Style of egress? Inside stairs or outside fire escapes, or both?

Will the building comply with the requirements of statutes?

Estimated Cost,

$

Signature of owner or authorized representative, F. W. Cunningham & Sons

Address, 470 Congress Street

Plans submitted? Yes Received by?

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK.

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand to any Building Inspector of the City of Portland

No. 4698 ✓ 191 .

Application For Permit To Build

FIRST OR SECOND CLASS BUILDING

LOCATION

No. St. James St.

65-10

Ward 7

CONDITIONS

X

Inspector

PERMIT GRANTED

January 21, 1916.

Permit filled out by M.E.S.

Permit number 4698.

Plan number

FINAL REPORT

191 .

Has the work been completed in accordance with this application and plans filed and approved?

Law been violated?

Nature of violation?

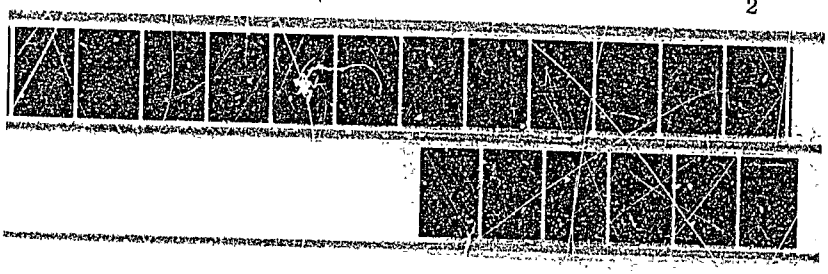
Violation removed when? 191 .

Estimated cost of building, etc., $

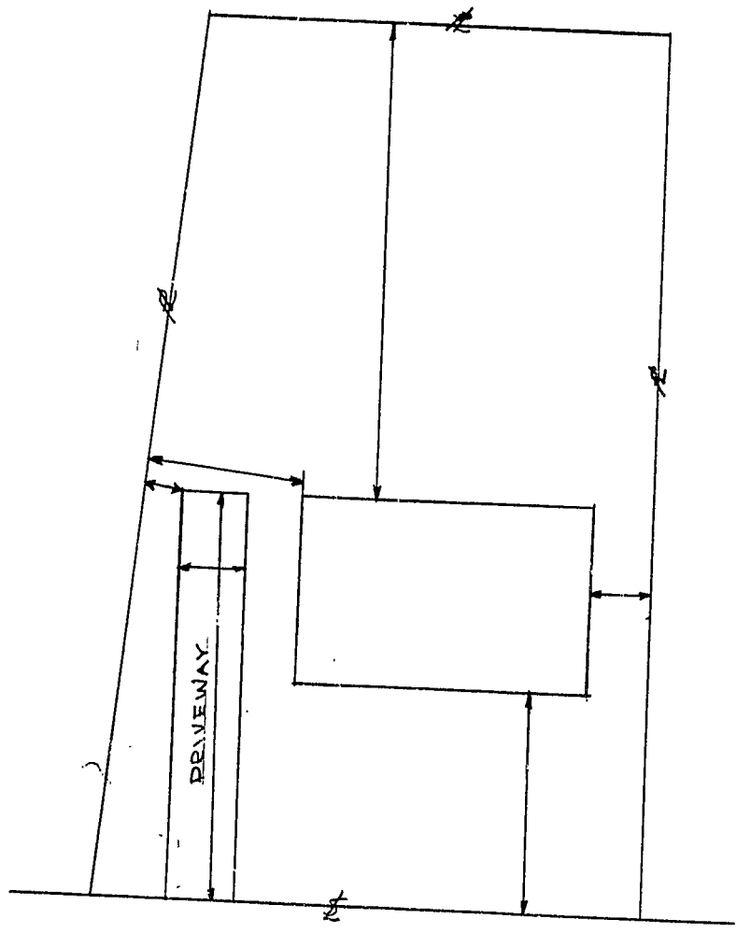
Building Inspect

APPROVAL OF

Sup



TYPICAL PLOT PLAN (OVER)



NOTE: Garage

STREET NAME 73 Rowe Ave

SIZE OF BLDG 22 x 26

OWNER Records, Christopher

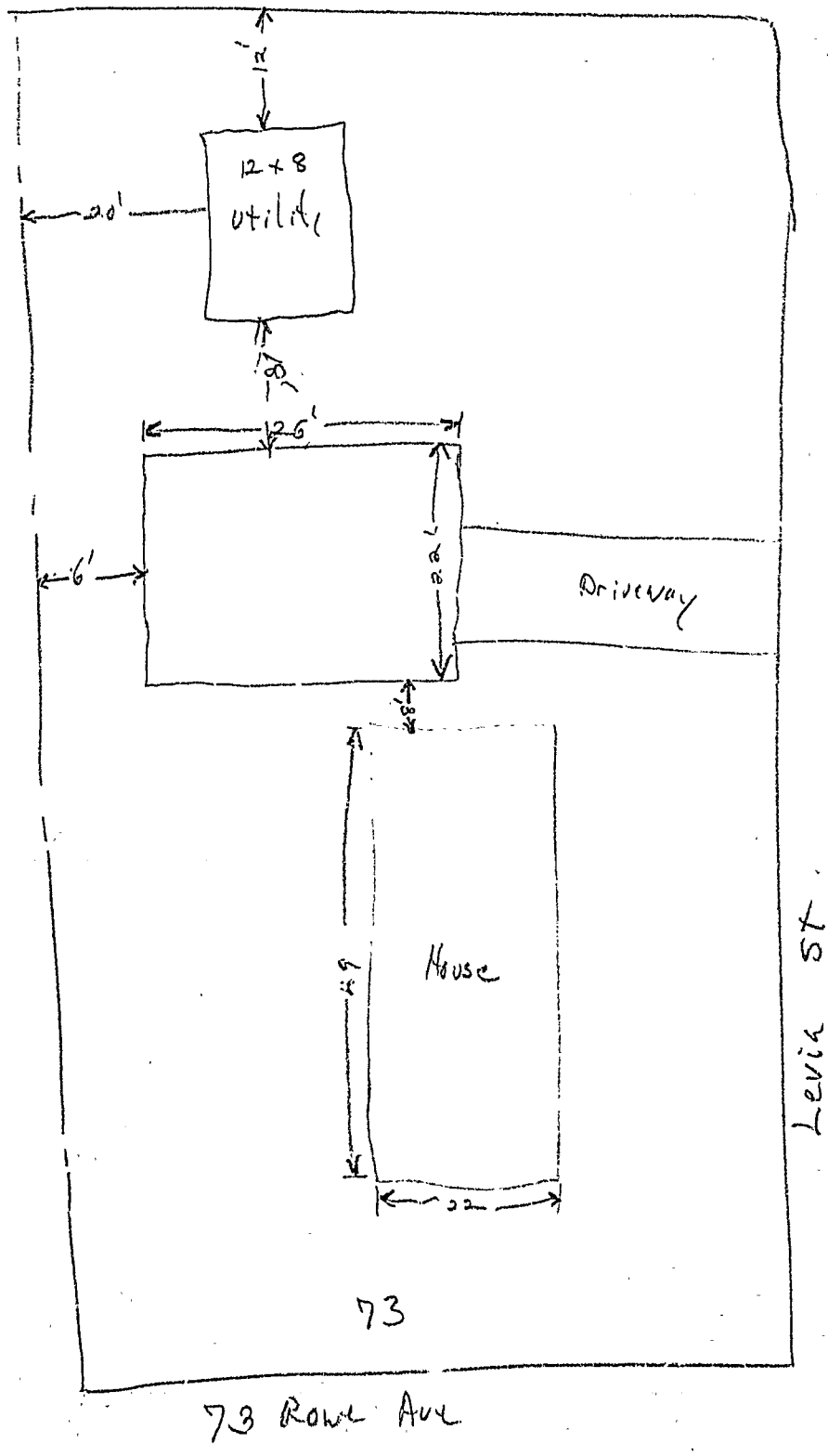
CONTRACTOR

INDICATE PROJECTIONS (ELLS)

22" footing foundation flooring

on 4" floating slab

dig out - 18" gravel bed - mesh reinforced



APPLICATION FOR PERMIT

PERMIT ISSUED
MAR 30 1983
CITY of PORTLAND

B.O.C.A. USE GROUP .....

B.O.C.A. TYPE OF CONSTRUCTION ..... 00218 .....

ZONING LOCATION ..... R-3 ..... PORTLAND, MAINE March 29, 1983

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ..... 73 Rowe Avenue .....

1. Owner's name and address ..... Christopher Records ..... Same ..... Fire District #1 ☐, #2 ☐
2. Lessee's name and address ..... Telephone ... 774-6682
3. Contractor's name and address ..... Owner ... ~~Same~~ ..... Telephone .....
..... Telephone .....

Proposed use of building ..... Garage ..... No. of sheets .....

Last use ..... No. families .....

Material ..... No. stories ..... Heat ..... Style of roof ..... Roofing .....

Other buildings on same lot .....

Estimated contractural cost $ 250 .....

FIELD INSPECTOR—Mr. .....

@ 775-5451

Appeal Fees	$ .....
Base Fee	... 15 .....
Late Fee	.....
TOTAL	$ ... 15 .....

To move 22 ft x 26 ft detached garage from Osteopathic Hospital, Brighton Avenue to 73 Rowe Avenue.
Garage will be dis-assembled at Brighton Avenue and will be re-assembled at Rowe Avenue.

Stamp of Special Conditions

Mr Miller Head of Maint

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? ..... Is any electrical work involved in this work? .....

Is connection to be made to public sewer? ..... If not, what is proposed for sewage? .....

Has septic tank notice been sent? ..... Form notice sent? .....

Height average grade to top of plate ..... Height average grade to highest point of roof .....

Size, front ..... depth ..... No. stories ..... solid or filled land? ..... earth or rock? .....

Material of foundation ..... Thickness, top ..... bottom ..... cellar .....

Kind of roof ..... Rise per foot ..... Roof covering .....

No. of chimneys ..... Material of chimneys ..... of lining ..... Kind of heat ..... fuel .....

Framing Lumber—Kind ..... Dressed or full size? ..... Corner posts ..... Sills .....

Size Girder ..... Columns under girders ..... Size ..... Max. on centers .....

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor ....., 2nd ....., 3rd ....., roof .....

On centers: 1st floor ....., 2nd ....., 3rd ....., roof .....

Maximum span: 1st floor ....., 2nd ....., 3rd ....., roof .....

If one story building with masonry walls, thickness of walls? ..... height? .....

IF A GARAGE

No. cars now accommodated on same lot ....., to be accommodated ..... number commercial cars to be accommodated .....

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? .....

APPROVALS BY:	*DATE*
BUILDING INSPECTION—PLAN EXAMINER	
ZONING: OK. McD.	3/30/83
BUILDING CODE:	
Fire Dept.:	
Health Dept.:	
Others:	

MISCELLANEOUS

Will work require disturbing of any tree on a public street? .....

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? .....

Signature of Applicant Christopher Records ..... Phone # ~~774-6682~~ 774-8921 ext 252

Type Name of above ... Christopher Records ..... 1☐ 2☐ 3☐ 4☐

Other .....

and Address .....

FIELD INSPECTOR'S COPY APPLICANT'S COPY OFFICE FILE COPY

☐ Mr Carroll

Permit No. 83/0218

Location 73 Dayne Ct.

Owner Christopher Dicarlo

Date of permit 3-29-83

Approved 3-30-83

Dwelling

Garage Detached garage

Alteration

NOTES

4-4-83 - Work on site prep not started yet - owner will notify for frame inspection (P)

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction:	Owner:	Phone:	Permit No: 950168
75 St James St	William Goodman & Sons		

Owner Address:	Lessee/Buyer's Name:	Phone:	BusinessName:

Contractor Name:	Address:	Phone:
Portland Pump Mussey Rd Ext	P.O. Box 1180 Scarborough, ME 04074	883-4317

Past Use:	Proposed Use:	COST OF WORK:	PERMIT FEE:
Comm	Same Removal of Tank	$	$ 10.00

FIRE DEPT.	INSPECTION:
☑ Approved ☐ Denied Signature:	Use Group: Type: BOCA 93 Signature:

Proposed Project Description:

Remove Underground Tank

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved ☐ Approved with Conditions: ☐ Denied ☐
Signature: Date:

Permit Taken By:	Date Applied For:
Mary Gresik	27 Feb 95

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED
Permit Issued.
MAR 2 1995
CITY OF PORTLAND

Zone: I-2 CBL: 066-D-004

Zoning Approval: OK 3/27/95

Special Zone or Reviews:
☐ Shoreland
☐ Wetland
☐ Flood Zone
☐ Subdivision
☐ Site Plan maj ☐ minor ☐ mm ☐

Zoning Appeal
☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Historic Preservation
☑ Not in District or Landmark
☐ Does Not Require Review
☐ Requires Review

Action:
☐ Appoved
☐ Approved with Conditions
☐ Denied

Date: 3/27/95

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT / Don Cyr ADDRESS: DATE: 27 Feb 95 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

CEO DISTRICT 5

M.R. Wing

White–Permit Desk Green–Assessor's Canary–D.P.W. Pink–Public File Ivory Card–Inspector

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 75 St James St	Owner: William Goodman & Sons	Phone:	Permit No: 950168
Owner Address:	Lessee/Buyer's Name:	Phone:	BusinessName:
Contractor Name: Portland Pump	Address: Hussey Rd Ext P.O. Box 1180 Scarborough, ME 04074	Phone: 883-4317	
Past Use: Comm	Proposed Use: Same Removal of Tank	COST OF WORK: $	PERMIT FEE: $ 10.00
		FIRE DEPT. ☑ Approved ☐ Denied Signature:	INSPECTION: Use Group: Type: BOCA 93 Signature:
Proposed Project Description: Remove Underground Tank		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved ☐ Approved with Conditions: ☐ Denied ☐ Signature: Date:	
Permit Taken By: Mary Gresik	Date Applied For: 27 Feb 95		

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

PERMIT ISSUED
Permit Issued:
MAR 2 1995
CITY OF PORTLAND

Zone: I-2 CBL: 066-D-004

Zoning Approval: 2/27/95

Special Zone or Reviews:
- ☐ Shoreland
- ☐ Wetland
- ☐ Flood Zone
- ☐ Subdivision
- ☐ Site Plan maj ☐ minor ☐ mm ☐

Zoning Appeal
- ☐ Variance
- ☐ Miscellaneous
- ☐ Conditional Use
- ☐ Interpretation
- ☐ Approved
- ☐ Denied

Historic Preservation
- ☑ Not In District or Landmark
- ☐ Does Not Require Review
- ☐ Requires Review

Action:
- ☐ Appoved
- ☐ Approved with Conditions
- ☐ Denied

Date: 2/27/95

CEO DISTRICT 5

Ma. Wing

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: Doyle Cyr ADDRESS: DATE: 27 Feb 95 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White–Permit Desk Green–Assessor's Canary–D.P.W. Pink–Public File Ivory Card–Inspector

COMMENTS

Tank was removed
4-95 OK [illegible]

Inspection Record

	Type	Date
Foundation:		
Framing:		
Plumbing:		
Final:		
Other:		

BUILDING PERMIT REPORT

Date: 2/28/95

Address: 75 St. James St

Type of Permit: remove tank

Owner: William Goodman

Contractor: Portland Pump

Applicant: Don Cyr

Approved: ✓ Denied: _____

Conditions:

1. All underground tank removal(~~s) and/or installation(s)~~ shall be done in accordance with Department of Environmental Protection Regulations (Chapter 691).
2. No cutting of tanks on site. Cutting of tanks to be done at an approved tank disposal site.
3. Fire Dispatcher must be notified 48 hours in advance of removal and/or transporation of tanks.

Form # P 01

ELECTRICAL PERMIT
City of Portland, Me.

To the Chief Electrical Inspector, Portland Maine:
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical code and the following specification:

Date 10 June 1996

Permit # 3088

LOCATION: 75 St John St

OWNER Cozy Harbor Seafood ADDRESS

OUTLETS								TOTAL	EACH FEE
		Receptacles		Switches		Smoke Detector			.20	
FIXTURES		(number of)								
		incandescent		fluorescent				12	.20	2.40
		fluorescent strip							.20	
SERVICES										
		Overhead				TTL AMPS TO	800		15.00	
		Underground					800		15.00	
TEMPORARY SERV.										
		Overhead				AMPS OVER	800		25.00	
		Underground					800		25.00	
METERS		(number of)							1.00	
MOTORS		(number of)							2.00	
RESID/COM		Electric units							1.00	
HEATING		oil/gas units							5.00	
APPLIANCES		Ranges		Cook Tops		Wall Ovens			2.00	
		Water heaters		Fans		Dryers			2.00	
Disposals		Dishwasher		Compactors		Others (denote)			2.00	
MISC. (number of)		Air Cond/win							3.00	
		Air Cond/cent							10.00	
		Signs							5.00	
		Pools							10.00	
		Alarms/res							5.00	
		Alarms/com							15.00	
		Heavy Duty						14	2.00	28.00
		Outlets								
		Circus/Carnv							25.00	
		Alterations							5.00	
		Fire Repairs							15.00	
		E Lights							1.00	
		E Generators							20.00	
		Panels							4.00	
TRANSFORMER		0-25 Kva							5.00	
		25-200 Kva							8.00	
		Over 200 Kva							10.00	
						TOTAL AMOUNT DUE				
		MINIMUM FEE/COMMERCIAL 35.00				MINIMUM FEE		25.00		30.40

INSPECTION: Will be ready _____ or will call XXXXX

CONTRACTORS NAME Seacoast Electric Harry Papkee

ADDRESS 74 Greenwood Ln

TELEPHONE 774-6179

MASTER LICENSE No. 3088

LIMITED LICENSE No.

SIGNATURE OF CONTRACTOR Harry G Papkee

ELECTRICAL INSTALLATIONS

Permit Number 3066

Location 75 St. John St.

Owner Coast Marbure Seafood

Date of Permit 6/10/96

Final Inspection 6/20/96

By Inspector [illegible]

INSPECTION: Service _____ by _____

Service called in _____

Closing-in _____ by _____

PROGRESS INSPECTIONS: 6/12/96 (WAVE-THROUGH)

6/20/96 (FINAL)

/ / /

/ / /

/ / /

/ / /

DATE:	REMARKS:
6/12/96	Hanny will be hooking up equip. as it comes in (OK)

ELECTRICAL PERMIT
City of Portland, Me.

To the Chief Electrical Inspector, Portland Maine:
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical code and the following specification:

Date 20 march 1996
Permit # 11182

LOCATION: 75 St John St

OWNER Cozy Harbor Seafood ADDRESS

									TOTAL	EACH	FEE
OUTLETS											
		Receptacles		Switches						.20	
FIXTURES		(number of)									
		incandescent		fluorescent						.20	
		fluorescent strip								.20	
SERVICES											
		Overhead				TTL AMPS TO	800			15.00	
		Underground					800			15.00	
TEMPORARY SERV.											
		Overhead				AMPS OVER	800	100		25.00	25.00
		Underground					800			25.00	
METERS		(number of)								1.00	
MOTORS		(number of)								2.00	
RESID/COM		Electric units								1.00	
HEATING		oil/gas units								5.00	
APPLIANCES		Ranges		Cook Tops		Wall Ovens				2.00	
		Water heaters		Fans		Dryers				2.00	
Disposals		Dishwasher		Compactors		Others (denote)				2.00	
MISC. (number of)		Air Cond/win								3.00	
		Air Cond/cent								10.00	
		Signs								5.00	
		Pools								10.00	
		Alarms/res								5.00	
		Alarms/com								15.00	
		Heavy Duty								2.00	
		Outlets									
		Circus/Carnv								25.00	
		Alterations								5.00	
		Fire Repairs								15.00	
		E Lights								1.00	
		E Generators								20.00	
		Panels								4.00	
TRANSFER		0-25 Kva								5.00	
		25-200 Kva								8.00	
		Over 200 Kva								10.00	
						TOTAL AMOUNT DUE					
						MINIMUM FEE		25.00			25.00

INSPECTION: Will be ready Ready or will call

CONTRACTORS NAME Eastern Electrical Corp
ADDRESS P.O. Box 346 Ptld, ME 04112
TELEPHONE 772-6762
MASTER LICENSE No. 11182
LIMITED LICENSE No.

SIGNATURE OF CONTRACTOR

INSPECTIONS: Service 3-20-96 by SB

Service called in 11:00 AM

Closing-in _____ by _____

PROGRESS INSPECTIONS: _____ / _____ / _____

_____ / _____ / _____

_____ / _____ / _____

_____ / _____ / _____

_____ / _____ / _____

_____ / _____ / _____

ELECTRICAL INSTALLATIONS

Permit Number 1182

Location 75 ST John

Owner Cozy Harbor Seafood

Date of Permit 3-20-96

Final Inspection 3-20-96

By Inspector [signature]

DATE:	REMARKS:

Form # P 01

ELECTRICAL PERMIT
City of Portland, Me.

To the Chief Electrical Inspector, Portland Maine:
The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical code and the following specification:

Date 08 April 1996

LOCATION: 75 St John St

Permit # 1182

OWNER Cozy Harbor Seafood **ADDRESS**

								TOTAL	EACH	FEE
OUTLETS										
		Receptacles		Switches		Smoke Detector		106	.20	21.20
FIXTURES		(number of)								
		incandescent		fluorescent				160	.20	32.00
		fluorescent strip							.20	
SERVICES										
		Overhead				TTL AMPS TO	800		15.00	
		Underground					800		15.00	
TEMPORARY SERV.										
		Overhead				AMPS OVER	800		25.00	
		Underground					800	2000	25.00	25.00
METERS		(number of)						1	1.00	1.00
MOTORS		(number of)						12	2.00	12.00
RESID/COM		Electric units							1.00	
HEATING		oil/gas units						2	5.00	10.00
APPLIANCES		Ranges		Cook Tops		Wall Ovens			2.00	
		Water heaters		Fans		Dryers		1	2.00	2.00
Disposals		Dishwasher		Compactors		Others (denote)			2.00	
MISC. (number of)		Air Cond/win							3.00	
		Air Cond/cent						2	10.00	20.00
		Signs							5.00	
		Pools							10.00	
		Alarms/res							5.00	
		Alarms/com						1	15.00	15.00
		Heavy Duty							2.00	
		Outlets								
		Circus/Carnv							25.00	
		Alterations							5.00	
		Fire Repairs							15.00	
		E Lights						13	1.00	13.00
		E Generators							20.00	
		Panels						7	4.00	28.00
TRANSFORMER		0-25 Kva							5.00	
		25-200 Kva							8.00	
		Over 200 Kva							10.00	
						TOTAL AMOUNT DUE				
		MINIMUM FEE COMMERCIAL 35.00				MINIMUM FEE		25.00		191.20

INSPECTION: Will be ready _____ or will call xxxxxx

CONTRACTORS NAME Eastern Electric (DAVE BRADBURY)
ADDRESS 20 Bedford St Ptld, ME
TELEPHONE 772-6762
MASTER LICENSE No. 11182 **SIGNATURE OF CONTRACTOR**
LIMITED LICENSE No.

ELECTRIC. IL INSTALLATIONS

Permit Number 11182

Location 15.ST Cattle St

Owner Gary Miller Sellers

Date of Permit 4/8/96

Final Inspection 6/20/96

By Inspector [illegible]

INSPECTION: Service _____ by _____

Service called in _____

Closing-in 5/21/96 by [illegible]

PROGRESS INSPECTIONS:

5/21/96 (Rough-in) 1st Fl.

6/4/96 (Work-Thru)

6/12/96 (Work-Thru)

6/20/96 (Final)

DATE:	REMARKS:
5/21/96	SERVICE NEEDS 3/0 Grounding electrode conductor through bonding bushings in main switch 2nd Floor.
6/4/96	Work-Thru ~~[illegible]~~ Told GC CEO From Brain Const., He needs owner to get permits for (security & equip. hook-ups)
6/12/96	Cooler lights, Rooftop ~~[illegible]~~ Gets, E-lights, equip. (not completed)

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Permit No: 960594

Location of Construction: 75 St John St	Owner: WNDK Lmt Liability Co.	Phone:	
Owner Address:	Lessee/Buyer's Name: Cozy Harbor Seafood	Phone:	BusinessName:
Contractor Name: Eastern SEcurity Systems	Address: 685 Congress St Ptld, ME	Phone: 04102 772-1171	
Past Use: Comm/Seafood	Proposed Use: Same	COST OF WORK: $ 500	PERMIT FEE: $ 25.00
		FIRE DEPT. ☑ Approved ☐ Denied Signature:	INSPECTION: Use Group: OOC#93 Type: Signature:
Proposed Project Description: Hook-up Transmitter to Relay		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved ☐ Approved with Conditions: ☐ Denied ☐ Signature: Date:	
Permit Taken By: Mary Gresik	Date Applied For: 21 June 1996		

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED
Permit Issued: JUN 25 1996
CITY OF PORTLAND

Zone: CBL: 070-B-002

Zoning Approval: OK 6/24/96
Special Zone or Reviews:
☐ Shoreland
☐ Wetland
☐ Flood Zone
☐ Subdivision
☐ Site Plan maj ☐ minor ☐ mm ☐

Zoning Appeal
☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Historic Preservation
☑ Not in District or Landmark
☑ Does Not Require Review
☐ Requires Review

Action:
☐ Appoved
☐ Approved with Conditions
☐ Denied

Date: 6/21/96

D. Andrews

CEO DISTRICT 3

A. Simpson

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Ronald Chapman

SIGNATURE OF APPLICANT Ron Jespersen ADDRESS: DATE: 21 June 1996 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White–Permit Desk Green–Assessor's Canary–D.P.W. Pink–Public File Ivory Card–Inspector

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 75 St John St	Owner: Cozy Harbor Seafood	Phone:	Permit No: 960065
Owner Address:	Lessee/Buyer's Name:	Phone:	BusinessName:
Contractor Name: L. W. Grubb Excavating	Address: 94 Ledgewood Dr Falmouth, ME 04105	Phone: 797-0930	Permit Issued: FEB - 5 1996
Past Use: Seafood Processing	Proposed Use: Same	COST OF WORK: $ 7,400.00	PERMIT FEE: $ 55.00
		FIRE DEPT. ☐ Approved ☐ Denied Signature:	INSPECTION: Use Group: B Type: 5B Signature:
Proposed Project Description: Interior Demo & Demo of 20x20 cinderblock addition		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved ☐ Approved with Conditions: ☐ Denied ☐ Signature: Date:	Zone: I-2 CBL: 070-B-002 Zoning Approval: Special Zone or Reviews: ☐ Shoreland ☐ Wetland ☐ Flood Zone ☐ Subdivision ☐ Site Plan maj ☐ minor ☐ mm ☐
Permit Taken By: Mary Grosik	Date Applied For: 01 February 1996		

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Out of 30 YC Applicant to purchase dump tickets at DPW

PERMIT ISSUED WITH REQUIREMENTS

PERMIT ISSUED WITH REQUIREMENTS

Zoning Appeal
☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Historic Preservation
☐ Not in District or Landmark
☐ Does Not Require Review
☐ Requires Review

Action:
☐ Appoved
☐ Approved with Conditions
☐ Denied

Date: 2/1/96

PERMIT ISSUED
FEB - 5 1996
CITY OF PORTLAND

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT Bill Grubb ADDRESS: DATE: 01 February 1996 PHONE: 797-0930

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

CEO DISTRICT 3

A. Simpson

White–Permit Desk Green–Assessor's Canary–D.P.W. Pink–Public File Ivory Card–Inspector

COMMENTS

2.12.96 Demo started. 3-30CY dumpsters (TROIANO) check to verify qty. w/DPW. OK w/DPW.

3.4.96 Rear outbuilding demo'd. debris still on site.
3.11.96 Brown on site - saw cutting slab for future plumbing system.
3/13/96 Grubb completed w/his scope of work.

Inspection Record

Type	Date
Foundation	
Framing:	
Plumbing:	
Final:	
Other:	

BUILDING PERMIT REPORT

DATE: 5/Feb/96 ADDRESS: 75 ST. John ST.

REASON FOR PERMIT: Demo/INT. Non-bearing

BUILDING OWNER: Cozy Harbor Seafood

CONTRACTOR: L.W. Grubb Exc. APPROVED: *16

PERMIT APPLICANT: _____ DENIED: _____

CONDITION OF APPROVAL OR DENIAL

1. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with selfclosers.
5. Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
6. The boiler shall be protected by enclosing with one(1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 sq. feet per sprinkler.
7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as <u>means of egress or rescue</u>, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508 mm), and a minimum net clear opening of 5.7 sq. feet.
8. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, section 19, 919.3.2(BOCA National Building Code/1993), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms
2. In all bedrooms
3. In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993)
11. Guardrail & Handrails-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
12. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024. of the City's building code. (The BOCA National Building Code/1993)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise.
14. Headroom in habitable space is a minimum of 7'6".
15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
17. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
19. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's Office.

P. Samuel Hoffses, Chief of Inspection Services

/el 3/16/95

CITY OF PORTLAND
DIVISION OF INSPECTION SERVICES
DEMOLITION CALL LIST

Site Address: 75 St. John St. Owner: Cozy Harbor Seafoods Inc.

Structure Type: Cement Block Contractor: L.W. Grubb Excavating

UTILITY APPROVALS	NUMBERS	CONTACT NAME AND DATE
Central Maine Power 2:00?	828-1411 X 5000	Calvin Boss 26 Jan 96
Nynex	878-7000	Joe Rayyes 26 Jan 96
Northern Utilities 2:00	797-8002 X 6243	Olivia G. Gorey 26 Jan 96
Portland Water District	761-8310	[illegible] 26 Jan 96
Public Cable Co.	775-2381 X 257	Debbie Gillespie 26 Jan 96
Dig Safe	1-800-225-4977	Dianna C. 26 Jan 96

CITY APPROVALS	NUMBERS	CONTACT NAME AND DATE
DPW/Sewer Division 2:00	874-8300 X 8871	[illegible] 26 Jan 96
DPW/Traffic Division	874-8300 X 8891	Lucie Cote 26 Jan 96
DPW/Forestry Division	874-8300 X 8820	N/A
DPW/Sealed Drain Permit	874-8300 X 8822	Carol Poliskey 26 Jan 96
Building Inspections	874-8300 X 8703	Deborah Andrews 26 Jan 96
Historic Preservation	874-8300 X 8699	N/A
Fire Dispatcher	874-8300 X 8576	Ben Diaz 26 Jan 96

Written Notice to Adjoining Owners

ASBESTOS	NUMBERS	CONTACT NAME AND DATE
U. S. EPA REGION 1	617-565-9055 (Lee Weller)	Lee Weller 31 Jan 96
DEP - Environmental	822-6300	[illegible] 31 Jan 96

I have contacted all of the necessary companies and departments.

Signed: [illegible] Date: 2-1-96

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 75 St John St	Owner: H & R O Ltd Lability Co	Phone:	Permit No: 960189
Owner Address: Tessea:	Lessee/Buyer's Name: Cozy Harbor,	Phone: d	BusinessName:
Contractor Name: Brown Construction Inc	Address: 253 Warren Ave- PTld ME 04103	Phone: 797-6152	
Past Use: wholesale/warehouse	Proposed Use: fish processing	COST OF WORK: $ 359,400	PERMIT FEE: $ 1315
		FIRE DEPT. ☑ Approved ☐ Denied Signature:	INSPECTION: Use Group: 1 Type: 3B BOCA-93 Signature:
Proposed Project Description: change/use with interior/exterior renovations of existing structure		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved ☐ Approved with Conditions: ☐ Denied ☐ Signature: Date:	
Permit Taken By: L Chase	Date Applied For: 3/4/96		

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules. (??site plan for addition??)
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

(dumpster permit : 30 cy - ~~$ 00116~~ - $300)

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

14 March 1996

Edward Tibbetts

SIGNATURE OF APPLICANT | ADDRESS: | DATE: | PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | PHONE:

PERMIT ISSUED
Permit Issued: MAR 2 2 1996
CITY OF PORTLAND

Zone: CBL:
Zoning Approval: Zone to allow fish processing ok w/ the condition
Special Zone or Reviews:
☐ Shoreland 3/19/96
☐ Wetland
☐ Flood Zone
☐ Subdivision
☐ Site Plan maj ☐ minor ☐ mm ☐

Zoning Appeal
☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Historic Preservation
☐ Not in District or Landmark
☑ Does Not Require Review
☐ Requires Review

Action:
☐ Appoved
☐ Approved with Conditions
☐ Denied
Date: 3/4/96

CEO DISTRICT 3

White–Permit Desk Green–Assessor's Canary–D.P.W. Pink–Public File Ivory Card–Inspector

COMMENTS

6/19/96 SEE NOTEBOOK FOR JOB NOTES.

Inspection Record

Type	Date
Foundation:	
Framing:	
Plumbing:	
Final:	
Other:	

Inspection Services
P. Samuel Hoffses
Chief

Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

March 21, 1996

Brown Construction, Inc.
253 Warren Ave
Portland, ME 04103

Re: 75 St John St

Dear Sir,

Your application for a change of use (from wholesale/warehouse to fish processing plant) has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not excuse the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy will be issued until all requirements of this letter are met.

Use Group F1 - Site Plan Review Requirements - Type 2C

Development Review Coordinator - Approved - J. Seymour
Inspection Services - Separate permit required for signage - M. Schmuckal
Fire Department - Approved - LT Mc Dougall
Planning - Revised site plan to indicate use of granite curb along St John/Valley Sts instead of concrete. Sidewalk to be installed along "bullnose" within 36 months of approval (11-14-95). A revised lighting plan shall be submitted before work begins. Conditions in memo from K. Staples (11-14-95) to be included as part of approval.

Building & Fire Code Requirements

Under general notes (pages S-4 of the submitted plans) it states "structural design is based on the Massachusetts State Building Code 5th Edition." The City of Portland uses the 1993 BOCA National Building Code. Also the 1993 BOCA National Mechanical Code. All structural codes and criteria must be reviewed.

1. Again, using these code requirements, all plans and documents must bear the seal of the professional architectural and engineering service.
2. No changes to the approved plans can be made without the approval of the design professional and this office.
3. A list of all contractors with contact person and telephone number must be submitted to this office.
4. This project must have the State Fire Marshal's approval.
5. All soil, concrete, steel, and welding tests must be submitted to this office. NEED REPRESENTATIVE TESTS FROM EACH.
6. Temporary fire protection products shall conform to the requirements of OSHA 1910 and 1926.150.
7. Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained. (a 24 hour notice is required prior to inspection).
8. Precaution must be taken to protect concrete from freezing.
9. Mac A fire protective signaling system shall be installed and maintained in accordance with NFPA #72.
10. Mac The sprinkler system shall be maintained in accordance with NFPA #13.
11. Guards & Handrails - A guardrail system is of building components located near the open side of an elevated walking surface for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R, which is 36". In occupancies in Use Groups A,B,H-4,I-1,I-2,M,R, public garages and open parking structures, open guards shall have balusters or be on solid materials such that a sphere with a diameter of 4# cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be constructed as per Chapter 10 Section 1022 of the City's Building Code.
12. Mac All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Sections and Subsections 1023 & 1024 of the City's building Code.
13. " All required fire alarm systems shall have the capability of "Zone Disconnect" via switches or key pad program provided the method is approved by the Fire Department.
14. " All remote annunciators shall have a visible "trouble" indicator along with the fire alarm "zone" indicators.
15. " All Master Box connected to the Municipal Fire Alarm System shall have a supervised Municipal Disconnect Switch.
16. " All Master Box locations are required to have a locked box (knoxbox).
17. Mac A fire alarm acceptance report shall be submitted to the Portland Fire Department.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

cc: J. Seymour, Acting Development Review Coordinator
M. Schmuckal, Asst. Chief of Inspection Services
LT Mc Dougall, Fie Prevention Bureau

CITY OF PORTLAND, MAINE

PLANNING BOARD

November 15, 1995

John Norton
Cozy Harbor Seafood
P.O. Box 389
Portland, ME 04112

RE: 75 St. John Street

Dear Mr. Norton:

On November 14, 1995, the Portland Planning Board voted unanimously (6-0; DeCourcey absent) to deny your request for a waiver of the installation of sidewalk and the resetting of curb around the bullnose between St. John and Valley streets.

The Board also voted (5-1; Williams opposed; DeCourcey absent) to approve the site plan for the renovation of and addition to 75 St. John Street. The approval was granted for the project with the following conditions:

i. That the applicant revise the site plan to indicate the installation of granite curbing along St. John Street and Valley Streets instead of concrete curbing.

ii. That a sidewalk be installed and existing curb be reset around the "bullnose" within 36 months of site plan approval.

iii. That the applicant submit a revised lighting plan showing "cut-off" lighting fixtures on the building and in the parking area prior to issuance of a building permit.

iv. That the conditions included in a memo from the City Engineer dated November 14, 1995 be included as part of the approval.

The approval is based on the submitted site plan and the findings related to the site plan review standards as contained in Planning Report #57 -95, which is attached.

Please note the following provisions and requirements for all site plan approval:

1. A performance guarantee covering the site improvements as well as an inspection fee payment of 1.7% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.

3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Works, representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.

5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Poliskey at 874-8300, ext. 8828. (only excavators licensed by the City of Portland are eligible.)

If there are any questions, please contact the Planning Staff.

Sincerely,

Kenneth M. Cole III, Chair
Portland Planning Board

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
Sarah Hopkins, Senior Planner
P. Samuel Hoffses, Chief of Building Inspections
Marge Schmuckal, Zoning Administrator
George Flaherty, Director of Environmental/Intergovernmental Services
Kathi Staples PE, City Engineer
James Seymour, Acting Development Review Coordinator
Mary Conroy, Principal Traffic Engineer
Jeff Tarling, City Arborist
Natalie Burns, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Mary Gresik, Building Permit Secretary
Kathleen Brown, Assistant Director of Economic Development
Approval Letter File

John Norton Cozy Harbor
Al Palmer DeLuca Hoffman

CITY OF PORTLAND, MAINE
DEPARTMENT OF PUBLIC WORKS
OPERATIONS/ENGINEERING - INSPECTIONS
MEMORANDUM

TO: Sarah Hopkins, Sr. Planner
FROM: Katherine A. Staples, City Engineer KS
DATE: 14 November 1995
SUBJECT: Cozy Harbor Seafood Site Plan Application

2-11 ok
1, 12 ok waive needed

Public Works Engineering staff has reviewed the application package received 10/24/95. The following comments summarize our findings to date based on those plans.

1. Public Works requires that applicant install sidewalk with access ramps around entire perimeter of site, and reset curb between Valley & St. John Streets. (NOTE: All broken curb shall be replaced). In addition, an existing catch basin close to St. John Street shall be rehabilitated.

2. Only granite curb shall be installed in Public R.O.W.; plans shall be revised to eliminate concrete curb as shown in Detail B-4.

3. All connections to storm drain and sewer mains must be permitted and approved by Public Works. Contact Street Openings Clerk for permit requirements.

4. St. John Street is as classified "moratorium" street until September 1996. All proposed excavations & repair methods must be first approved by Deputy Director of Public Works.

5. Plans indicate that existing sewer lateral will be plugged 10' from building. Note that a "sealed drain" permit must be obtained from Public Works, and that the lateral shall be sealed at the main.

6. Curb installation detail shall be revised to indicate "industrial street" pavement requirements (4 inch total thickness) as a minimum, and aggregate base Type "A".

7. All pavement repairs shall match existing thicknesses, or meet the City's industrial street requirements, whichever is most stringent.

8. Sidewalk ramp detail shall be revised to show that A.D.A. requirements will be met. Six (6) foot (minimum) tipdowns shall be installed, and the proposed material shall be confirmed.

9. Existing property markers and street line monuments shall be properly protected and shall not be disturbed. If disturbed, they shall be replaced by a licensed surveyor.

10. Typical trench section shall be revised to meet current city specifications. Backfill material, pipe bedding, and pavement thicknesses as depicted on Sheet 5 are insufficient.

11. Manhole detail shall be revised to meet or exceed City specifications. Aluminum steps shall not be allowed, precast sections shall be sealed appropriately, and 3 to 8 courses of brick shall be utilized to bring frame to grade. (Include detail on manhole frame and cover as depicted in City specifications)

12. Catch basin detail shall be revised to depict headstone installation per City specifications.

KAS:jw

pc: Nadeen M. Daniels, Assistant City Manager/Director of Public Works
William J. Bray, P.E., Deputy Director
Bruce A. Bell, Operations Manager
Joseph Gray, Director of Planning & Urban Development

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

I. D. Number

Address: 75 St John St

Applicant: Cozy Harbor Seafood, Inc.
Applicant's Mailing Address: P.O. Box 389 Portland, ME 04112
Consultant/Agent: DeLuca-Hoffman Assoc
Applicant or Agent Daytime Telephone, Fax: AT - 775-2121 Fax: 879-0896

Application Date: 24 October 1995
Project Name/Description: 75 St John St
Address of Proposed Site: 070-B-001/2/5/6/7
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ___ New Building ___x___ Building Addition ___ Change of Use ___ Residential ___ Office ___ Retail ___ Manufacturing ___ Warehouse/Distribution ___ Other (specify) _____

Proposed Building Square Feet or # of Units: 34,590 sq ft
Acreage of Site: 1.17 Acres
Zoning: Contract Zone Approval for fitness/spa

Check Review Required:

- [x] Site Plan (major/minor)
- [ ] Subdivision # of lots _____
- [ ] PAD Review
- [ ] 14-403 Streets Review
- [ ] Flood Hazard
- [ ] Shoreland
- [ ] Historic Preservation
- [ ] DEP Local Certification
- [ ] Zoning Conditional Use (ZBA/PB)
- [ ] Zoning Variance
- [ ] Single-Family Minor
- [ ] Other _____

Fees paid: site plan 300.00 subdivision _____

Approval Status:

Reviewer James R. Seymour

- [✓] Approved
- [ ] Approved w/Conditions listed below
- [ ] Denied

1.
2.
3.
4.

Approval Date ~~3/11/96~~ 11/14/95 Approval Expiration ~~3/11/97~~ date 11/14/96 Extension to _____ date

- [ ] Additional Sheets Attached

- [✓] Condition Compliance James R. Seymour signature 3/14/96 date

Performance Guarantee

- [✓] Required*
- [ ] Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- [✓] Performance Guarantee Accepted 3/11/96 date $28290.00 amount 10/30/96 expiration date
- [✓] Inspection Fee Paid 3/13/96 date $ 841.00 amount

Performance Guarantee Reduced _____ date _____ remaining balance _____ signature

Performance Guarantee Released _____ date _____ signature

Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date

Defect Guarantee Released _____ date _____ signature

Pink - Building Inspections Blue - Development Review Coordinator Green - Fire Yellow - Planning

2/9/95 Revd KR DPUD

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

I. D. Number

Address: 75 St John St

Cozy Harbor Seafood, Inc.
Applicant

24 October 1995
Application Date

P.O. Box 389 Portland, ME 04112
Applicants Mailing Address

Project Name/Description

DeLuca-Hoffman Assoc
Consultant/Agent

75 St John St
Address of Proposed Site

AL - 775-1121 Fax: 879-0896
Applicant or Agent Daytime Telephone, Fax

070-B-001/2/5/6/7
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ___ New Building _X_ Building Addition ___ Change of Use ___ Residential ___ Office ___ Retail ___ Manufacturing ___ Warehouse/Distribution ___ Other (specify) _____

34,590 sq ft
Proposed Building Square Feet or # of Units

1.17 Acres
Acreage of Site

Contract Zone
Zoning
Approval for fish/seafood processing

Check Review Required:

- [X] Site Plan (major/minor)
- [ ] Subdivision # of lots _____
- [ ] PAD Review
- [ ] 14-403 Streets Review
- [ ] Flood Hazard
- [ ] Shoreland
- [ ] Historic Preservation
- [ ] DEP Local Certification
- [ ] Zoning Conditional Use (ZBA/PB)
- [ ] Zoning Variance
- [ ] Single-Family Minor
- [ ] Other _____

Fees paid: site plan 300.00 subdivision _____

Approval Status: Reviewer Marge Schmuckal

- [ ] Approved
- [✓] Approved w/Conditions listed below
- [ ] Denied

1. Separate permit required for signage
2.
3.
4.

Approval Date 3/19/96 Approval Expiration _____ date Extension to _____ date [ ] Additional Sheets Attached

[ ] Condition Compliance _____ signature _____ date

Performance Guarantee [ ] Required* [ ] Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

[ ] Performance Guarantee Accepted _____ date _____ amount _____ expiration date

[ ] Inspection Fee Paid _____ date _____ amount

Performance Guarantee Reduced _____ date _____ remaining balance _____ signature

Performance Guarantee Released _____ date _____ signature

Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date

Defect Guarantee Released _____ date _____ signature

Pink - Building Inspections Blue - Development Review Coordinator Green - Fire Yellow - Planning 2/9/95 Rev5 KT DRUD

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

I. D. Number

Address: 75 St John St

Cozy Harbor Seafood, Inc.
Applicant

P.O. Box 389 Portland, ME 04112
Applicant's Mailing Address

24 October 1995
Application Date

Project Name/Description

DeLuca-Hoffman Assoc
Consultant/Agent

AL - 775-2121 Fax: 879-0896
Applicant or Agent Daytime Telephone, Fax

75 St John St
Address of Proposed Site

070-B-001/2/5/6/7
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ___ New Building x Building Addition ___ Change of Use ___ Residential ___ Office ___ Retail ___ Manufacturing ___ Warehouse/Distribution ___ Other (specify) _____

34,590 sq ft
Proposed Building Square Feet or # of Units

1.17 Acres
Acreage of Site

Contract Zone
Zoning
Approval for fish/seafood processing

Check Review Required:

- [x] Site Plan (major/minor)
- [ ] Subdivision # of lots _____
- [ ] PAD Review
- [ ] 14-403 Streets Review
- [ ] Flood Hazard
- [ ] Shoreland
- [ ] Historic Preservation
- [ ] DEP Local Certification
- [ ] Zoning Conditional Use (ZBA/PB)
- [ ] Zoning Variance
- [ ] Single-Family Minor
- [ ] Other _____

Fees paid: site plan 300.00 subdivision _____

Approval Status: Reviewer _____

- [ ] Approved
- [ ] Approved w/Conditions listed below
- [ ] Denied

1. _____
2. _____
3. _____
4. _____

Approval Date 10/27/95 Approval Expiration _____ (date) Extension to _____ (date) [ ] Additional Sheets Attached

[ ] Condition Compliance _____ (signature) _____ (date)

Performance Guarantee [ ] Required* [ ] Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

[ ] Performance Guarantee Accepted _____ (date) _____ (amount) _____ (expiration date)

[ ] Inspection Fee Paid _____ (date) _____ (amount)

Performance Guarantee Reduced _____ (date) _____ (remaining balance) _____ (signature)

Performance Guarantee Released _____ (date) _____ (signature)

Defect Guarantee Submitted _____ (submitted date) _____ (amount) _____ (expiration date)

Defect Guarantee Released _____ (date) _____ (signature)

Pink - Building Inspections Blue - Development Review Coordinator Green - Fire Yellow - Planning 2/9/95 Rev5 KT.DPUD

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

I. D. Number

Address: 75 St John St

Applicant: Cozy Harbor Seafood, Inc.
P.O. Box 300 Portland, ME 04112

Application Date: 24 October 1995

Applicant's Mailing Address: DeLuca-Hoffman Assoc

Project Name/Description: 75 St John St

Consultant/Agent: 207-772-2121 Fax: 879-0896

Address of Proposed Site: 070-B-001/2/5/6/7

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ___ New Building X Building Addition ___ Change of Use ___ Residential ___ Office ___ Retail ___ Manufacturing ___ Warehouse/Distribution ___ Other (specify) ___

Proposed Building Square Feet or # of Units: 34,580 sq ft

Acreage of Site: 1.17 Acres

Zoning: Contract Zone Approval for fish/seafood processing

Check Review Required:

- [X] Site Plan (major/minor)
- [ ] Subdivision # of lots ___
- [ ] PAD Review
- [ ] 14-403 Streets Review
- [ ] Flood Hazard
- [ ] Shoreland
- [ ] Historic Preservation
- [ ] DEP Local Certification
- [ ] Zoning Conditional Use (ZBA/PB)
- [ ] Zoning Variance
- [ ] Single-Family Minor
- [ ] Other ___

Fees paid: site plan 300.00 subdivision ___

Approval Status: Reviewer: Sarah Hopkins

- [ ] Approved
- [X] Approved w/Conditions listed below
- [ ] Denied

1. ~~Install sty granite curb along total frontage~~ revise site plan to indicate use of granite curb along St John/Valley Sts instead of concrete
2. Sidewalk be installed along "bullnose" w/i 36 mos of approval (11.14.98)
3. that a revised lighting plan be submitted prior to issuance of a building permit
4. conditions in memo from K. Staples (11/14/95) be included as part of approval.

Approval Date 11/14/95 Approval Expiration ___ (date) Extension to ___ (date)

[X] Additional Sheets Attached
1) approval letter
2) letter from K. Staples

[ ] Condition Compliance ___ (signature) ___ (date)

Performance Guarantee [ ] Required* [ ] Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- [ ] Performance Guarantee Accepted ___ (date) ___ (amount) ___ (expiration date)
- [ ] Inspection Fee Paid ___ (date) ___ (amount)
- Performance Guarantee Reduced ___ (date) ___ (remaining balance) ___ (signature)
- Performance Guarantee Released ___ (date) ___ (signature)
- Defect Guarantee Submitted ___ (submitted date) ___ (amount) ___ (expiration date)
- Defect Guarantee Released ___ (date) ___ (signature)

Pink - Building Inspections Blue - Development Review Coordinator Green - Fire Yellow - Planning

Applicant:

Address:

Assessor's No.:

Date: 3/19/96

CHECK LIST AGAINST ZONING ORDINANCE

Date - Existing

Zone Location - contract zone approved for fish/seafood processing

Interior or corner lot -

Use - Seafood processing

Sewage Disposal - city

Rear Yards -
Side Yards - } existing
Front Yards -

Projections -

Height -

Lot Area - 50,802 # shown

Building Area -

Area per Family -

Width of Lot -

Lot Frontage -

Off-street Parking - - office 1200 # @ 1/400 # = 3 spc
mfg 33,790 # @ 1/1000 # = 34 spc
37 req - 38 spc shown

Loading Bays - 1 req. - 3 shown

Site Plan - Major

Shoreland Zoning - N/A

Flood Plains - N/A

Separate permit needed for signage

LAURI A. MONDENE
Supervisory Consumer Safety Officer
Seafood Inspection Office

USDC, NOAA, National Marine Fisheries Service
Marina Trade Center - Suite 104
2 Portland Fish Pier (207) 773-4090
Portland, ME 04101 FAX (207) 772-7264

6/13/96

Amy

Cozy Harbour

No C of O until the fire alarm system is monitored.

Mec

Ben. not tying up anything

Sam

DEPARTMENT OF PUBLIC WORKS
REPORT OF UNSTICKERED DUMPSTERS

HAULER NAME: TROIANO WASTE

DUMPSTER LOCATION: ST.JOHN ST.

ON SITE NO PERMIT

DUMPSTER SIZE: 30 YD Cu. Yds.

DATE DISCOVERED: 4-22-96 TIME DISCOVERED: 10 15

Jim Bradley 4-24-96
SIGNATURE DATE

STATE OF MAINE
OFFICE OF STATE FIRE MARSHAL
18 MEADOW ROAD
52 STATE HOUSE STATION
AUGUSTA, MAINE
04333-0052

ANGUS S. KING, JR.
GOVERNOR

LADD G. ALCOTT
FIRE MARSHAL(ACTING)

April 22, 1996

Mr. John Norton
P.O. Box 330
Portland, ME 0412

RE: Cozy Harbor

Dear Mr. Norton:

This is to inform you that your plans for the above-named project have been approved by this department.

Approval of these plans is granted after examination under the requirements of the State of Maine Life Safety Code without regard to adequacy of design or workmanship. The completed structure is subject to periodic inspections for operational use. No approval of Codes not within the jurisdiction of this department is implied or intended.

Yours for better fire protection,

Robert D. Beane
Fire Protection Specialist

RDB/psn

PHONE: (207)287-3473 (Voice)

Cory Harbor

Section 35. Direct Buried Cable

350. General

A. Section 33 shall apply to direct buried supply cable.

B. Cables operating above 600 V to ground shall have a continuous metallic shield, sheath, or concentric neutral which is effectively grounded.

EXCEPTION: At a splice or joint, the current path of the metallic shield, sheath, or neutral shall be made continuous but need not be concentric.

C. Cables of the same circuit operating below 600 V to ground and without an effectively grounded shield or sheath shall be placed in close proximity (no intentional separation) to each other.

D. Communications cables containing special circuits supplying power solely to communications equipment shall comply with the requirements of Rules 344A1 through 344A5.

E. Bonding should be provided between all above ground metallic power and communications apparatus (pedestals, terminals, apparatus cases, transformer cases, etc) that are separated by a distance of 6 ft (1.80 m) or less.

351. Location and Routing

A. General

1. Cables should be located so as to be subject to the least disturbance practical. Cables to be installed parallel to other subsurface structures should not be located directly over or under other subsurface structure, but if this is not practical, the rules on separations in Rule 352 should be followed.
2. Cables should be installed in as straight and direct a line as practical. Where bends are required, the bending radius shall be sufficiently large to prevent damage to the cable being installed.
3. Cable systems should be routed so as to allow safe access for construction, inspection, and maintenance.
4. The location of structures in the path of the projected cable route shall, as far as practical, be determined prior to trenching, plowing, or boring operation.

B. Natural Hazards

Routes through unstable soil such as mud, shifting soils, corrosive soils, or other natural hazards, should be avoided. If burying is required through areas with natural hazards, the cables shall be constructed and installed in such a manner

as to protect them from damage. Such protective measures should be compatible with other installations in the area.

C. Other Conditions

1. Swimming Pools

Supply cable should not be installed within 5 ft (1.50 m) of a swimming pool or its auxiliary equipment. If 5 ft (1.50 m) is not attainable, supplemental mechanical protection shall be provided.

2. Buildings and Other Structures

Cable should not be installed directly under building or storage tank foundations. Where a cable must be installed under such a structure, the structure shall be suitably supported to prevent transfer of a harmful load onto the cable.

3. Railroad Tracks

a. The installation of cable longitudinally under the ballast section for railroad tracks should be avoided. Where cable must be installed longitudinally under the ballast section of a railroad, it should be located at a depth of not less than 50 in (1.27 m) below the top of the rail.

EXCEPTION: Where this is impractical, or for other reasons, this clearance may be reduced by agreement between the parties concerned.

NOTE: Where unusual conditions exist or where proposed construction would interfere with existing installations, a greater depth than specified above would be required.

b. Where a cable crosses under railroad tracks, the same clearances indicated in Rule 320A5 shall apply.

4. Highways and Streets

The installation of cable longitudinally under traveled surfaces of highways and streets should be avoided. When cable must be installed longitudinally under the roadway, it should be installed in the shoulder or, if this is not practical, within the limits of one lane of traffic to the extent practical.

5. Submarine Crossings

Submarine crossings should be routed, installed, or both, so they will be protected from erosion by tidal action or currents. They should not be located where ships normally anchor.

352. Separations from Other Underground Structures

(sewers, water lines, fuel lines, building foundations,

steam lines, other supply or communication conductors not in random separation, etc)

A. Horizontal Separation

The horizontal separation between direct buried cable and other underground structures should be not less than 12 in (300 mm) to permit access to and maintenance of either facility without damage to the other. Installations with less than 12 in (300 mm) horizontal separation shall conform with requirements of Rule 352C, Rule 354, or both.

B. Crossings

1. Where a cable crosses under another underground structure, the structure shall be suitably supported to prevent transfer of a harmful load onto the cable system.
2. Where a cable crosses over another underground structure, the cable shall be suitably supported to prevent transfer of a harmful load onto the structure.
3. Adequate support may be provided by installing the facilities with sufficient vertical separation.
4. Adequate vertical separation shall be maintained to permit access to and maintenance of either facility without damage to the other. A vertical separation of 12 in (300 mm) is, in general, considered adequate but the parties involved may agree to a lesser separation.

C. Parallel Facilities

If conditions require a cable system to be installed with less than 12 in (300 mm) horizontal separation or directly over and parallel to another underground structure (or another underground structure installed directly over and parallel to a cable), it may be done providing all parties are in agreement as to the method. Adequate vertical separation shall be maintained to permit access to and maintenance of either facility without damage to the other.

D. Thermal Protection

Cable should be installed with sufficient separation from other underground structures, such as steam or cryogenic lines, to avoid thermal damage to the cable. Where it is not practical to provide adequate clearance, a suitable thermal barrier shall be placed between the two facilities.

353. Installation

A. Trenching

The bottom of the trench receiving direct buried cable should be relatively smooth undisturbed earth, well tamped earth, or sand. When excavation is in rock or rocky soils, the cable

should be laid on a protective layer of well tamped backfill. Backfill within 4 in (100 mm) of the cable should be free of materials that may damage the cable. Backfill should be adequately compacted. Machine compaction should not be used within 6 in (150 mm) of the cable.

B. Plowing

1. Plowing in of cable in soil containing rock or other solid material should be done in such a manner that the solid material will not damage the cable, either during the plowing operation or afterward.
2. The design of cable plowing equipment and the plowing-in operation should be such that the cable will not be damaged by bending, side-wall pressure, or excessive cable tension.

C. Boring

Where a cable system is to be installed by boring and the soil and surface loading conditions are such that solid material in the region may damage the cable, the cable shall be adequately protected.

D. Depth of Burial

1. The distance between the top of a cable and the surface under which it is installed (depth of burial) shall be sufficient to protect the cable from damage imposed by expected surface usage.
2. Burial depths as indicated in 353D2a are considered adequate, except as noted in b, c, or d following:
   a. Supply cables or conductors
   b. In areas where frost conditions could damage cables, greater burial depths than indicated above may be desirable.
   c. Lesser depths than indicated above may be used where supplemental protection is provided. The supplemental protection should be sufficient to protect the cable from damage imposed by expected surface usage.
   d. Where the surface is not to final grade, under which a cable is to be installed, the cable should be placed so as to meet or exceed the requirements indicated above, both at the time of installation and subsequent thereto.

CONTROLLED ENVIRONMENT STRUCTURES, INC.
137 High Street
MANSFIELD, MASSACHUSETTS 02048

(508) 339-4237

LETTER OF TRANSMITTAL

DATE: APRIL 18, 1996 | JOB NO:
ATTENTION: SAM HOFFSES
RE: COZY HARBOR COOLER/FREEZER ENCLOSURE

TO: PORTLAND CITY HALL
389 CONGRESS ST ROOM 315
PORTLAND ME 04101

207-874-8300

WE ARE SENDING YOU [X] Attached [ ] Under separate cover via _____ the following items:

[X] Shop drawings [ ] Prints [ ] Plans [ ] Samples [ ] Specifications
[ ] Copy of letter [ ] Change order [ ] _____

COPIES	DATE	NO	DESCRIPTION
2	4/11/96	A1	COOLER/FREEZER PLAN, SECTIONS AND DETAILS

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
APR 22 1996

THESE ARE TRANSMITTED as checked below:

[X] For approval [ ] Approved as submitted [ ] Resubmit _____ copies for approval
[ ] For your use [ ] Approved as noted [ ] Submit _____ copies for distribution
[ ] As requested [ ] Returned for corrections [ ] Return _____ corrected prints
[ ] For review and comment [ ] _____
[ ] FOR BIDS DUE _____ 19 _____ [ ] PRINTS RETURNED AFTER LOAN TO US

REMARKS SAM
ENCLOSED PLEASE FIND THE DRAWINGS RELATING TO THE COOLER/FREEZER ENCLOSURE FOR THE COZY HARBOR PROJECT FOR YOUR APPROVAL. I PLAN TO REVIEW THESE DRAWINGS AND ANY OTHER INFORMATION RELATING TO THE ENCLOSURE WITH LT. McDOUGALL ON MONDAY APRIL 22, 1996. AT THIS TIME I WOULD LIKE TO STOP BY YOUR OFFICE AND PICK UP ONE OF MY DRAWINGS APPROVED BY YOU, IF POSSIBLE. THANK YOU AND I I LOOK FORWARD IN MEETING YOU MONDAY

COPY TO _____

SIGNED: Edward B. Morrison

If enclosures are not as noted, kindly notify us at once.

Planning & Urban Development

Joseph E. Gray Jr.
Director

CITY OF PORTLAND

February 28, 1996

John Norton
Cozy Harbor
P.O. Box 389
Portland, ME 04112

RE: Cozy Harbor Revisions

Dear Mr. Norton:

This letter is to confirm the revision to the approved site plan of the Cozy Harbor project located on St. John Street. The approved revision includes relocation of catchbasin #1, pavement treatment, and relocation of entries. The revised plan has been reviewed and approved by the project review staff including representatives of the Planning, Public Works, Building Inspections, Fire and Parks Departments.

If you have any questions regarding the revision please contact the planning staff at 874-8300, extension 8720.

Sincerely,

Joseph E. Gray, Jr.
Director of Planning and Urban Development

cc: Alexander Jaegerman, Chief Planner
Sarah Hopkins, Senior Planner
P. Samuel Hoffses, Chief of Building Inspections
Jeff Tarling, City Arborist
Lt. Gaylen McDougall, Fire Prevention
Natalie Burns, Associate Corporation Counsel
✓Mary Gresik, Building Permit Secretary
James Seymour, Acting Development Review Coordinator
Kathleen Brown, Assistant Director of Economic Development
Approval Letter File

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 75 St John St	Owner: Cozy Harbor Seafood, Inc.	Phone:	Permit No:
Owner Address:	Lessee/Buyer's Name:	Phone: / BusinessName:	
Contractor Name:	Address:	Phone:	Permit Issued:
Past Use: Seafood Processing	Proposed Use: Same	COST OF WORK: $ / PERMIT FEE: $	
		FIRE DEPT. ☐ Approved ☐ Denied / Signature:	INSPECTION: Use Group: Type: / Signature:
Proposed Project Description: Construct Addition (34,590 sq ft)		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.) Action: Approved ☐ Approved with Conditions: ☐ Denied ☐ / Signature: Date:	Zone: / CBL: 070-B-001
Permit Taken By: Mary Gresik	Date Applied For: 24 Oct 95 - Site Plan		Zoning Approval: Special Zone or Reviews: ☐ Shoreland ☐ Wetland ☐ Flood Zone ☐ Subdivision ☐ Site Plan maj ☐ minor ☐ mm ☐

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Zoning Appeal
☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Historic Preservation
☐ Not In District or Landmark
☐ Does Not Require Review
☐ Requires Review

Action:
☐ Appoved
☐ Approved with Conditions
☐ Denied

Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Douglas E. Reynolds	778 MAIN ST S.P.	24 Oct 95	775-1121
SIGNATURE OF APPLICANT Doug Reynolds	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

CEO DISTRICT

White–Permit Desk Green–Assessor's Canary–D.P.W. Pink–Public File Ivory Card–Inspector

Mac-
Corp
Harbor

Cortega™ Mini Boxed™ and Fire Guard Lay-In Ceilings

ARCHITECTURAL CEILINGS FROM ARMSTRONG

- Economical lay-in panels
- Good acoustical performance
- Variety of sizes available

PHYSICAL DATA

MATERIAL:	Wet-formed mineral fiber
SURFACE FINISH:	Factory-applied vinyl latex paint. Some designs available with scrubbable vinyl-plastic coating.
COLOR:	White
LIGHT REFLECTANCE:	Minimum LR 0 80**
SIZE:	770 – 24" x 24" x 5/8", 769 – 24" x 48" x 5/8" 770M – 600 x 600 x 15mm, 769AM – 600 x 1200 x 15mm 772 – 24" x 60" x 5/8", 773 – 20" x 60" x 5/8" 761 – 24" x 48" x 5/8" (plastic coating), 747 – 24" x 48" x 5/8" 780 – 30" x 60" x 3/4", Fire Guard 823 – 24" x 48" x 5/8", 824 – 24" x 24" x 5/8" Fire Guard 823M – 600 x 1200 x 15mm, 824AM – 600 x 600 x 15mm
WEIGHT:	0.60 lbs/SF, 747 0.35 lbs/SF, Fire Guard 1.00 lbs/SF
EDGE DETAIL:	Square-cut lay-in
RECOMMENDED ARMSTRONG SUSPENSION SYSTEM:	Prelude® 15/16" Exposed Tee or Prelude Fire Guard 15/16" Exposed Tee grid
NRC:	0 55, 0.60 Fire Guard and item 747**
CAC:	Minimum 35 (Minimum 40 available), item 747 minimum 40**
SURFACE BURNING CHARACTERISTICS:	Class A (Flame Spread 25 or under)** UL Labeled
FIRE RESISTANCE RATING:	Cortega Fire Guard is a fire resistive ceiling when used in applicable UL fire resistive designs.
INSULATION VALUE:	Average R Factor (at 75° F) is 1.5.
ASTM E 1264 CLASSIFICATION:	Type III, Form 2, Pattern CD.

**Indicates rating is expressed according to ASTM E 1264 requirements.

SUBMITTAL INFORMATION:
Use this sample for Items 769, 770, 772, 773, 761, 747, 780, 823 and 824.
Call for more information: 1 800 448-1405.

Armstrong

SA-1717 395J Printed in United States of America. Sold by Armstrong World Industries, Inc., Lancaster, PA 17604

Not. says
non-combustible
but I don't see
it on here.
?