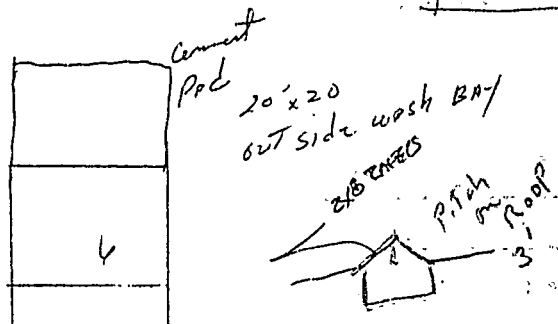


317-327 ST. JOHN STREET

ExTy Lot

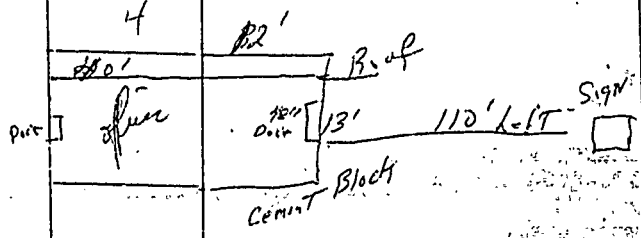
Hoods
Garage



4

5

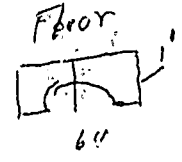
4



3

Boj 2

Boj 1



Valley St

St Johns St

Dunkin
Donuts

RECEIVED
 SEP 30 1980
 DEPT. OF BLDG. INSP
 CITY OF PORTLAND



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 00 848

OCT 9 1980

ZONING LOCATION PORTLAND, MAINE, Sept. 30, 1980

CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 327 St. John Street
1. Owner's name and address Thomas Chase - Acton, Maine.. Telephone
2. Lessee's name and address
3. Contractor's name and address George Larrabee - 14 Wainwright Circle East So. Port Telephone B. 772-6408
4. Architect
Proposed use of building car wash with addition Specifications Plans No. of sheets 04106
Last use car wash No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated construction cost \$ 4,000. Fee \$ 19.00

FIELD INSPECTOR - Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling Ext. 234
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other

To construct 12' x 13' cement block addition to car wash, also to make one section of roof from flat to pitch as per plans. 1 sheet of plans. Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated... number commercial cars to be accommodated...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

BUILDING INSPECTION - PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant [Signature] Phone # same
Type Name of above George Larrabee

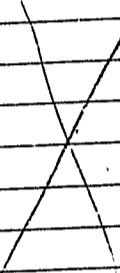
FIELD INSPECTOR'S COPY

Other and Address

NOTES

10-23-80 Work started - No one on
job working - All back filled - concrete
blocks put up - No roof yet -
11-4-80 Roof on - is completed -

Permit No. 80 / 848
Location 327
Owner *[Signature]*
D t. of permit 9-30-80
Approved 9-21-80
Addition to SA WORK
concrete block



PERMIT TO INSTALL PLUMBING

PERMIT NUMBER **1809**

Date Issued **1-17-79**
 Portland Plumbing Inspector
 By **ERNOLD R. GOODWIN**

Address **327 St. John Street**
 Installation For **commercial donut shop**
 Owner of Bldg **Joseph Bissonnette**
 Owner's Address **Yarmouth**
 Plumber **Paul Blaisdell-Scarboro** Date: **1-17-79**

App. First Insp.

Date By
 App. Final Insp.

Date By

Type of Bldg.

- Commercial
- Residential
- Single
- Multi Family
- New Construction
- Remodeling

NEW	REPL		NO.	FEES
	xx	SINKS	1	2.00
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		TRAINS FLOOR SURFACE		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
		HOUSE SEWERS base fee		3.00
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
TOTAL				5.00

Building and Inspection Services Dept.; Plumbing Inspection

Date Issued **8/8/67**
 Portland Plumbing Inspector
 By **ERNOLD R. GOODWIN**

App. First Insp.
AUG 8 - 1967
 By **ERNOLD R. GOODWIN**

App. Final Insp.
AUG 9 - 1967
 By **ERNOLD R. GOODWIN**

- CHIEF PLUMBING INSPECTOR
 Type of Bldg.
- Commercial
 - Residential
 - Single
 - Multi Family
 - New Construction
 - Remodeling

PERMIT TO INSTALL PLUMBING

Address **327 St. John Street** PERMIT NUMBER **7378**
 Installation For: **Restaurant**
 Owner of Bldg.: **Franklin Derrin**
 Owner's Address: **327 St. John Street**
 Plumber: **George B. Frederick** Date: **8/8/67**

NEW	REPL.		NO.	FEE
2		SINKS		
2		LAVATORIES	2	4.00
2		TOILETS	2	4.00
		BATH TUBS	2	2.50
		SHOWERS		
1		DRAINS FLOOR SURFACE	1	.60
1		HOT WATER TANKS	1	.60
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		WATER TANKS		
		HOT SEWERS		
		ROOF LEADERS		
		AUTOMATIC WASHERS		
1		DISHWASHERS	1	.60
1		OTHER (SPECIAL WASTE)	1	.60
1		URINAL	1	.60
TOTAL				13.60

Building and Inspection Services Dept.; Plumbing Inspection

MEMORANDUM F. M. DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

June 18, 1971

Location: 327 S. John St.

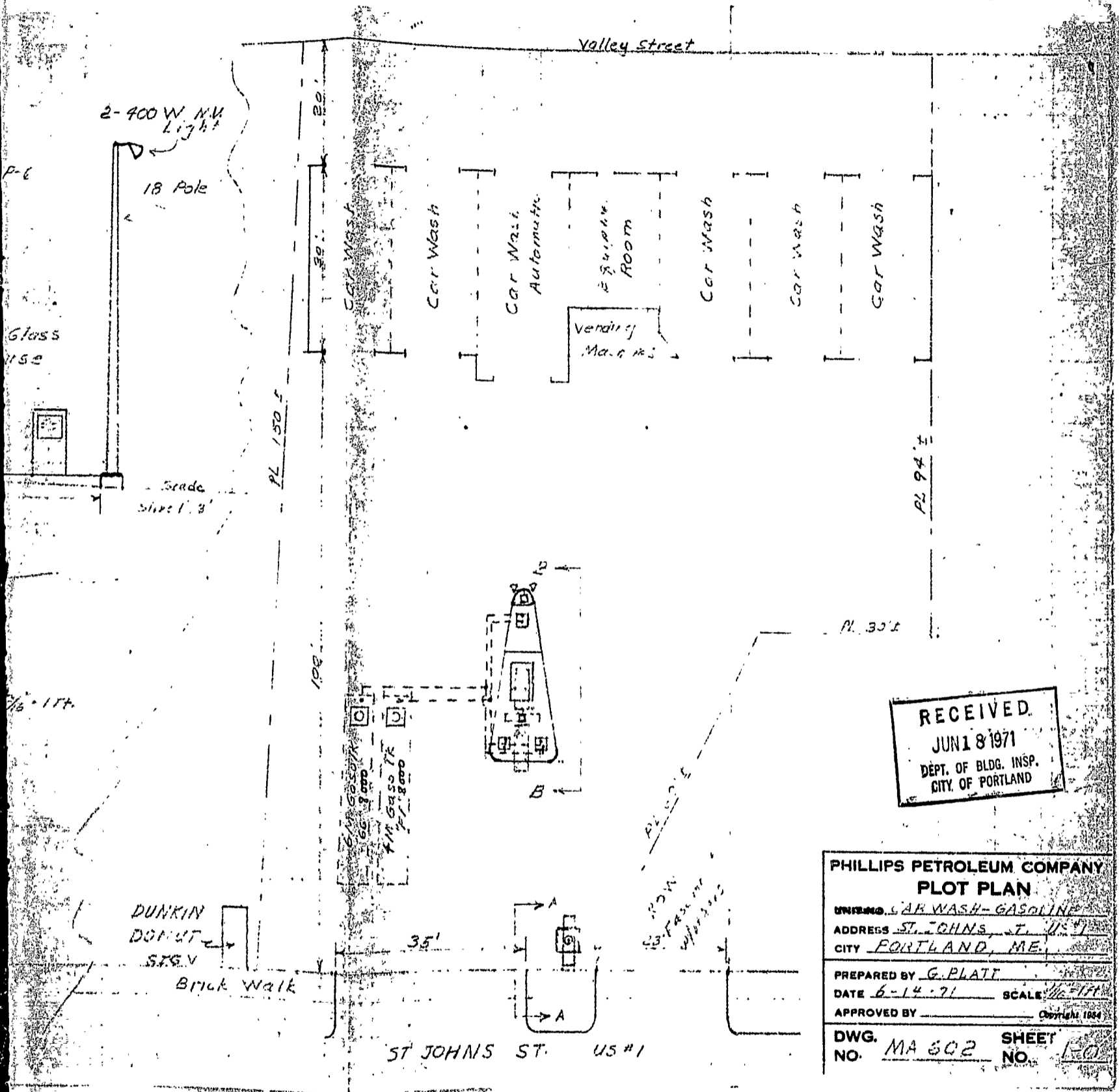
Before tanks and piping are covered from view, installer is required to notify the Fire Dept. Headquarters of readiness for inspection and to refrain from covering up until approved by the Fire Dept. Headquarters

(2)
These tanks of 8000 gallons capacity are required to be of steel or wrought iron no less in thickness than # 3 gauge; and before installation are required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and special protection wherein corrosive soil such as cinders or the like.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

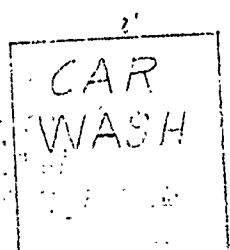
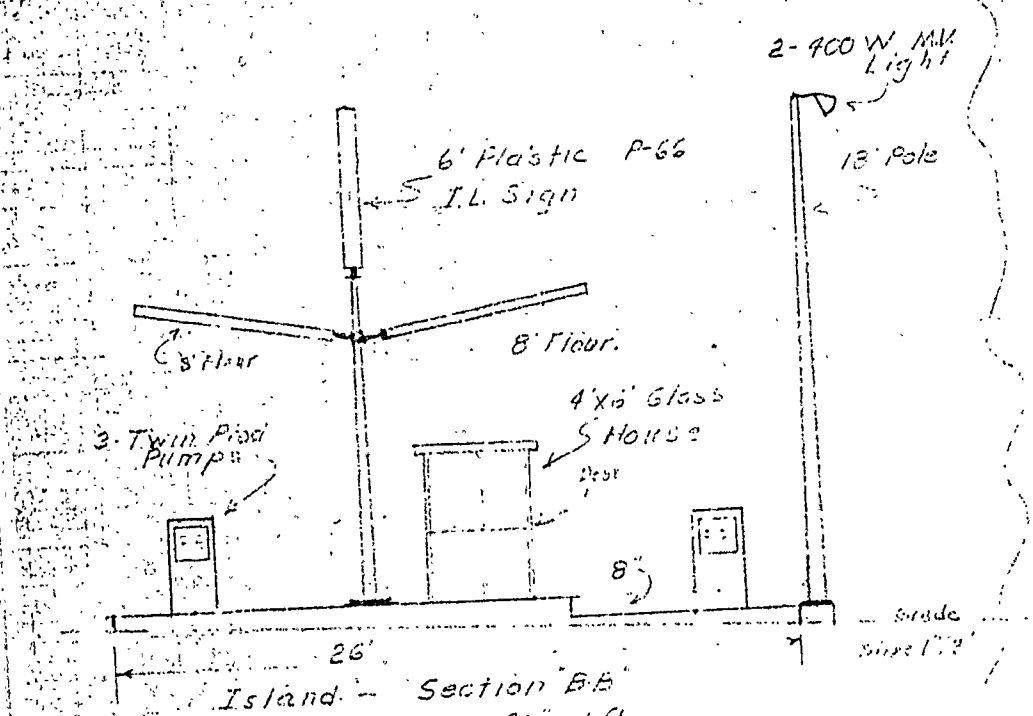
If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.



RECEIVED
 JUN 18 1971
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND

PHILLIPS PETROLEUM COMPANY	
PLOT PLAN	
UNITED CAR WASH - GASOLINE	
ADDRESS ST. JOHNS ST. 1177	
CITY PORTLAND, ME.	
PREPARED BY G. PLATT	
DATE 6-14-71	SCALE 1/8" = 1'-0"
APPROVED BY _____	COPY 10/10/71
DWG. NO. MA 502	SHEET NO. 1-0

Valley Street



Scale 3/16" = 1 ft.



4 Plastic I.L. Sign

10' x 10' Pipe

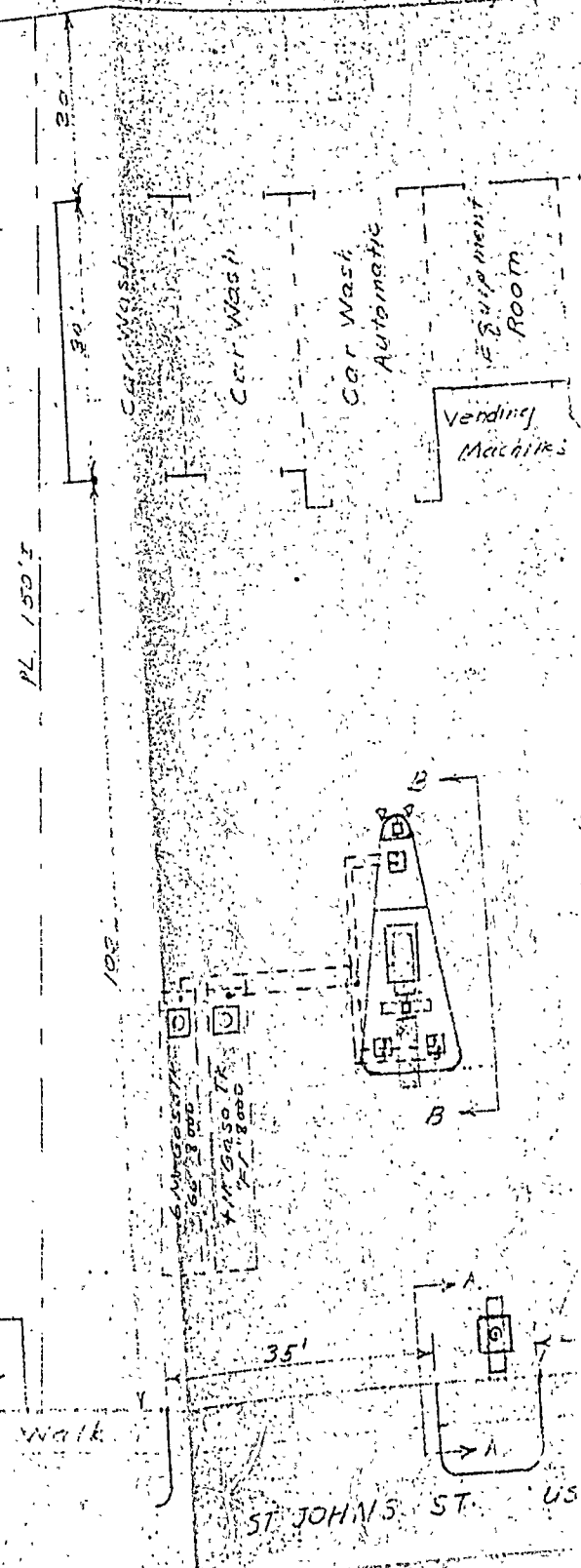
Brick Walk

Sign - Section A-A

DUNKIN DONUT STG.V

Brick Walk

ST. JOHN'S ST. US





I-2 INDUSTRIAL ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Installation
Portland, Maine, June 18, 1971

PERMIT 13322
727
JUN 18 1971
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 327 St. John St. Within Fire Limits? Dist. No.
Owner's name and address Eugene Pecoraro, 327 St. John St. Telephone
Lesse's name and address Telephone
Contractor's name and address Phillips '66", 110 Main St. So. Paris Maine Telephone
Architect Specifications Plans YES No. of sheets 1
Proposed use of building No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ Fee \$ 10.00

General Description of New Work

To install (2)-8000 gallons gasoline storage tanks, outside underground. (new installations)
To install (2) electric pumps. (business use)
Tanks will be buried 3' underground and covered with asphaltum.
Tanks bear Jnd. Label.
Vent pipe-2"
Size of piping from tank to pump-2"

Sent to Fire Dept 6/18/71
Rec'd from Fire Dept 6/18/71

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractors

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girde. Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated.
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Eric C. O'Neill 6-18-71

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 301

INSPECTION COPY

Signature of owner by:

Phillips '66"
[Signature]

7m.

(COPY)



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION #323-327 St. John St.

Issued to **Dunkin Donuts Inc.**
440 Hancock St. Quincy Mass.

Date of Issue **August 18, 1967**

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. **67/3**, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Restaurant

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

A.P.- 323-327 St. John St.

Dec. 30, 1966

Mr. Richard H. Jameson
Ganneston Builders
Augusta, Maine

cc to: Dunkin Doughnuts, Inc.
440 Hancock Street
Quincy, Mass.

Dear Mr. Jameson:

Permit to construct a 1-story metal restaurant building 24'x54' at the above location is being issued subject to City of Portland Code requirements as follows:

1. The sanitary line from the building to the street sewer will need to be of cast iron.
2. The yard drain lines may be of vitrified clay, or cement asbestos pipe between the yard drain manholes and to the street sewer. The pipe traps at these manholes will need to be approved by the plumbing inspector in this office before installation.
3. Plumbing permits will need to be taken out by a plumber licensed by the City of Portland.
4. All exterior foundation walls under the building will need to have frost walls at least 4 feet below grade. The thickened slab under the entrance vestibule will need to extend 4 feet below grade with a minimum thickness of 8 inches. After foundation walls are formed and ready for concrete this office is to be notified to give a form inspection the approval of which is necessary before any concrete is to be placed.
5. Before the kitchen equipment is ordered a floor plan of the restaurant and kitchen equipment should be approved by the City of Portland Health Department. This cooking equipment and ventilation will need to be done under separate permits taken out by the actual installing contractors.
6. Before installation of the locking hardware on the entrance doors and on the required emergency egress door (1-10) this hardware will need to be approved by this office. This hardware will need to be of the vestibule latch set type in which the locking devices may be released from the inside at all times by turning a knob, or by pressure on a thumb latch or paddle.
7. Any ceiling materials of an absorbent nature should be checked and approved by the Health Department before they are ordered.
8. Either exit sign or an exit light will need to be provided over the emergency exit door as shown as plan A Sheet 1.

Mr. Richard H. Jameson

Page 2

Dec. 30, 1966

9. Although not required if emergency lighting is to be installed then it is recommended that you follow the National Electrical Code, Article 700-14, as follows:

These lights should illuminate the toilet room vestibule and the area of emergency exit door as denoted on Plan A. These lights should be on a separate circuit from all other lights and appliances. As it is shown, these lights are on a circuit with the time clock and regular clock.

10. Switches for toilet room lights will need to be in the vestibule rather than in the toilet rooms.

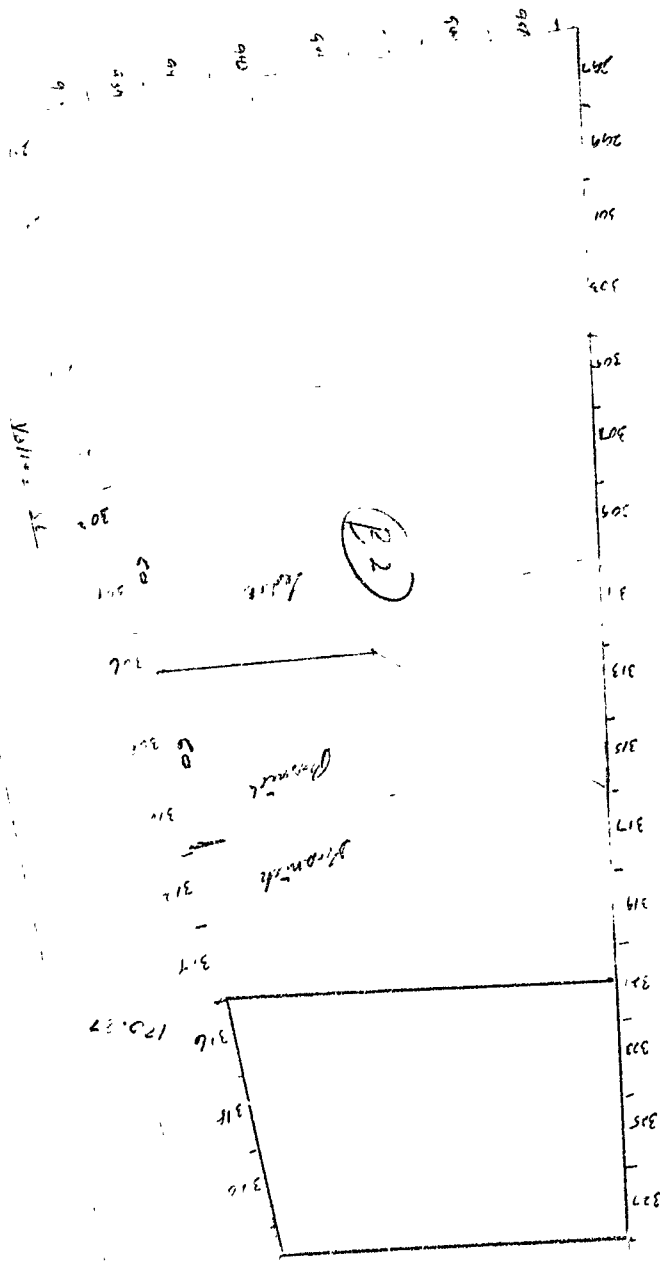
Very truly yours,

Gerald E. Cayberry
Building & Inspection Services Director

GE:m

327 72 St. ... A

Congress St



Vertical St

P2

Area

308

309

310

311

312

316

317

318

319

327



APPLICATION FOR PERMIT

R2 BUSINESS ZONE

PERMIT ISSUED
00003
JAN 8 1967
CITY of PORTLAND

Class of Building or Type of Structure All Metal
Portland, Maine, November 16, 1966

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 323-327-- St. John Street Within Fire Limits? _____ Dist. No. _____
Owner's name and address Dunkin Doughnuts, Inc., 440 Hancock St., Quincy, Mass. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Ganneston Builders, Augusta, Maine Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets _____
Proposed use of building Restaurant No. families _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 24,000. Fee \$ 48.00
fee pd, 11-17-66

General Description of New Work

To construct 1-story all metal building 24' x 54'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Ganneston Builders, Box 662, Augusta

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Is connection to be made to public sewer? yes If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? yes
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Dunkin Doughnuts, Inc.

APPROVED:

M. E. Mc. w/letter

CS 301

INSPECTION COPY

Signature of owner

By:

Richard H. Jensen

PK

NOTES

1-23-66 Piling & foundation poured without restriction
2-1-66 slab poured

3-15-67 Two halves of semi pre. fab. bldg being added together on slab

8-18-67 Completed

X

Permit No. CP 1-3
 Location 333-337 W. Pine St
 Owner Wendell Chapman & Co
 Date of permit 1/23/69
 Notif. closing-in _____
 Inspn. closing-in _____
 Final Notif. _____
 Final Inspn. _____
 Cert. of Occupancy issued 8/18/67
 Staking Out Notice _____
 Form Check Notice _____

A.P.- 323-327 St. John Street

Nov. 28, 1966

Ganneston Builders
Augusta
Maine

cc to: Dunkin Doughnuts, Inc.
440 Hancock St., Quincy, Mass.
Att: Mr. Goldberg
cc to: Husnick Oil Co., 309 St. John Street
cc to: Mr. Bruce Galton, Mr. Planning Dept.

Gentlemen:

Permit to construct a foundation only for a 1-story metal building 24' x 54' is being issued with the following understanding:

This permit does not include the construction of entrances to the parking areas as these entrances from two streets (St. John and Valley Streets) have not as yet been approved by the City of Portland and Planning Board as required by Section 14-J-1 of the Zoning Ordinance. OK

Although your plans meet the Zoning Ordinance and substantially the Building Code requirements, our plans show the car wash building to extend across the lease line between the car wash and doughnut restaurant operations. As this entire project remains under one ownership this creates no problem with the above mentioned ordinances. If, however, it is desired to sell any parcels of land then these ordinances might be violated.

Very truly yours,

Gerald K. Mayberry
Building & Inspection Services Director

GEM:m

B2 BUSINESS ZONE



APPLICATION FOR PERMIT

Class of Building or Type of Structure Foundation
Portland, Maine, November 16, 1966

PERMIT ISSUED 01183 PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 323-327 St. John Street Within Fire Limits? Mass. Dist. No.
Owner's name and address Dunkin Doughnuts, Inc., 440 Hancock St., Quincy, Telephone
Lessee's name and address Telephone
Contractor's name and address Ganneston Builders, Augusta, Maine Telephone
Architect Specifications Plans yes No. of sheets
Proposed use of building Restaurant No. families
Last use No. families
Material No. stories Heat Sty's of roof Roofing
Other buildings on same lot
Estimated cost \$ Fee \$ 2.00

General Description of New Work

To construct foundation ONLY for 1-story all metal building 24'x54'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO contractor

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? yes If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent? yes
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation concrete at least 4' below grade Thickness, top bottom cellar
Kind of roof as per plans Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber-Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

G. E. M. / letter

Miscellaneous

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Dunkin Doughnuts, Inc.
Ganneston Builders,

CS 301

INSPECTION COPY

Signature of owner By:

Richard J. Ganneston



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

August 1, 1967

Portland, Maine,

PERMIT ISSUED

00719
AUG 4 1967

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 327 St. John St. Use of Building Restaurant No. Stories 1 New Building Existing
Name and address of owner of appliance Dunkin-Donuts, 544 Deering Ave.
Installer's name and address Portland Gas Light Company 5 Temple St. Telephone

General Description of Work

To install (2) gas-fired Pitco Frisolators-Model 2424

IF HEATER, OR POWER BOILER

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Kind of fuel?
Minimum distance to burnable material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

IF OIL BURNER

Name and type of burner Labelled by underwriters' laboratories?
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner Size of vent pipe
Location of oil storage Number and capacity of tanks
Low water shut off Make No.
Will all tanks be more than five feet from any flame? How many enclosed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance first floor Any burnable material in floor surface or beneath? none
If so, how protected? Height of Legs, if any 4"
Skirting at bottom of appliance? none Distance to combustible material from top of appliance? over 3'
From front of appliance over 3' From sides and back 3"-back From top of smoke pipe over 3"-sides
Size of chimney flue Other connections to same flue
Is hood to be provided? yes If so, how vented? into roof Forced or gravity? forced
If gas fired, how vented? into hood with CO2 Rated maximum demand per hour 93,600 each

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Frisolators are equipped with automatic shut-offs.

Amount of fee enclosed? 3.00 (\$2.00 for one heater, etc., \$1.00 additional for each additional heater, etc., in same building at same time.)

APPROVED:

OK 8-3-67 JD

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Portland Gas Light Company

Signature of Installer by: Peter Lane

CS 300

INSPECTION COPY

MA

SNAP A WAY AND RETAIN YELLOW COPY, SEND WHITE AND PINK COPIES WITH CARBON INTACT

GrayLine "Snap-A-Way" GrayLine "Snap-A-Way" GrayLine "Snap-A-Way" GrayLine "Snap-A-Way" GrayLine

SPEED LETTER®

TO CITY OF PORTLAND, MAINE FROM LESLIE SIGN SYSTEM, INC.
% GERALD E. MAYBERRY 23 BROWN ST
DIRECTOR OF BUILDING & INSPECTION SERVICES SALEM, MASS

SUBJECT DUNKIN DONUTS, INC. - SIGN PERMITS

MESSAGE DATE JUNE 14, 1967

ENCLOSED FIND CHECK FOR \$15.00, AS REQUIRED OF YOUR LETTER OF YESTERDAY, FOR FEE TO APPEAL THE TWO 6X6 SIGNS FOR ENDS OF BUILDINGS AS PER DRAWINGS & SPECS SUBMITTED. I UNDERSTAND THAT MR. PHILIP P. RESNICK WILL HAVE TO SIGN THE PAPERS INVOLVED, TRUSTING YOU WILL CONTACT HIM TO DO SO. I UNDERSTAND THE MEETING WILL BE JUNE 29, 1967 AT 4 PM. THANK YOU FOR YOUR COOPERATION.

Leslie Sign System, Inc
SIGNED *Arthur G. Paulson*

REPLY DATE June 15 1967

The above is correct. Mr. Resnick has signed the appeal and the hearing will be June 29th at 4:00 p.m. I will send you a notice.

SIGNED *Pauline Hendrickson*
Chief Clerk

\$ 15.00 pd 6/15/67

Granted 6/29/67

67/35

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

VARIANCE APPEAL

Philip P. Resnick, owner of property at 323-327 St. John Street under the provisions of Section 24 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals for a variance from the provisions of said Ordinance to permit: erection of two attached signs 6'2" x 6'4" each on the ends of the building. This permit is presently not issuable under the Zoning Ordinance because these two signs will bring the total area of signs on the premises to about 366 square feet, which is in excess of the maximum of 300 square feet permitted by Section 16-A-5a of the Ordinance applying to the B-2 Business Zone in which the property is located.

LEGAL BASIS OF APPEAL: Such variance may be granted only if the Board of Appeals finds that the strict application of the provisions of the Ordinance would result in undue hardship in the development of property which is inconsistent with the intent and purpose of the Ordinance; that there are exceptional or unique circumstances relating to the property that do not generally apply to other property in the same zone or neighborhood, which have not arisen as a result of action of the applicant subsequent to the adoption of this Ordinance whether in violation of the provisions of the Ordinance or not; that property in the same zone or neighborhood will not be adversely affected by the granting of the variance; and that the granting of the variance will not be contrary to the intent and purpose of the Ordinance.

Philip P. Resnick
APPELLANT

DECISION

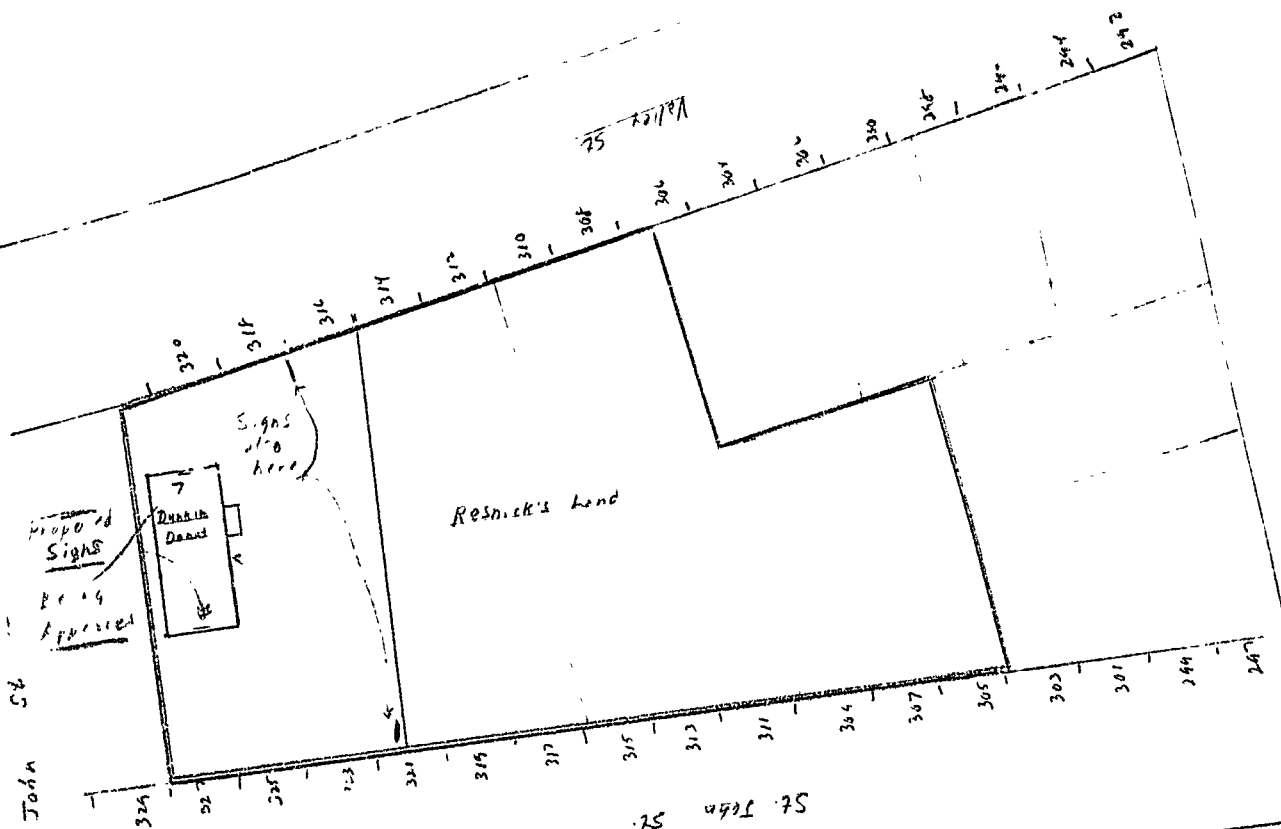
After public hearing held June 29, 1967, the Board of Appeals finds that all of the above conditions do not exist with respect to this property and that a variance should not be granted in this case.

It is, therefore, determined that a variance from the provisions of the Zoning Ordinance should not be granted in this case.

Fred G. Hambley
Henry M. Abbott
William B. Campbell
BOARD OF APPEALS

Allum
65-6-4-5-7
6-1-72

2/13/67



John St

St.

223-327

St. Tish St

Congress St.



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. #1

Portland, Maine, June 15, 1967

PERMIT 155122
6 14
1967

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 67/131 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 323-327 St. John Street Within Fire Limits? Dist. No.
Owner's name and address Philip Resnick, 11 Lewis Street Telephone
Lessee's name and address Dunkin Donuts, Inc., 440 Hancock St., Quincy, Mass. Telephone
Contractor's name and address Leslie Sign System, Inc., 23 Brown St., Salem, Mass. Telephone
Architect Plans filed No. of sheets
Proposed use of building No. families
Last use No. families
Increased cost of work Additional fee \$50

Description of Proposed Work

To erect two attached signs 6'2" x 6'4" each on ends of building as per plans

Dove RD

Appeal sustained 6/29/67

Details of New Work contractors

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-18" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved: [Signature]

Leslie Sign System, Inc.
Signature of Owner [Signature]

INSPECTION COPY
CS-105

Approved: Inspector of Buildings

A.P.- 323-327 St. John Street

June 13, 1967

cc to: Leslie Sign System, Inc., 23 Brown St.,
Salem, Mass.

cc to: Auricin Donuts, Inc., 440 Hancock St.,
Quincy, Mass.

cc to: Corporation Counsel

Philip F. Resnick
11 Lewis Street

Dear Mr. Resnick:

Building permit for erection of two attached signs,
6'2" x 6'4" each on the ends of this building at the above named lo-
cation is not issuable under the Zoning Ordinance because these two
signs will bring the total area of signs on the premises to about
366 square feet, which is in excess of the maximum of 300 square feet
permitted by Section 16-A-5a of the Ordinance applying to the B-2
Business Zone in which the property is located.

We understand that you would like to exercise your appeal
rights in this matter. Accordingly you should come to this office in
Room 113, City Hall to file the appeal on forms which are available
here. A fee of \$15.00 is required at the time the appeal is filed.

Very truly yours,

Gerald E. Mayberry
Director of Building & Inspection Services

GEM:m

Memorandum from Department of Building Inspection, Portland, Maine

June 12, 1967

Leslie Sign System, Inc.
23 Brown St.
Salem, Mass.

Gentlemen:

We are enclosing herewith a permit for two(2) pylon signs and one attached sign 23'x6'.

The other two signs 6'x6' will have to be appealed. We misinformed you over the telephone about the appeal. This has to be signed by the owner of the land, -Philip Resnick - and we will take care of that here.

The fee for the appeal is \$15.00 and a check should be made out to the City of Portland and sent to this office.

Miss Pauline Hendrickson

Chief Clerk

CS-27

A.P.-323-327 St. John Street

June 6, 1967

Leslie Sign System, Inc.
Att: John Valiquette
4 Powder Hill Road
Canton, Mass.

Dear Mr. Valiquette:

Permit to erect 2 pylon signs 16'x6'-2", 1 attached sign 23'x6' and 2 ~~pylon~~ signs 6'-4"x6'-2" is not issuable at this time because of lack of information.

We will require structural standard plans for each of these signs and foundations for same.

The overall height of these signs will also be needed.

As requested we are enclosing 3 "statements of design" slips to be signed by the individual responsible for the design of the signs.

Very truly yours,

Archie L. Seekins
Deputy Director of Building & Inspection Services

ALS:m

Enc. .



APPLICATION FOR PERMIT

82 BUSINESS ZONE

Class of Building or Type of Structure Signs
Portland, Maine, May 19, 1967

PERMIT ISSUED
00471
JUN 12 1967
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 23-327 St. John Street Within Fire Limits? _____ Dist. No. _____
Owner's name and address Dunkin Donuts, Inc., 440 Hancock St., Quincy, Mass. Telephone _____
Lessee's name and address _____ Salem, Mass. Telephone _____
Contractor's name and address Leslie Sign System, Inc., 23 Brown St., Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 4
Proposed use of building _____ No. families _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ 2.00

General Description of New Work

To erect two (2) pylon signs as per plans (all signs are electric)
steady lighting
To erect attached sign 23'x6' and two (2) 61x61 signs as per plans

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Leslie Sign System, Inc.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

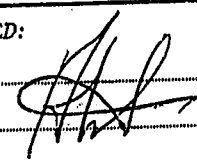
If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:



Dunkin Donuts Inc.
Leslie Sign System, Inc.

CS 301

INSPECTION COPY

Signature of owner

Arthur D. Portt BY:

Permit No. 67/431
Location 323-327th St. S.W. 41
Owner Quaker - Bantec Inc
Date of permit 6/12/67
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Fine _____ pn. _____
Cert. Occupancy issued _____
Staking Out Notice _____
Form Check Notice _____

NOTES

8-18-67 Completed
RD
X

PERMIT TO INSTALL PLUMBING **JAN 26 1957** **FEB 5 - 1957**

Address 323-327 St. John Street PERMIT NUMBER **16938**
 Installation For: Restaurant **FEB 16 1957**
 Owner of Bldg.: Dunkin Doughnuts, Inc. **FEB 27 1957**
 Owner's Address: 440 Hancock Street, Quincy, Massachusetts
 Plumber: George H. Frederick Date: 1/24/57

Date Issued 2/24/67
 Portland Plumbing Inspector
 By ERNOLD R. GOODWIN

App. First Insp.
 Date 1/25/67
 By ERNOLD R. GOODWIN

App. Final Insp.
 Date MAY 8 - 1957
 By ERNOLD R. GOODWIN

- Type of Bldg.
- Commercial
 - Residential
 - Single
 - Multi Family
 - New Construction
 - Remodeling

NEW	REPL		NO.	FEE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS FLOOR SURFACE		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
<u>1</u>		HOUSE SEWERS	<u>1</u>	<u>2.00</u>
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
			TOTAL	2.00

Building and Inspection Services Dept.: Plumbing Inspection

CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. **55549**

Issued

Portland, Maine **1/27**, 19**57**

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out - Minimum Fee, \$1.00)

Owner's Name and Address **Dunkin Donuts** Tel.
 Contractor's Name and Address **Watson's Elec Serv Inc.** Tel. **892-4427**
 Location **323 - 327 St John** Use of Building **L.S. # 2323**
 Number of Families Apartments Stores **1** Number of Stories **1**
 Description of Wiring: New Work Additions Alterations

Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet)
 No. Light Outlets Plugs Light Circuits Plug Circuits
 FIXTURES: No. Light switches Fluor. or Strip Lighting (No. feet)
 SERVICE: Pipe Cable **13 (see)** Underground No. of Wires **4** Size **3/0**
 METERS: Relocated Added Total No. Meters **1**
 MOTORS: Number Phase H. P. Amps Volts Starter
 HEATING UNITS: Domestic (Oil) No. Motors Phase H.P.
 Commercial (Oil) No. Motors Phase H.P.
 Electric Heat (No. of Rooms)

APPLIANCES: No. Ranges Watts Brand Feeds (Size and No.)
 Elec. Heaters Watts
 Miscellaneous Watts Extra Cabinets or Panels
 Transformers Air Conditioners (No. Units) Signs (No. Units) **2**
 Will commence **19** Ready to cover in **19** Inspection **19** *will call*
 Amount of Fee \$ **8.00**
 Signed **PS Watson**

DO NOT WRITE BELOW THIS LINE

SERVICE .. METER GROUND
 VISITS: 1 2 3 4 5 6
 7 8 9 10 11 12

REMARKS:

INSPECTED BY **J W H. [Signature]**
 (OVER)

CS 253

*N.R.
7/6/57*

LOCATION *ST. John ST 323-27*
 INSPECTION DATE *7/11/67*
 WORK COMPLETED *7/11/67*
 TOTAL NO. INSPECTIONS *1*
 REMARKS:

FEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING		
1 to 30 Outlets	(including switches)	\$ 2.00
31 to 60 Outlets	(including switches)	3.00
Over 60 Outlets, each Outlet	(including switches)	.05
(Each twelve feet or fraction thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).		
SERVICES		
Single Phase		2.00
Three Phase		4.00
MOTORS		
Not exceeding 50 H.P.		3.00
Over 50 H.P.		4.00
HEATING UNITS		
Domestic (Oil)		2.00
Commercial (Oil)		4.00
Electric Heat (Each Room)		.75
APPLIANCES		
Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Dish washers, etc. — Each Unit		1.50
TEMPORARY WORK (limited to 6 months from date of permit)		
Service, Single Phase		1.00
Service, Three Phase		2.00
Wiring, 150 Outlets		1.00
Wiring, each additional outlet over 50		.02
		10.00

CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. 53512
 Issued

Portland, Maine 1/16, 1967

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out — Minimum Fee, \$1.00)

License # 2323

Owner's Name and Address Dan King Donuts 544 Downing St.
 Contractor's Name and Address Watson's Elec Serv Inc Livermore Falls 897-4427
 Location 323-327 St. John Use of Building
 Number of Families Apartments Stores Number of Stories
 Description of Wiring: New Work Additions Alterations
 Temp Service
 Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet)
 No. Light Outlets Plugs Light Circuits Plug Circuits
 FIXTURES: No. Light Switches Fluor. or Strip Lighting (No. feet)
 SERVICE: Pipe Cable Underground No. of Wires Size
 METERS: Relocated Added Total No. Meters
 MOTORS: Number Phase H. P. Amps Volts Starter
 HEATING UNITS: Domestic (Oil) No. Motors Phase H.P.
 Commercial (Oil) No. Motors Phase H.P.
 Electric Heat (No. of Rooms)
 APPLIANCES: No. Ranges Watts Brand Feeds (Size and No.)
 Elec. Heaters Watts
 Miscellaneous Watts Extra Cabinets or Panels
 Transformers Air Conditioners (No. Units) Signs (No. Units)
 Will commence 1:00 19 Ready to cover in 19 Inspection Ready For Insp.
 Amount of Fee \$ 1.00
 Signed P.S. Watson

DO NOT WRITE BELOW THIS LINE

SERVICE	<input checked="" type="checkbox"/>	METER		GROUND	<input checked="" type="checkbox"/>
VISITS: 1	2	3	4	5	6
7	8	9	10	11	12

REMARKS:

INSPECTED BY FW Herbert
 (OVER)

LOCATION St. John ST 323-37

INSPECTION DATE 1/17/67

WORK COMPLETED 1/12/67

TOTAL NO. INSPECTIONS 1

REMARKS:

FEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1963

WIRING

1 to 30 Outlets (including switches) \$ 2.00
31 to 60 Outlets (including switches) 3.00
Over 60 Outlets, each Outlet (including switches)05
(Each twelve feet or fraction thereof of fluorescent lighting or
any type of plug molding will be classed as one outlet).

SERVICES

Single Phase 2.00
Three Phase 4.00

MOTORS

Not exceeding 50 H.P. 3.00
Over 50 H.P. 4.00

HEATING UNITS

Domestic (Oil) 2.00
Commercial (Oil) 4.00
Electric Heat (Each Room)75

APPLIANCES

Ranges, Cooking Tops, Ovens, Water Heaters, Disposals, Dish
washers, etc. — Each Unit 1.50

TEMPORARY WORK (limited to 6 months from date of permit)

Service, Single Phase 1.00
Service, Three Phase 2.00

Wiring, 1-30 C.A.S.

A.F.- 323-327 St. John St.

Dec. 30, 1966

Mr. Richard H. Jameson
Canneston Builders
Augusta, Maine

cc to: Dunkin Doughnuts, Inc.
440 Hancock Street
Quincy, Mass.

Dear Mr. Jameson:

Permit to construct a 1-story metal restaurant building 24'x54' at the above location is being issued subject to City of Portland Code requirements as follows:

1. The sanitary line from the building to the street sewer will need to be of cast iron.
2. The yard drain lines may be of vitrified clay, or cement asbestos pipe between the yard drain manholes and to the street sewer. The pipe traps at these manholes will need to be approved by the plumbing inspector in this office before installation.
3. Plumbing permits will need to be taken out by a plumber licensed by the City of Portland.
4. All exterior foundation walls under the building will need to have frost walls at least 4 feet below grade. The thickened slab under the entrance vestibule will need to extend 4 feet below grade with a minimum thickness of 8 inches. After foundation walls are formed and ready for concrete this office is to be notified to give a form inspection the approval of which is necessary before any concrete is to be placed.
5. Before the kitchen equipment is ordered a floor plan of the restaurant and kitchen equipment should be approved by the City of Portland Health Department. This cooking equipment and ventilation will need to be done under separate permits taken out by the actual installing contractors.
6. Before installation of the locking hardware on the entrance doors and on the required emergency egress door (1-10) this hardware will need to be approved by this office. This hardware will need to be of the vestibule latch set type in which the locking devices may be released from the inside at all times by turning a knob, or by pressure on a thumb latch or paddle.
7. Any ceiling materials of an absorbent nature should be checked and approved by the Health Department before they are ordered.
8. Either exit sign or an exit light will need to be provided over the emergency exit door as shown as plan A Sheet 1.

Mr. Richard H. Jameson

Page 2

Dec. 30, 1966

9. Although not required if emergency lighting is to be installed then it is recommended that you follow the National Electrical Code, Article 700-14 as follows:

These lights should illuminate the toilet room vestibule and the area of emergency exit door as denoted on Plan A. These lights should be on a separate circuit from all other lights and appliances. As it is shown, these lights are on a circuit with the time clock and regular clock.

10. Switches for toilet room lights will need to be in the vestibule rather than in the toilet rooms.

Very truly yours,

Gerald E. Mayberry
Building & Inspection Services Director

GEM:m



LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Structure

Portland, Maine, May 16, 1949
Plan 5/24/49

PERMIT ISSUED
MAY 27 1949
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter or reconstruct~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 319-321 St. John Street Within Fire Limits? yes Dist. No. _____
 Owner's name and address H. B. Arey Inc., 319 St. John Street Telephone 3-7296
 Lessee's name and address _____ Telephone _____
 Contractor's name and address E. F. Hoyt, 1831 Washington Avenue Telephone 3-4232
 Architect _____ Specifications _____ Plans yes No. of sheets 2
 Proposed use of building Radio Tower No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 250 Fee \$ 2.00

General Description of New Work

To erect 75' high aerial tower, ~~50' high aerial tower with 10' diameter tower~~ for radio broadcasting, as per plan.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** H. B. Arey Inc.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind _____ Dressed or full size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot. . . , to be accommodated _____ number commercial ca to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:
O.K. - 5/26/49 - @JJS

Miscellaneous

Will work require disturbing of any tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

H. B. Arey Inc.

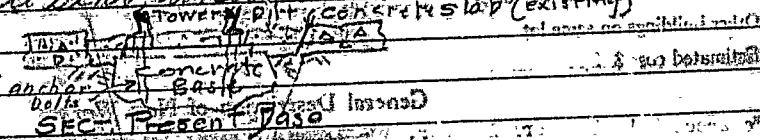
Signature of owner BY: H. B. Arey

INSPECTION COPY

NOTES

6-25-49 The tower footing and guy anchor details of this tower were entirely different from details approved for issuance of permit. Mr. Doherty said he was turning with job being paid only for plans not construction and erection.

The tower base is several inches below grade with the bolts being covered with dirt and this dirt is 2" x 3" below an existing concrete slab which has been broken to receive base.



The guy anchor detail is different from the usual clevis shackles of line steel in the past and maybe O.K. but being different from design believe it should have engineer's O.K. Of course, I could not see the top stud connections in any detail etc.

6-28-49 Talked with Mr. Hoyt said he did the structural work including guy fastenings, which he said even as steel guy tower with the tower of steel, should we not have it filed here?
Mr. Aron had some from the dead man and tower base and Mr. Hoyt took it from there etc.

7-1-49 Sent letter WES.
7-26-49 Connector of guy to anchor eyebolt not changed.

8-26-49 Mr. Doherty provided plan and statement of design covering bottom fastenings of guys etc.
12-21-49 Revised plan with attachment of design filed etc.
1/10/50 - Plans filed same as work done etc.

Permit No.	419/265
Location	1932/1800
Owner	Q/OB One of One
Date of permit	5/27/49
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	
Cert. of Occupancy issued	

2/20 - 419/265 - 4/10

BP 49/745-1
(319-321 St. John Street)

July 1, 1949

Mr. H. B. Arey
319 St. John Street
Portland, Maine

Subject: Fastenings and anchorage of guys for
radio antenna tower at 319-21 St. John Street

Dear Sir:

Our inspector reports that the fastenings and anchorage of the guys for the new antenna tower are not as established when the permit was issued.

The connection of the guys to the anchor rod is substantially different and apparently less secure than the details shown by your designer, Mr. Snow, on the plan filed with the application for the permit. The details shown by Mr. Snow are substantially the same as that shown on the plan of the Wind Turbine Company which you filed with application for the permit. It is necessary that these connections be changed out to agree with the design filed with application for the permit, or else to have Mr. Snow file here a detail of the connections and anchorages actually used and give his statement of design on that detailed plan.

Despite notice when the permit was issued that all parts of each anchor bolt was to be protected against contact with the ground by concrete of such thickness as to remain permanently in place, the anchor bolts have been installed so that a considerable part of their length runs down through the dirt before engaging the concrete anchorage.

Instead of following the detail shown on Mr. Snow's plan of having the concrete pier, on which the main tower rests, extend 6" above the ground, whoever built the piers has just broken through an existing concrete slab, and has built the pier and the tower has been fastened to the top of it in such a position that the base of the tower and the tops of the anchor bolts are all below the level of the punctured concrete slab around it—perhaps three or four inches below. How you are to correct this deficiency which is obviously bad, I do not know. The latter deficiency is merely a matter of common sense because snow and water settling in this depression and ice freezing is bound to deteriorate the base of the tower in a comparatively short time. I suggest that you make sure that the nuts on the anchor bolt are firmly set up and locked in such a manner that they cannot be worked loose and that the entire depression be filled with some type of asphaltic material to shed the water and fill up high enough so that the water will run away from the depression rather than toward it.

With regard to the anchorage of the guys and the protection of the anchor bolts with concrete, these two features must be taken care of before July 15, 1949.

Very truly yours,

WMD/G

Inspector of Buildings

CC: Mr. Philip P. Snow
477 Congress Street

P. S. Our inspector has contacted Mr. Hoyt, who says that his contract merely covered erection of the tower and making the fastenings and that he is not responsible in any way for the design or for the construction of the concrete piers.

AP 19-321 St. John Street-I

May 27, 1949

H. B. Arey, Inc.
319 St. John Street
Portland, Maine

Subject: Permit for erection of radio
antenna tower at 319-321 St. John
Street

Gentlemen:

The permit for the above work is issued herewith based
on plans filed with application and subject to the condition
that all metal parts of the guy anchors shall be suitably en-
cased in concrete.

Very truly yours,

Inspector of Buildings

MJS/G

CC: Mr. E. F. Hoyt
1831 Washington Avenue

Mr. Philip P. Snow
477 Congress Street

INQUIRY BLANK

ZONE B

FIRE DIST. 3

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Verbal
~~By Telephone~~

Date 2/9/49

LOCATION 319 St. John Street OWNER _____

MADE BY Harold B. Arey TEL. 3-7276

ADDRESS 319 St. John Street

PRESENT USE OF BUILDING Auto Rental + Taxicab Service

CLASS OF CONSTRUCTION _____ NO. OF STORIES _____

REMARKS: _____

INQUIRY: 1 - Is any permit needed for erection of 100'
radio tower for use in connection with
radio equipped taxi fleet?

Handwritten initials and date:
FIS
MM
2/10/49

ANSWER: 2 - Yes, and with application should be
filed, detailed plans of tower, guys and found-
ations. Suggested that he talk with Public
Works Department to determine if there are
any restrictions in height allowable that
close to airport.

DATE OF REPLY 2/9/49 REPLY BY A. J. Sears

COPY



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to H. B. Arey, Inc.

Date of Issue September 11, 1947

This is to certify that the building, premises, or part thereof, indicated below, and built—~~altered~~—~~changed~~ as to use at 317-327 St. John Street under Building Permit No. 47/1463, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire Building

APPROVED OCCUPANCY

Office Building in connection
with automobile rental business

Limiting Conditions:

This certificate supersedes
certificate issued

Inspector of Buildings

Notes: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or leasee for one dollar.

- - -Memorandum from Department of Building Inspection, Portland, Maine

317-327 St. John Street—Amendment to building permit to cover lining
side of office building for H. B. Arey, Inc.
by Thomas Skinner Company—8/15/47

Mr. Arey over the telephone indicated that he also wanted
a ceiling over this small office building, and I presume it was
Mr. Skinner's intention to include that in the application for
amendment. It is therefore included, but joists across the build-
ing to support the ceiling should be suitable size according to
the span and should be spaced so that ceiling board will get a
nailing no farther apart than 16" from center to center.

WMcD/J

CC: H. B. Arey, Inc.
55 Spring Street

(Signed) Warren McDonald
Inspector of Buildings

APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. 1

Portland, Maine, August 14, 1947

PERMIT 100110

AUG 17 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for an amendment to Permit No. 47/1168 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 317-327 St. John St. Within Fire Limits? yes Dist. No. 3
Owner's name and address Harry P. Lassard, 41 Gleckler Road Telephone
Lessee's name and address H. B. Arey, Inc., 55 Spring St. Telephone
Contractor's name and address Thomas Skinner Co., 127 Main St., So. Portland Telephone
Architect Plans filed yes No. of sheets
Proposed use of building Office bldg. No. families
Increased cost of work 50 Additional fee 50

Description of Proposed Work

To line inside walls with masonite - studs 2x3, 16" O.C.

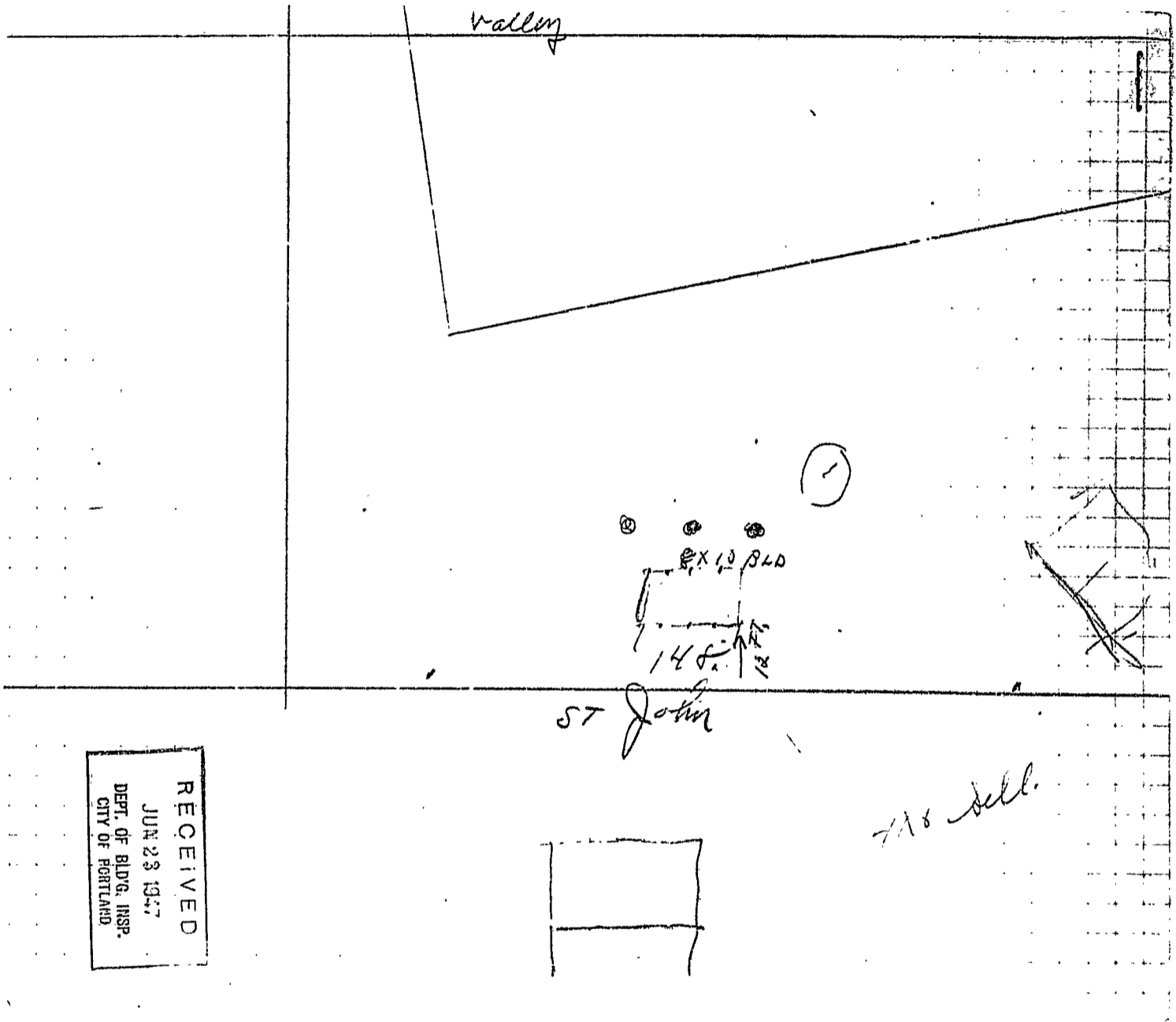
Permit Issued with Memo

Details of New Work

Is any plumbing work involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber-Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved:

H. B. Arey
Thomas Skinner Co.
Signature of Owner
Permit Issued with Memo By: Thomas Skinner
Approved: 8/15/47



RECEIVED
JUN 23 1947
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

City of Portland, Maine
Board of Appeals

—ZONING—

Decision

Public hearing was held on the First day of August, 1947,
on petition of Harry P. Lessard, owner of property at
317-327 St. John Street, seeking to be permitted an exception to the regulations of
the Zoning Ordinance relating to this property.

Appellant's Lessee requests exception be granted to the Zoning Ordinance
to allow the use of the premises at 317-327 St. John Street for the
parking or storage of more than one commercial motor vehicle and as
a filling station, including a parking lot, in connection with his
automobile rental business already established there. These premises
are located in a Limited Business Zone, in which Section 5A of the
Zoning Ordinance prohibits the above requested uses except as
authorized by the Board of Appeals.

The Board having found that an exception to the Zoning Ordinance is
necessary to allow reasonable use of the property and to avoid con-
fiscation and can be granted without substantially departing from
the intent and purpose of the Zoning Ordinance, it is, therefore,
determined that an exception to the Zoning Ordinance may be permitted
in this specific case to allow the use of these premises for the
parking or storage of passenger motor vehicles and the sale of
gasoline insofar as both permitted uses are incidental to the
automobile rental business already established there. This order
does not authorize the use of these premises for the parking or
storage of more than one non-passenger type motor vehicle or as
a filling station, except as incidental to the presently established
automobile rental business.

It is therefore determined that exception to the Zoning Ordinance is granted
in this specific case.

Edwin J. Colby
Robert M. [unclear]
St. Francis [unclear]
Helen C. [unclear]

Raymond E. Jensen

Board of Appeals
RECEIVED
AUG 28 1947
CITY OF PORTLAND



(B) LIMITED DISTRICT 77
APPLICATION FOR PERMIT

PERMIT ISSUED
01468
JUN 24 1947

Class of Building or Type of Structure Metal Single Class

Portland, Maine, June 17, 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter, repair, or modify~~ all the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 317-327 St. John Street Within Fire Limits? yes Dist. No. 3
Owner's name and address Harry P. Lessard, 41 Gleckler Road Telephone _____
Lessee's name and address H. B. Aray, Inc., 55 Spring Street Telephone _____
Contractor's name and address Thomas Skinner Co., 127 Main St., So. Portland Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building office bldg. connection with autom. file rental No. families _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 100 Fee \$.50

General Description of New Work

To erect metal bldg. (std. const.) 8'x10'

In consideration of issuance of building permit applied for herein for the construction of a building to be used as an office in connection with automobile rental business, and in view of the restriction of the Zoning Ordinance that not more than one commercial motor vehicle shall be parked or stored on the lot, the undersigned owner and lessee agree that there will be no more than one commercial motor vehicle parked or stored at any one time unless or until authorization of the Board of Appeals is given therefor after the usual appeal procedure.

Harry P. Lessard Owner H. B. Aray, Inc. Lessee

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes Is any electrical work involved in this work? yes
Height average grade to top of plate 7' Height average grade to highest point of roof 8'-6"
Size, front 10' depth 8' No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation cedar posts Thickness, top _____ bottom _____ cellar no
Material of underpinning _____ Height _____ Thickness _____
Kind of roof pitch Rise per foot _____ Roof covering metal
No. of chimneys no Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind dressed Dressed or full size? hemlock
Corner posts metal Sills 4x6 on edge or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x6, 2nd _____, 3rd _____, roof _____
On centers: 1st floor 16", 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor 8', 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

H. B. Aray

Signature of owner Thomas Skinner

INSPECTION COPY

Permit No 47/1468
Location 317-327 St. John St
Owner Harry P. Lussard
Date of permit 6/24/47
Notif. closing-in
Inspn. closing-in
Final Notif. 9/5/47
Final Inspn 9/5/47
Cert. of Occupancy issued 11/1/47

NOTES

7/1/47 - letter about
offered - WPT
8/5/47 - check it out
to issue certificate
E. J.

1
2
3

317-327

0-33-81-1

June 13, 1933

Mr. Henry J. Lossard
939 Congress Street
Portland, Maine

Dear Sir:

Upon examination of the building which you are reported to own at 325-327 St. John Street, we find that the windows and doors leading to the basement in the rear of this building are open, and that access to the second story by way of an outside stairway is free and open so that persons may enter the building at will or mischief bent, or so that combustible material, matches, or cigarettes may be thrown into the building easily.

Such a condition is considered a dangerous and inflammable one as contemplated by the State law, Section 34 of Chapter 35, Revised Statutes of Maine, copy attached.

In accordance with this law, you are hereby directed to have all openings in this building securely boarded up or otherwise tightly closed so that persons may not enter the building at will, and so that material may not be thrown freely into the building, this work to be accomplished on or before June 21, 1933.

Very truly yours,

Inspector of Buildings.

WM/RO



PERMIT ISSUED
Permit No. 1462

APPLICATION FOR PERMIT

AUG 6 1931

Class of Building or Type of Structure First Class

Portland, Maine, August 6, 1931

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 321 St. John Street Ward 7 Within Fire Limits? no Dist. No. 5

Owner's or Lessee's name and address Tide Water Oil Sales Corp. So. Port. Telephone _____

Contractor's name and address Thomas Skinner Co., 127 Main St. So. Portland Telephone 7738

Architect's name and address _____

Proposed use of building Filling station No. families _____

Other buildings on same lot _____

Plans filed as part of this application? no No. of sheets _____

Estimated cost \$ 47. Fee \$.60

Description of Present Building to be Altered

Material metal No. stories 1 Heat _____ Style of roof _____ Roofing _____

Last use Filling station No. families _____

General Description of New Work

To put in sheet rock partition to provide toilet 4'x 6'

To cut in one new window for ventilation, window to be at least 5' x 6' **NOTIFICATION BEFORE CLOSING IN IS WAIVED.**

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimney _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2, 4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Tide Water Oil Sales Corp.

By Thomas Skinner Co.

Signature of owner

By C. T. McLaughlin

INSPECTION COPY

15051A

Ward 7 Permit No. 31/1462

Location 321 St. Johns St.

Owner Tide Water Oil Sales

Date of permit 8/6/31 Corp

Notif. closing-in _____

Inspn. closing-in _____

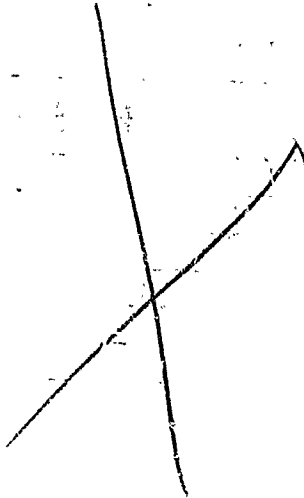
Final Notif. _____

Final Inspn. 9/16/31

Cert. of Occupancy issued none

NOTES

9/16/31 - work done - JH





APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure first class

Portland, Maine, December 10, 1930

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 323 St. John Street Ward 7 Within Fire Limits? yes Dist. No. 2
 Owner's or Lessee's name and address Tide Water Oil Co. Telephone _____
 Contractor's name and address A. W. Grant, 150 St. John St. Telephone 1924 J
 Architect's name and address _____
 Proposed use of building Filling station office No. families _____
 Other buildings on same lot _____
 Plans filed as part of this application? no No. of sheets _____
 Estimated cost \$ 50. Fee \$.50

Description of Present Building to be Altered

Material metal No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Last use Filling station office No. families _____

General Description of New Work

To erect one outside brick chimney

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
 Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation flat rock with concrete Thickness, top _____ bottom _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys 1 Material of chimneys brick of lining _____
 Kind of heat oil heater Type of fuel oil Is gas fitting involved? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 3 feet. Sills and corner posts all one piece in cross section.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
 Total number commercial cars to be accommodated _____
 Will automobile-repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Tide Water Oil Co.

INSPECTION COPY

Signature of owner A. W. Grant

3886A

Yard 7 Permit No. 305818
Location 323 St. John St.
Owner Tide Water Oil Co
Date of permit 12/10/30
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 1/7/31
Cert. of Occupancy issued None

1/7/31 - Corbelled thru
wall - A.J.S.

NOTES:

12/16/30 - Chimney erected.
Built up against metal
sidewall of building.
Smoke pipe about 9'
below metal ceiling.
A.J.S.

1/7/31 - Chimney not
corbelled thru wall
of building. Smoke
pipe opening 9' below
ceiling due to certain
requirements for
proper draft of
heater. - A.J.S.

1/26/30 - Grant said
he would fix this
chimney & see
commencing 1/26/30
run

March 29, 1928

Mr. S. S. Boyd
Committee on Zoning and Building Ordinance Appeals.

Dear Sir:

The petition of W. P. Lessard seeking permission to establish a gasoline filling station on the property at 323 St. John Street has been referred to your Committee by the City Council.

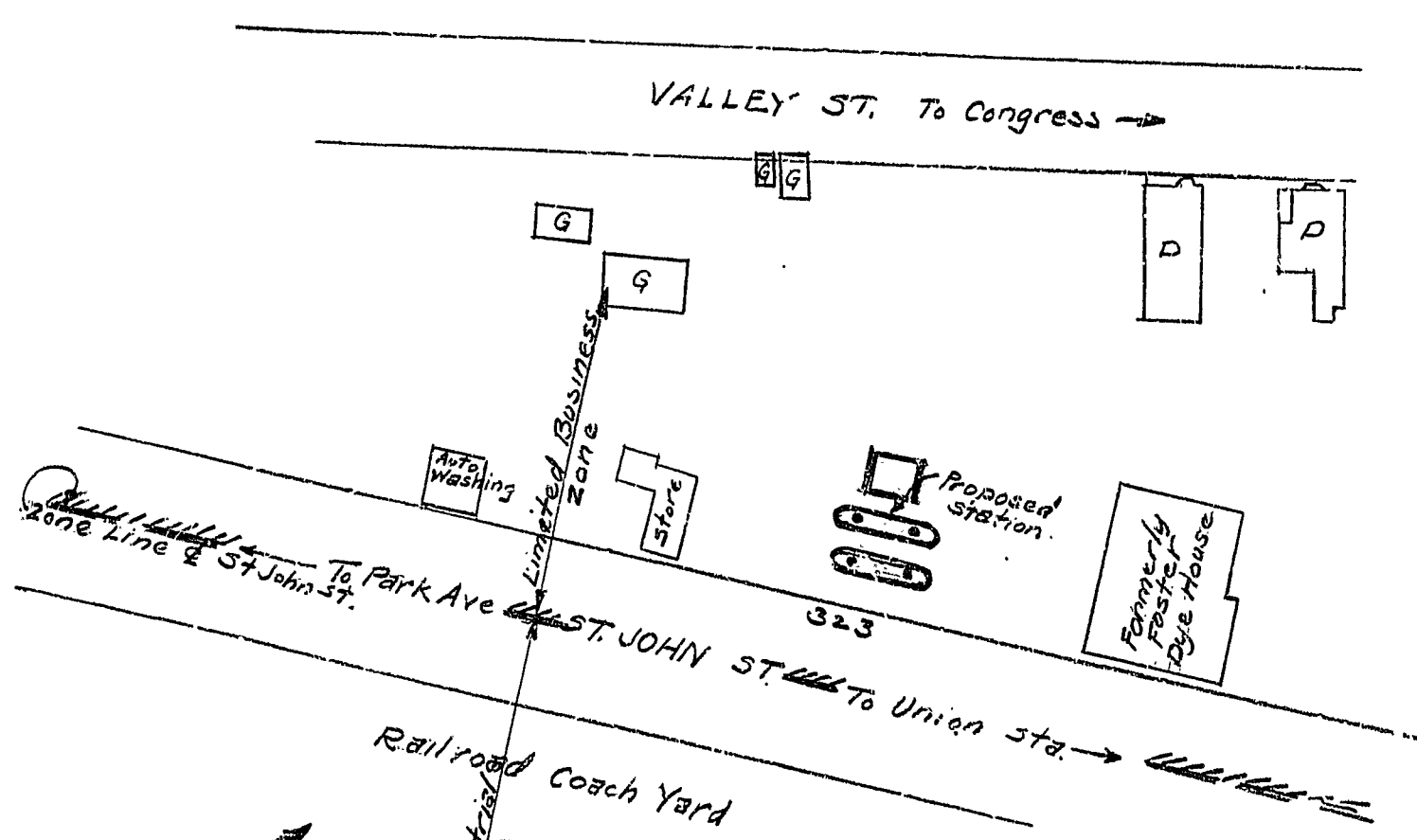
The permit for the establishment of this filling station was denied because the location is in a Limited Business Zone and such a use is a non-conforming one in this zone.

There is attached a plan and photograph illustrating the proposition.

Respectfully submitted,

Inspector of Buildings

WM/EP

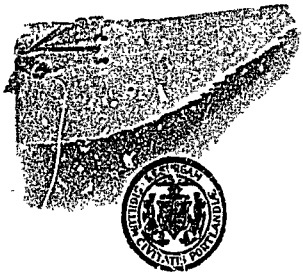


zone line & St John St.
To Park Ave

Railroad Coach Yard

Photo
D = Dwelling
G = Garage

PETITION OF H.P. LESSARD
TO ESTABLISH
GASOLINE FILLING STA.
AT
323 ST. JOHN ST.
Scale: 1" = 50' MAR 28, 1928.



City of Portland, Maine

IN THE BOARD OF MUNICIPAL OFFICERS

Ordered, that the appeal of Henry P. Lessard from the decision of the
Inspector of Buildings be sustained and that a building permit be
granted said Henry P. Lessard as prayed for in his
original appeal.

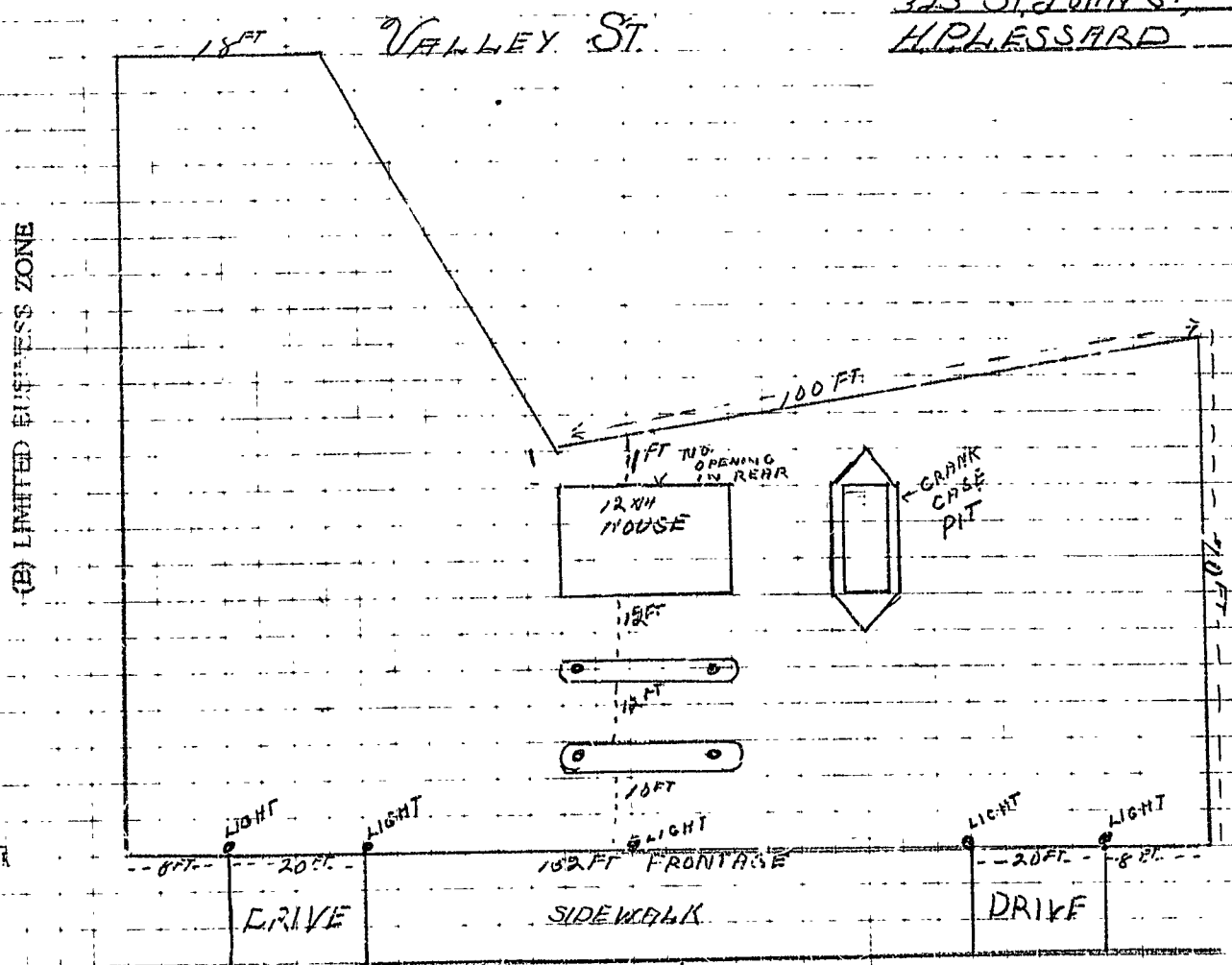
Read twice and passed. Yeas 5.

A true copy of record.

Attest:

J. Edwin Smith
----- City Clerk.

PROPOSED
FILLING STATION
323 ST. JOHN ST,
HUNTSVILLE





(B) FIRE HAZARD ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure First Class

PERMIT ISSUED
Permit No. _____

APR 5 1928

Portland, Maine, March 12, 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME

The undersigned hereby applies for a permit to erect ~~and~~ ^{and} install the following building ~~structure~~ ^{and} equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 323 St. John Street Ward 7 Within Fire Limits? Yes Dist. No. 5

Owner's or Lessee's name and address H. P. Lessard, 939 St. John St. Telephone 7731

Contractor's name and address Gulf Refining - Little & Coffin Telephone _____

Architect's name and address _____ Telephone _____

Proposed use of building Milling Station

Other buildings on same lot _____ No. families _____

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To erect metal building

To install 2 -1000 gallon and 2-500 gallon tanks for gasolins, 4 5-gallon pumps, Public Use, New installation. Tanks to be buried underground

Appeal sustained and permit granted by Special Assessor and City Council 4/2/28 1000 gal. 5/12

Details of New Work

Size, front 14' depth 12' No. stories 1 Height average grade to highest point of roof 14'

To be erected on solid or filled land? filled solid earth or rock? earth

Material of foundation Concrete Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof Pitch Roof covering metal

No. of chimneys yes Material of chimneys brick of lining tile

Kind of heat Stove Type of fuel coal Distance, heater to chimney _____

If oil burner, name and model _____

Capacity and location of oil tanks _____

Is gas fitting involved? _____ Size of service _____

Corner posts _____ Sills 4x8 Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof metal

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? yes No. sheets 1

Estimated cost \$ 3000. Fee \$ 2.50

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining there are observed? Yes

INSPECTION COPY

Signature of owner

Harry P. Lessard

Miss P. Saubon
CHIEF OF FIRE DEPT.