



LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Second Class

Portland, Maine, Sept. 13, 1942

OCT 17 1942

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to alter the following building Hotel in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 939 Congress St. Within Fire Limits? yes Dist. No. 2

Owner's or lessee's name and address John Neppi, 123 Middle St. Telephone _____

Contractor's name and address Robert Verrier, 125 Congress St. Telephone 3-2161

Architect _____ Plans filed yes No. of sheets 1

Proposed use of building Hotel No. families _____

Other buildings on same lot _____ Fee \$ 6.00

Estimated cost \$ 5500

Description of Present Building to be Altered

Material brick No. stories 4 Heat steam Style of roof flat Roofing T & G

Memorandum from Department of Building Inspection, Portland, Maine

939 Congress St. ----- Alterations to Hotel Building for Mr. John Neppi by
Robert Verrier, Builder-----10/13/42

To Owner and Builder: CC Mr. John Neppi, 123 Middle St.
Chief Sanborn as head of the Fire Engineers who have jurisdiction over the exits in this building is unable to approve the removal of the front stairs because that removal would give still less chance for the occupants of the rooms in the westerly half of the second floor to reach the ground in safety in case of fire. If you will remake the application for alteration and revise the plan to show these stairs left in and the outside door left as it is or improved, and eliminating the new doorway in partition between easterly store and lobby, I can issue the permit for the store front changes and repairing roof covering as shown on the plan.

We find that about 12 rooms on second, third and fourth floors, west side are so situated with relation to fire escape and stairs that the occupants could not reach the fire escape without being exposed to any fire or smoke which might be travelling the front stairs. Chief Sanborn is to look over this situation at the earliest opportunity, and it no doubt will be the subject of orders from the (Signed) Warren McDonald
Inspector of Buildings
Fire Engineers to the owner.

Is any electrical work involved in this work? no Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ type of fuel _____ Is gas fitting involved? _____

Framing lumber—Kind _____ Diversed or full size? _____

Corner posts _____ Sills _____ Girt or ledger board _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____ 2nd _____ 3rd _____ roof _____

On centers: 1st floor _____ 2nd _____ 3rd _____ roof _____

Maximum span: 1st floor _____ 2nd _____ 3rd _____ roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposer's building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner John Neppi By Robert Verrier

INSPECTION COPY

[illegible]

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GENERAL: IT IS DESIRED TO MAKE THE STREET-STORE BUILDING FOR A COCKTAIL LOUNGE AND DANCING, TO INSTALL A KITCHEN IN WEST BAY OF BASEMENT AND A DINING BAR IN EAST BAY OF BASEMENT.

THE STRUCTURAL ALTERATIONS DESIRED ARE AS FOLLOWS: REMOVE ALL EXISTING PARTITIONS FROM FIRST FLOOR AREA, EXCEPT NEW STAIRS TO BASEMENT AND EXISTING WALLS. CUT TWO LARGE ARCHWAYS THROUGH BRICK WALL BETWEEN CENTRAL AND EAST BAYS. CUT BRICK WALLS THROUGH A BRICK WALL BETWEEN WEST AND CENTRAL BAYS. BRICK KITCHEN FIRST FLOOR TO NEW APPROXIMATE ELEVATION OF THE EAST BAY FLOOR. REMOVE SEVERAL NON-BEARING PARTITIONS IN SECOND FLOOR, CLOSE UP EAST OF THE NEW WINDOWS ON CONGRESS STREET FRONT, USING EITHER BRICK OR STUCCO AND PLASTER OR STUCCO.

WORK TO BE DONE:

BUILD FOUNDATIONS BELOW BASEMENT FLOOR FOR THE COLUMNS WHICH ARE TO SUPPORT THE GIRDESS OVER LARGE ARCHWAYS.

CUT CHANNEL IRON BRICK WALLS AND PLACE CONCRETE COLUMNS MAY BE SPECIFIED IF DESIRED FOR ERECTION PURPOSES. STANDARD SECTIONS SHALL BE USED.

PLACE PUNCHINGS TO SUPPORT LOADS ABOVE GIRDESS, CUT OUT BRICK WALL AND PLACE GIRDESS BRICK IN AROUND COLUMNS FOR FIRE PROTECTION AND LEAVE BRICKWORK IN SHAPE FOR ANTERIOR DECORATING.

THE GIRTS ACROSS BRICK PIER IN BASEMENT CRIBBING IN THE EAST AND CENTER BAYS ARE TO BE MADE STEEL INCLUSIVE OF ANY BRACING OR LIGHT OVER KITCHEN IS TO BE STEEL. HAVE ONE PIER IN BOILER ROOM UNDER GIRTS.

REMOVE EXISTING STUCCO INCLUDING HANGERS FROM FIRST STORY AREA. FILL IN FIRST FLOOR WALLS BY RISING NEW 2x10 FROM GIRTS TO BRICK WALLS. SECOND STORY WALLS MAY BE FLOORED IF USING 2x8 SUPPORTED ON 4x4 SECURELY SPICED TOGETHER.

REMOVE PARTITIONS IN SECOND STORY WHERE THERE ARE PARTITIONS IN THE STORY ABOVE. WHERE PARTITIONS THE FLOOR SYSTEM ABOVE SHALL HAVE DOUBLE STRINGERS, IF THESE ARE NOT IN PLACE ADD ONE.

REPAIR FLOOR IN EAST BAY CONGRESS STREET LEVEL SUITABLE FOR LAYING OF LINOLEUM. LAY NEW FLOOR IN CENTRAL BAY AT SAME ELEVATION. FLOOR IN EAST BAY THIS IS TO BE DONE BY SPIKING 4x4 (THICKER IF NECESSARY) TO PRESENT FLOOR 16x16 TO 6x6 AND LAYING FIR FLOOR FOR LINOLEUM. REMOVE EXISTING FLOOR AND STRINGERS IN WEST BAY AND RELAY AT ELEVATION OF OTHER BAYS USING OLD MATERIAL IF IN GOOD CONDITION OTHERWISE PROVIDE NEW STRINGERS AND FLOORING SUITABLE FOR LINOLEUM.

BUILD ALL NEW PARTITIONS AS CALLED FOR UPON PLANS. PROVIDE LABELED FIRE DOOR IN FIRE PARTITION ACROSS BOILER ROOM AREA. PLASTER BOILER ROOM CHIMNEY WITH PORTLAND CEMENT PLASTER.

BUILD NEW STAIRWAYS, MAKING ALL PARTITIONS AROUND WELLS BEARING PARTITIONS.

BUILD IN DIM WATER SHAFT FROM KITCHEN TO FIRST FLOOR, AND INSTALL DIM WATER.

RELOCATE ALL PLUMBING AND HEATING PIPES IN BASEMENT AND CONCRETE SECOND FLOOR AREA THAT WILL INTERFERE WITH THE NEW CONSTRUCTION OR BE UNSIGHTLY IN LOUNGE AREA.

ENTER BUILDING TO HAVE AN ENTIRELY NEW ELECTRICAL JOB.

FIRST STORY FRONT ON CONGRESS STREET TO BE EITHER BRICKED IN OR TO BE TREATED WITH PLASTER OR STUCCO ON STUCCO AND LATH.

Rest. 0540-I

November 14, 1941

Hinobet A. Griffin, Inc.
197 Middle Street,
Portland, Maine

Subject: Application for permit to
cover alterations in Victoria Hotel
at 350 Congress St. for National
Hotels, Inc.

Gentlemen:

The plans of the above project are not nearly complete enough to show clearly what changes are contemplated, whether or not the proposed changes will comply with the Building Code and whether or not the changes will satisfy the requirements of the Health Officer who, the Building Code requires, must affix his approval to the building permit before it is issued.

Some of the omissions from the standpoint of the Building Code are as follows: no elevations whatever shown of the outside of the building to show the front or the amount of basement wall that will project above the grade; since this building is a four story building obviously the existing stone window, if to be closed, would have to be filled in with masonry of the same thickness as normally required for masonry walls; the entrance doors from Congress Street are shown to swing in, if swung out would project over the public sidewalk therefore requiring recessing, no size or hardware shown; no indication of more than one means of egress from the second floor; no indication as to what the large room in front of the kitchen is to be used for or the space in front of the boiler room between this large room and the men's lounge; no handrails shown on any stairs or the character of the treads; no adequate information by way of cross sections, etc., to show clearly the methods of raising the first floor, to show what are the bearing partitions in the second story and how they deliver their loads down through the bearing partition in the first story and through the proposed steel construction; I take it that there are no brick walls over the proposed 24" steel I-beams to be supported, if there were this steel work would have to be fireproofed; nothing adequate shown to tell or check how much loads will be delivered to these steel I-beams; indications on second floor confusing, apparently the intention being to provide two or three private dining rooms which are now sitting room, kitchenette, bedrooms, etc., attempt being made to show too much information on the same plan making too confusing to understand, for instance apparently there is a bathroom to be leading directly off of a proposed private dining room; etc., etc.

A preliminary examination by the Health Department raises some questions as follows: question of new kitchen in the cellar with only one window for ventilation; no arrangement of equipment in kitchen indicated; no toilet facilities or lavatories shown in the basement for the kitchen or other help; entrances to men's and women's toilet rooms on first floor such that both sexes would have to use a common passageway leading from the public hall which the Health Department cannot approve; no means of ventilation shown of certain inside bathrooms and also outside bathrooms on second floor.

It seems evident from the plans that the information furnished you by the owner is in a very preliminary stage. If something is not done immediately



UNLIMITED BUSINESS 701
APPLICATION FOR PERMIT

Class of Building or Type of Structure Second Class

Permit No. _____

Portland, Maine, November 5, 1911

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 999 Congress Street Within Fire Limits? yes Dist. No. 3
Owner's or lessee's name and address National Hotels, Inc., 122 Middle St. Telephone _____
Contractor's name and address H. Hyatt, Eastland Hotel Telephone spec.
Architect Nisbet & Griffin Plans filed yes No. of sheets 3
Proposed use of building Hotel No. families _____
Other buildings on same lot _____
Estimated cost \$ 5700 Fee \$ 6.00

Description of Present Building to be Altered

Material Frame No. stories 4 Heat _____ Style of roof _____ Roofing _____
Last use Hotel No. families _____

General Description of New Work

To make alterations to basement, first floor and second floor as per plan submitted.

*Plans destroyed
Similar work done under 5011796*

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? yes
Is any electrical work involved in this work? yes Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing lumber—Kiln-d _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span of _____ or 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes National Hotels, Inc.

INSPECTION COPY

Signature of owner By: [Signature]

614
612

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or printed text on the paper.

Inspector of Buildings
Portland, Maine

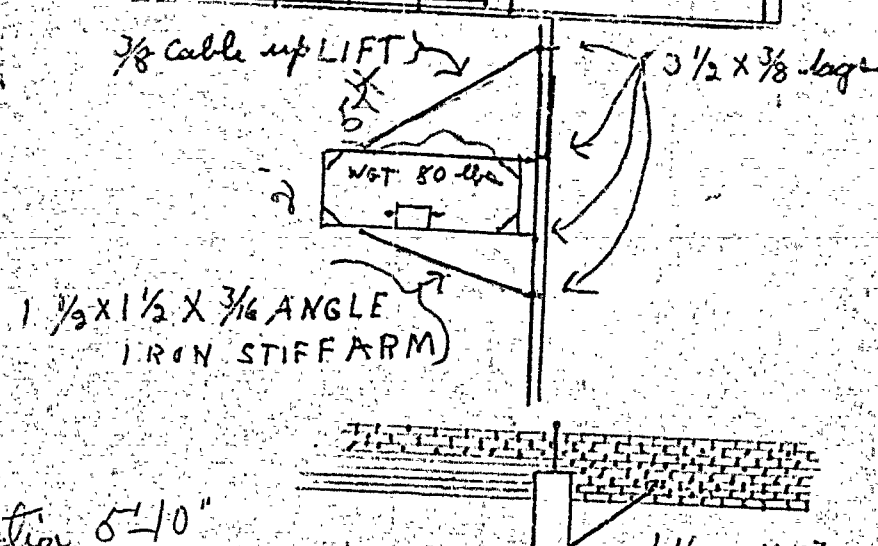
Dear Sir;

Understanding all essential details of the
proposition of erecting a projecting sign for

Victoria Hotel tenant, fastened to the build-
ing or on the premises at *939 Congress St.*
The owners approval of the proposition and authori-
zation to issue the permit covering the erection are
herewith given.

Yours signature. *H. J. Leonard*

SIGN VICTORIA Hotel
CONGRESS STREET
OWNER OF BUILDING



Projection 5'-10"

RECEIVED
 MAR 2 1939
 DEPT. OF BLD'G. INSP.
 CITY OF PORTLAND

1 1/2 x 1 1/2 x 3/16
 ANGLE IRON
 FRAME
 1" x 3/8 BOLTS



(2) LIMITED BUSINESS ZONE PERMIT NO. 1196

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, Mar. 2-1939. 17

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location: 939 Congress St.,

Within Fire Limits? Yes Dist. No.

Owner of building to which sign is to be attached E. J. Lessard,

Name and address of owner of sign Victoria Hotel, E. J. Lessard, 939 Congress St.

Contractor's name and address G. C. Fainsh Sign Co., 2251 Washington St. Telephone 4-1742

When does contractor's bond expire? Oct. 1-1940.

Information Concerning Building

No. stories four Material of wall to which sign is to be attached brick

Details of Sign and Connections

Electric? Yes Vertical dimension after erection 2 feet Horizontal 5 feet

Weight 80 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces two material metal

No. rigid connections three Are they fastened directly to frame of sign? yes

No. through bolts Size Location, top or bottom

No. guys two material angle iron 3/8" cable Size 3/8" - 1 1/2" x 1 1/2" x 3/16"

Minimum clear height above sidewalk or street 15 feet

Maximum projection into street 6 ft 10"

COPY OF FIRE DEPT.
INSPECTION COPY

Signature of contractor

G. C. Fainsh Sign Co.,

Fee \$ 1.00

G. C. Fainsh

3844C

Permit No. 39/190

Loc 939 Congress St.

Owner Victoria Hotel

Date of permit 8/6/39.

Sig attractor

Final Insp. 3/10/59 CAG

NOTES

Sticker

Ship Insp

3/6/39 ✓

Sign file plan made

Distance above street

11/10/39 ✓

Permanently Under side

1/10/39 ✓

923435

Permit # 923435 City of Portland BUILDING PERMIT APPLICATION Fee \$70. Zone _____ Map # _____ Lot# _____
 Please fill out any part which applies to job. Proper plans must accompany form.

Owner: S & K Partners Phone # 773-6481
 Address: c/o Westfield Inn; 939 Congress St; Portland, ME

LOCATION OF CONSTRUCTION 939 Congress St. 04102

Contractor: owner Sub: (Westfield Inn)

Address: _____ Phone # _____

Est. Construction Cost: 10,000 Proposed Use: boarding house/inn
boarding house/inn

of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____

Stories: _____ # Bedrooms _____ Lot Size: _____

Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____

Explain Conversion Interior renovations - four floors

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____
5. Bracing: Yes _____ No _____ Span(s) _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____
10. Masonry Materials _____ Weather Exposure _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

**PERMIT ISSUED
WITH LETTER**

White - Tax Assessor

For Official Use Only	
Date: <u>1/24/92</u>	Subdivision: _____
Inside Fire Limits: _____	Name: <u>FEB 21 1992</u>
Bldg Code: _____	Lot: _____
Time Limit: _____	Ownership: _____ Public _____ Private _____
Estimated Cost: <u>XXXXXX 10,000</u>	CITY OF PORTLAND

Zoning: _____
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____ Side _____

Review Required: _____

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____

Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____

Special Exception _____

Other: (Explain)

Ceiling:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceilings: _____
4. Insulation Type _____ Size _____
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____ Action: _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____

Chimneys:

Type: _____ Number of Fire Places _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required _____
2. No. of Tubs or Showers _____ Yes _____ No _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. Chase

Signature of Applicant Kenneth S. Ray Date 1/24/92

CEO's District 5 Kenneth S. Ray

CONTINUED TO REVERSE SIDE

Ivory Tag - CEO

**PERMIT ISSUED
WITH LETTER**

924444

Permit # 924444 City of Portland **BUILDING PERMIT APPLICATION** Fee \$27.40 Zone Map # Lot #
 Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Westfield Inn Inc. Phone #
 Address: 939 Congress St. ptld, ME 04102
 LOCATION OF CONSTRUCTION 939 Congress St.
 Contractor: Taylor Sign Co Sub: 774-7652
 Address: 110 High St; Ptld, ME Phone # 04101
 Est. Construction Cost: Proposed Use: hotel w sign
 Past Use: hotel
 # of Existing Res. Units # of New Res. Units
 Building Dimensions L W Total Sq. Ft.
 # of Stories # Bedrooms Lot Size:
 Is Proposed Use: Seasonal Condominium Conversion
 Explain Conversion Erect sign 3'x4'

For Official Use Only	
Date: <u>12/18/92</u>	Subdivision: <u>NEC 2-1 1992</u>
Inside Fire Limits <u> </u>	Lot: <u> </u>
Bldg Code: <u> </u>	Ownership: <u>CITY</u> Public <u> </u> Private <u> </u>
Time Limit <u> </u>	
Estimated Cost: <u> </u>	

Zoning: B-2
 Street Frontage Provided:
 Provided Setbacks: Front Back Side Side
 Review Required:
 Zoning Board Approval: Yes No Date:
 Planning Board Approval: Yes No Date:
 Conditional Use: Variance Site Plan Subdivision
 Shoreland Zoning Yes No Floodplain Yes No
 Special Exception
 Other (Explain)

65 C 1
 Foundation:
 1. Type of Soil:
 2. Set Backs - Front Rear Side(s)
 3. Footings Size:
 4. Foundation Size:
 5. Other

Floor: Prop Owner: S & K Partners
937 Congress - ptld
(Kenneth Ray)
 1. Sills Size: Sills must be anchored.
 2. Girder Size:
 3. Lally Column Spacing: Size:
 4. Joists Size: Spacing 16" O.C.
 5. Bridging Type: Size:
 6. Floor Sheathing Type: Size:
 7. Other Material:

Exterior Walls:
 1. Studding Size Spacing
 2. No. windows
 3. No. Doors
 4. Header Sizes Span(s)
 5. Bracing: Yes No
 6. Corner Posts Size
 7. Insulation Type Size
 8. Sheathing Type Size
 9. Siding Type Weather Exposure
 10. Masonry Materials
 11. Metal Materials

Interior Walls:
 1. Studding Size Spacing
 2. Header Sizes Span(s)
 3. Wall Covering Type
 4. Fire Wall if required
 5. Other Materials

White - Tax Assessor

Ceiling:
 1. Ceiling Joists Size:
 2. Ceiling Strapping Size Spacing
 3. Type Ceilings:
 4. Insulation Type Size
 5. Ceiling Height:
 Roof:
 1. Truss or Rafter Size Span
 2. Sheathing Type Size
 3. Roof Covering Type Date: 12-18-92
 Chimneys:
 Type: Number of Fire Places Signature: PL. MEYER
 Heating:
 Type of Heat:
 Electrical:
 Service Entrance Size: Smoke Detector Required Yes No
 Plumbing:
 1. Approval of soil test if required Yes No
 2. No. of Tubs or Showers
 3. No. of Flushes
 4. No. of Lavatories
 5. No. of Other Fixtures
 Swimming Pools:
 1. Type:
 2. Pool Size: x Square Footage
 3. Must conform to National Electrical Code and State Law.

Permit Received By Louise E. Chase
 Signature of Applicant Kathy K Taylor Date Dec 18, 1992
 CEO's District 5 Anthony Taylor

CONTINUED TO REVERSE SIDE 15 MA. WIN 27
 Ivory Tag - CEO



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date 8/17/92, 19
Receipt and Permit number 1073

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 939 Congress St.
OWNER'S NAME: S & K Apts ADDRESS: _____

OUTLETS: exit signs 6 FEES

Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL 6 1.20

FIXTURES: (number of) _____
Incandescent _____ Fluorescent _____ (not strip) TOTAL _____
Strip Fluorescent _____ ft. _____

SERVICES: _____

Overhead _____ Underground _____ Temporary _____ TOTAL amperes _____

METERS: (number of) _____

MOTORS: (number of) _____

Fractional _____

1 HP or over _____

RESIDENTIAL HEATING: _____

Oil or Gas (number of units) _____

Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING: _____

Oil or Gas (by a main boiler) _____

Oil or Gas (by separate units) _____

Electric Under 20 kws _____ Over 20 kws _____

APPLIANCES: (number of) _____

Ranges _____

Cook Tops _____

Wall Ovens _____

Dryers _____

Fans _____

TOTAL _____

MISCELLANEOUS: (number of) _____

Branch Panels _____

Transformers _____

Air Conditioners Central Unit _____

Separate Units (windows) _____

Signs 20 sq. ft. and under _____

Over 20 sq. ft. _____

Swimming Pools Above Ground _____

In Ground _____

Fire/Burglar Alarms Residential _____

Commercial x _____

Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____

over 30 amps _____

Circus, Fairs, etc. _____

Alterations to wires _____

Repairs after fire _____

Emergency Lights, battery 1856 6.00 18x00

Emergency Generators _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT _____

FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____

INSTALLATION FEE DUE: _____

DOUBLE FEE DUE: _____

TOTAL AMOUNT DUE: 242.00 22.20

INSPECTION: _____

Will be ready on 8/19/92, 19; or Will Call _____

CONTRACTOR'S NAME: Ecel Corp

ADDRESS: 534 High - Bath, ME

TEL: 442-8321

MASTER LICENSE NO.: Kevin Sprague

LIMITED LICENSE NO.: 1073

SIGNATURE OF CONTRACTOR: Kevin A. Sprague

INSPECTOR'S COPY — WHITE

OFFICE COPY — CANARY

CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS —

Permit Number 10-13

Location 737 CH01165

Owner: SP/HTS

Date of Permit 2-1-71

Final Inspection 12-4-93

By Inspector

Permit Application Register: Page 46. 1/1/2017

INSPECTIONS: Service _____ by _____

Service called in _____

Closing-in 9-10-92 by YB

PROGRESS INSPECTIONS: _____

[illegible]

930421

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$39.40 Zone _____ Map # _____ Lot # _____
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: S & K Partners Phone # 774-6257
Address: 939 Congress St. Portland, 04101
LOCATION OF CONSTRUCTION 939 Congress St.
Contractor: Taylor Sign Sub: _____
Address: 110 High St. Portland Phone # 774-7652
Est. Construction Cost: _____ Proposed Use: Hotel
Past Use: _____
of Existing Res. Ur _____ # of New Res. Units _____
Building Dimensions L _____ W _____ Total Sq. Ft. _____
Stories: _____ # Bedrooms _____ Lot Size: _____
Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
Explain Conversion to erect 6' X 12' cloth banner mounted on building
as per plans

For Official Use Only	
Date <u>April 8, 1993</u>	Subdivision: <u>MAY 25 1993</u>
Inside Fire Limits _____	Name _____
Bldg Code _____	City of PORTLAND
Time Limit _____	Ownership: _____
Estimated Cost _____	PERMIT
Zoning: <u>R2</u>	
Street Frontage Provided: _____	
Provided Setbacks: Front _____ Back _____ Side _____ Side _____	
Review Required:	
Zoning Board Approval: Yes _____ No _____ Date: _____	
Planning Board Approval: Yes _____ No _____ Date: _____	
Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____	
Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____	
Special Exception _____	
Other (Explain) <u>WDA 4-12-93</u>	

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floors:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

White - Tax Assessor

Ceiling:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ Spacing _____ ☒ Not in District nor Landmark.
3. Type Ceilings: _____ ☒ Does not require review.
4. Insulation Type _____ Size _____ ☒ Requires Review.
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____ Action _____ Approved _____
2. Sheathing Type _____ Size _____ ☒ Approved with conditions
3. Roof Covering Type _____

Chimneys:

- Type: _____ Number of Fire Places _____ Date: 4/8/93
Signature: [Signature]

Heating:

- Type of Heat: _____

Electrical:

- Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Permit Received By LatiniSignature of Applicant [Signature] Date 4/8/93CEO's District 5 Anthony R. Taylor

CONTINUED TO REVERSE SIDE

Ivory Tag - CEO

[5] MR. WILLY

924444

Permit # 924444 City of Portland BUILDING PERMIT APPLICATION Fee \$27.40 Zone Map # Lot #
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Westfield Inn Inc. Phone #
Address: 939 Congress St. Ptld, ME 04102
LOCATION OF CONSTRUCTION 939 Congress St.
Contractor: Taylor Sign Co Sub.: 774-7652
Address: 110 High St; Ptld, ME Phone # 04101
Est. Construction Cost: Proposed Use: hotel w sign
Past Use: hotel
of Existing Res. Units # of New Res. Units
Building Dimensions L W Total Sq. Ft.
Stories: # Bedrooms Lot Size:
Is Proposed Use: Seasonal Condominium Conversion
Explain Conversion Erect sign 3'x4'

65 C 1

Foundation:

1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other:

Floor:

1. Sills Size:
2. Girder Size:
3. Lally Column Spacing: Size:
4. Joists Size: Spacing 16" O.C.
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material:

Exterior Walls:

1. Studding Size Spacing
2. No. windows
3. No. Doors
4. Header Sizes Span(s)
5. Bracing: Yes No
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type Size
9. Siding Type
10. Masonry Materials Weather Exposure
11. Metal Materials

Interior Walls:

1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

Whits - Tax Assessor

For Official Use Only

Date 12/18/92 Subdivision:
Inside Fire Limits Name DEC 21 1992
Bldg Code Lot
Time Limit Ownership
Estimated Cost Public

CITY OF PORTLAND

Zoning: B-2
Street Frontage Provided:
Provided Setbacks: Front Back Side Side
Review Required:
Zoning Board Approval: Yes No Date:
Planning Board Approval: Yes No Date:
Conditional Use: Variance Site Plan Subdivision
Shoreland Zoning Yes No Floodplain Yes No
Special Exception
Other (Explain)

Ceiling:

1. Ceiling Joists Size:
2. Ceiling Strapping Size Spacing:
3. Type Ceilings:
4. Insulation Type Size
5. Ceiling Height:

Roof:

1. Truss or Rafter Size
2. Sheathing Type
3. Roof Covering Type Size

Chimneys:

1. Type: Number of Flues Date:

Heating:

1. Type of Heat: 15 MA. WILKINSON

Electrical:

1. Service Entrance Size: Smoke Detector Required Yes No

Plumbing:

1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:

1. Type:
2. Pool Size: Square Footage
3. Must conform to National Electrical Code and State Law.

Permit Received By

Louise E. Chase

Signature of Applicant

Anthony Taylor

Date Dec 18, 1992

CEO's District

5

CONTINUED TO REVERSE SIDE

Ivory Tag - CEO

15 MA. WILKINSON

PLOT PLAN

N

FEES (Breakdown From Front)

Base Fee \$ 37.90
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Inspection Record

Type	Date
6	6/18/93

COMMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

PHONE NO.

774-7652

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE NO.

CERTIFICATE OF INSURANCE					ISSUE DATE (MM/DD/YY) 12/17/92	
PRODUCER Clark Associates 2331 Congress Street P O Box 3543 Portland, ME 04104 (207) 774-6257			THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.			
INSURED E & F Partners Kenneth Ray & Scott Lalumiere 937 Congress Street Portland, ME 04102			COMPANIES AFFORDING COVERAGE COMPANY LETTER A Continental Insurance Co COMPANY LETTER B COMPANY LETTER C COMPANY LETTER D COMPANY LETTER E			
COVERAGE: THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED HEREIN FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WHICH MAY REQUIRE THE CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.						
CO LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE	POLICY EXPIRATION DATE	LIMITS	
A	GENERAL LIABILITY ☒ COMMERCIAL GENERAL LIABILITY ☐ CLAIMS MADE ☒ OCCUR. ☐ OWNER'S & CONTRACTOR'S PROT.	13CBP0613589993	10/02/92	10/02/93	GENERAL AGGREGATE \$ 2,000,000 PRODUCTS-COMP/OPS AGGREGATE \$ 2,000,000 PERSONAL & ADVERTISING INJURY \$ 1,000,000 EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MEDICAL EXPENSE (Any one person) \$ 5,000	
	AUTOMOBILE LIABILITY ☐ ANY AUTO ☐ ALL OWNED AUTOS ☐ SCHEDULED AUTOS ☐ HIRED AUTOS ☐ NON-OWNED AUTOS ☐ GARAGE LIABILITY	RECEIVED DEC 18 1992 DEPT OF SALES & MARKETING CITY OF PORTLAND			COMBINED SINGLE LIMIT \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$	
	EXCESS LIABILITY ☐ Umbrella Form ☐ Other Than Umbrella Form				EACH OCCURRENCE \$ AGGREGATE \$	
	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY				STATUTORY LIMITS EACH ACCIDENT \$ DISEASE - POLICY LIMIT \$ DISEASE - EACH EMPLOYEE \$	
	OTHER					
DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL ITEMS The above policy applies to premises at 937-943 Congress Street, Portland, Maine (a.k.a. "The Westfield Inn")						
CERTIFICATE HOLDER The City of Portland 389 Congress Street Portland ME 04101			CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.			
			AUTHORIZED REPRESENTATIVE <i>Nancy Burton</i>			

2 GUYS, 1/8" STEEL
CABLE & TURNBUCKLES

BRACKET,
2" ANGLE IRON

3/8" EYE BOLTS W/ NUT IMBEDDED
IN HARDWOOD FRAME

3/8" BOLT



PROPOSED SIGN AT 939 CONGRESS ST.

ALL NEW MATERIAL, CONSISTING OF 1/2" MDO
PLYWOOD ON DOWELLED HARDWOOD FRAME.

8'-6" TO GROUND

RECEIVED

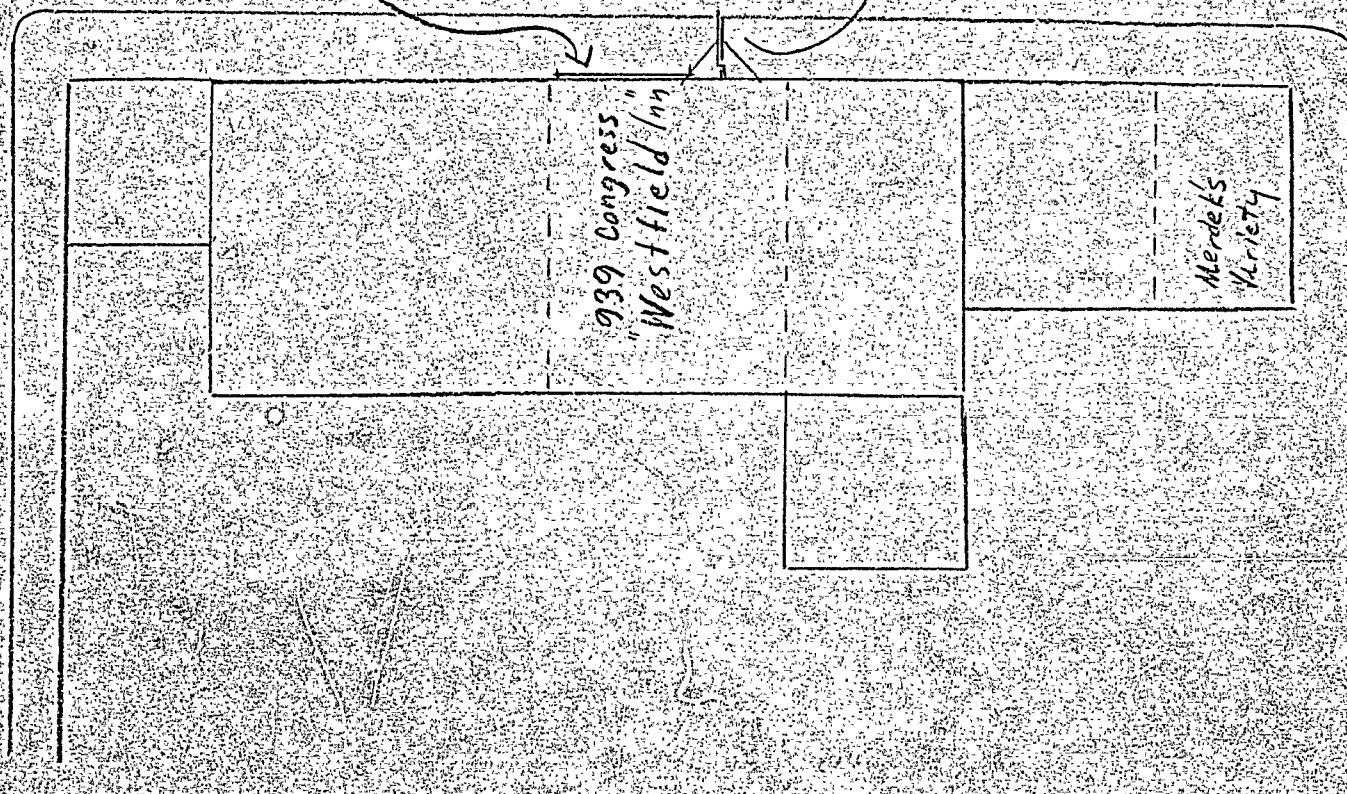
DEC 18 1992

DEPT. OF TRANSPORTATION
CITY OF PORTLAND

Fascia sign - Repaint Only

Projecting sign
to replace present
Westfield Inn sign

CONGRESS ST



S. & K PARTNERS
939 CONGRESS STREET
PORTLAND, ME 04102

DECEMBER 15, 1992

To whom this may concern,

I, Kenneth S. Ray, owner of property at 939 Congress Street, Portland, Maine, hereby grant permission to Taylor Sign Co. to install signs on this building as follows: (1) Reface existing 2 x 16 ft. fascia sign. (2) 3 x 4 ft. projecting sign.

Signed,

Kenneth S. Ray
Kenneth S. Ray
Owner

RECEIVED
DEC 18 1992
DEPT. OF CONSTRUCTION
CITY OF PORTLAND

930421 930421

Permit # 930421 City of Portland BUILDING PERMIT APPLICATION Fee \$39.40 Zone Map # Lot #

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: S & K Partners Phone # 774-6237
Address: 939 Congress St. Portland, 04101
LOCATION OF CONSTRUCTION 939 Congress St.
Contractor: Taylor Sign Sub:
Address: 110 High St. Portland Phone # 774-7652

Est. Construction Cost: Proposed Use: Hotel

of Existing Res. Units # of New Res. Units

Building Dimensions L W Total Sq. Ft.

Stories: # Bedrooms Lot Size:

Is Proposed Use: Seasonal Condominium Conversion

Explain Conversion to erect 6' X 12' cloth banner mounted on building

Foundation:

1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:
5. Other

Floor:

1. Sills Size: Sills must be anchored.
2. Girder Size:
3. Lally Column Spacing: Size:
4. Joists Size: Spacing 16" O.C.
5. Bridging Type: Size:
6. Floor Sheathing Type: Size:
7. Other Material:

Exterior Walls:

1. Studding Size Spacing
2. No. windows
3. No. Doors
4. Header Sizes Span(s)
5. Bracing: Yes No
6. Corner Posts Size
7. Insulation Type Size
8. Sheathing Type Size
9. Siding Type Weather Exposure
10. Masonry Material:
11. Metal Materials

Interior Walls:

1. Studding Size Spacing
2. Header Sizes Span(s)
3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

White - Tax Assessor

For Official Use Only	
Date <u>Apr 18 1993</u>	Subdivision <u> </u>
Inside Fire Limits <u> </u>	Name <u> </u>
Blgd Code <u> </u>	Lot <u> </u>
Time Limit <u> </u>	Owner <u> </u>
Estimated Cost <u> </u>	Private <u> </u>

Zoning: R2
Street Frontage Provided:
Provided Setbacks: Front Back Side Side

Review Required:
Zoning Board Approval: Yes No Date:
Planning Board Approval: Yes No Date:
Conditional Use: Variance Site Plan Subdivision
Shoreland Zoning Yes No Floodplain Yes No
Special Exception
Other (Explain)

Ceiling:

1. Ceiling Joists Size:
2. Ceiling Strapping Size Spacing Not in District nor Landmark
3. Type Ceilings: Does not require review
4. Insulation Type Size Requires Review
5. Ceiling Height:

Roof:

1. Truss or Rafter Size Span Action: Approved
2. Sheathing Type Size Approved with Conditions
3. Roof Covering Type Denied

Chimneys:

Type: Number of Fire Places Date: 4/18/93

Heating:

Type of Heat:

Electrical:

Service Entrance Size: Smoke Detector Required Yes No

Plumbing:

1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:

1. Type:
2. Pool Size: x Square Footage
3. Must conform to National Electrical Code and State Law.

Permit Received By Latini

Signature of Applicant Anthony R. Taylor Date 4/8/93

CEO's District 5

CONTINUED TO REVERSE SIDE

Ivory Tag - CEO

PERMIT ISSUED

MAY 25 1993

CITY OF PORTLAND

HISTORIC PRESERVATION

[5] MAY 19 1993

PLOT PLAN



FEES (Breakdown From Front)

Base Fee \$ 39.40
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Inspection Record

Type	Date
<i>Permit to enter</i>	<i>11/1/93</i>
<i>Site plan</i>	<i>11/1/93</i>
<i>MS</i>	<i>11/1/93</i>
<i>[Crossed out]</i>	<i>[Crossed out]</i>
<i>[Crossed out]</i>	<i>[Crossed out]</i>

COMMENTS drawings and proof of liability submitted

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

PHONE NO.

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE NO.

APR 7 '93 12:45

PAGE 001

CERTIFICATE OF INSURANCE					ISSUE DATE (MM/DD/YY) 04/07/93	
PRODUCER Clark Associates 2331 Congress Street P O Box 1543 Portland, ME 04101 (207) 774-5257			THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AND EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.			
INSURED S & K Partners Kenneth May & Scott Lalumiere 937 Congress Street Portland, ME 04102			COMPANIES AFFORDING COVERAGE COMPANY LETTER A COMPANY LETTER B COMPANY LETTER C COMPANY LETTER D COMPANY LETTER E			
COVERAGE THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, WITHOUT MAKING ANY RESERVATION, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.						
CO LINE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE	POLICY EXPIRATION DATE	LIMITS	
A	GENERAL LIABILITY (X) COMMERCIAL GENERAL LIABILITY () CLAIMS MADE (X) OCCUR. () OTHER'S & CONTRACTOR'S EXPT.	13CBP0613589993	10/02/92	10/02/93	GENERAL AGGREGATE \$ 2,800,000 PRODUCTS-COMP/OPS AGGREGATE \$ 2,000,000 PERSONAL & ADVERTISING INJURY \$ 1,000,000 EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MEDICAL EXPENSE (Any one person) \$ 5,000	
	AUTOMOBILE LIABILITY () ANY AUTO () ALL OWNED AUTOS () SCHEDULED AUTOS () HIRED AUTOS () NON-OWNED AUTOS () GARAGE LIABILITY				COMBINED SINGLE LIMIT BODILY INJURY (Per person) BODILY INJURY (Per accident) PROPERTY DAMAGE	
	EXCESS LIABILITY () Umbrella Form () Other Than Umbrella Form				EACH OCCURRENCE AGGREGATE	
	WORKER'S COMPENSATION AND EMPLOYERS' LIABILITY				STATUTORY LIMITS EACH ACCIDENT DISEASE - POLICY LIMIT DISEASE - EACH EMPLOYEE	
	OTHER:					
DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EQUIPMENT RE: Sign Permit for 937-943 Congress St. Portland Maine						
CERTIFICATE HOLDER City of Portland 369 Congress Street Portland ME 04101			CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL endeavor TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER BY REGISTERED MAIL, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.			
			AUTHORIZED REPRESENTATIVE <i>Nancy Burton</i>			

lettering
trucks
floors
storefronts
illustrations
architectural
drafting
reading
historic
buildings
surveys
designs
logos
signs
interiors
historical
styles by

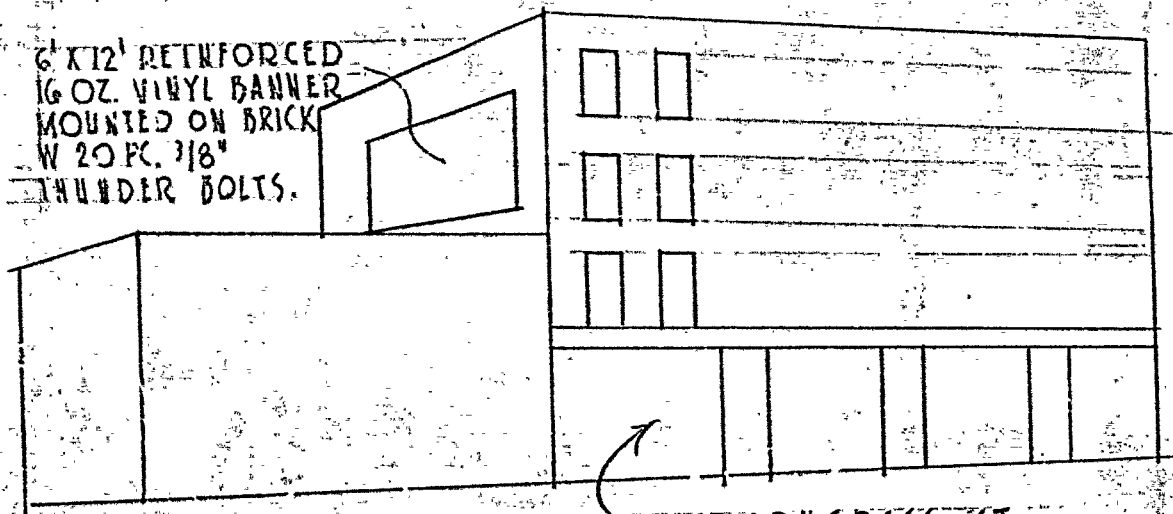
Anthony
Taylor



110 High Street
Portland, Maine 04101
774-7652

April 8, 1993

6' X 12' REINFORCED
16 OZ. VINYL BANNER
MOUNTED ON BRICK
W 20 PC. 3/8"
THUNDER BOLTS.



93.9 CONGRESS ST

LOCATION OF SIGN

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 939 Congress St		Owner: Inn at St John Corp.		Phone:		Permit No: 951061	
Owner Address: SAA 04102		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: Anthony Taylor		Address:		Phone:		Permit Issued: OCT 10 1995	
Past Use: Inn		Proposed Use: Same		COST OF WORK: \$		PERMIT FEE: \$ 44.20	
Proposed Project Description: Repainting <i>on CANVAS</i> XXXXXX existing signage XXXXXXXXXX (8 x 12)		FIRE DEPT. ☐ Approved ☐ Denied		INSPECTION: Use Group & Type: <i>58</i> <i>MA 250</i>		CITY OF PORTLAND	
		Signature:		Signature:		Zone: CBL: 065-C-001	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: ☐ Approved ☐ Approved with Conditions ☐ Denied		Zoning Approval: <i>OK-3</i> <i>10/6/95</i>	
Permit Taken By: Mary Gresik		Date Applied For: 03 October 1995		Signature:		Date:	

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Call Paul Hood for P/U 773-6481

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT *Paul Hood* *ADDA 55*

DATE: 03 Oct 95

PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal

- ☐ Variance
- ☐ Miscellaneous
- ☐ Conditional Use
- ☐ Interpretation
- ☐ Approved
- ☐ Denied

Historic Preservation

- ☐ Not in District or Landmark
- ☒ Does Not Require Review
- ☐ Requires Review

Action:

- ☐ Approved
- ☐ Approved with Conditions
- ☐ Denied

Date: *10/9/95*

CEO DISTRICT

3

A. Simpson

City of Portland, Maine - Building or Use Permit Application *389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 939 Congress St		Owner: Inn at St John Corp.		Phone:		Permit No. 951061	
Owner Address: SAA 04102		Lease/Buyer's Name:		Phone:		Business Name:	
Contractor Name: Anthony Taylor		Address:		Phone:		PERMIT ISSUED	
Past Use: Inn		Proposed Use: Same		COST OF WORK: \$		PERMIT FEE: \$ 44.20	
Proposed Project Description: Repainting on canvas REPAIR existing signage - 12/15/95 (8 x 12)		FIRE DEPT. ☐ Approved ☐ Denied		INSPECTION: Use Group 1A Type 1A Signature: [Signature]		CITY OF PORTLAND	
		Signature:		Signature:		Zone: B-2 CBL: 065-C-001	
		PEDESTRIAN ACTIVITIES DISTRICT 1A Action: ☐ Approved ☐ Approved with Conditions ☐ Denied		Signature:		Date:	
Permit Taken By: Kary Grawik		Date Applied For: 03 October 1995					

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Call Paul Hood for P/U **773-6481**

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT **Paul Hood**

ADDRESS:

DATE: **03 Oct 95**

PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

- Zoning Appeal**
- ☐ Variance
 - ☐ Miscellaneous
 - ☐ Conditional Use
 - ☐ Interpretation
 - ☐ Approved
 - ☐ Denied

- Historic Preservation**
- ☐ Not in District or Landmark
 - ☒ Does Not Require Review
 - ☐ Requires Review

Action:

- ☐ Approved
- ☐ Approved with Conditions
- ☐ Denied

Date: **10/3/95**

CEO DISTRICT **5**

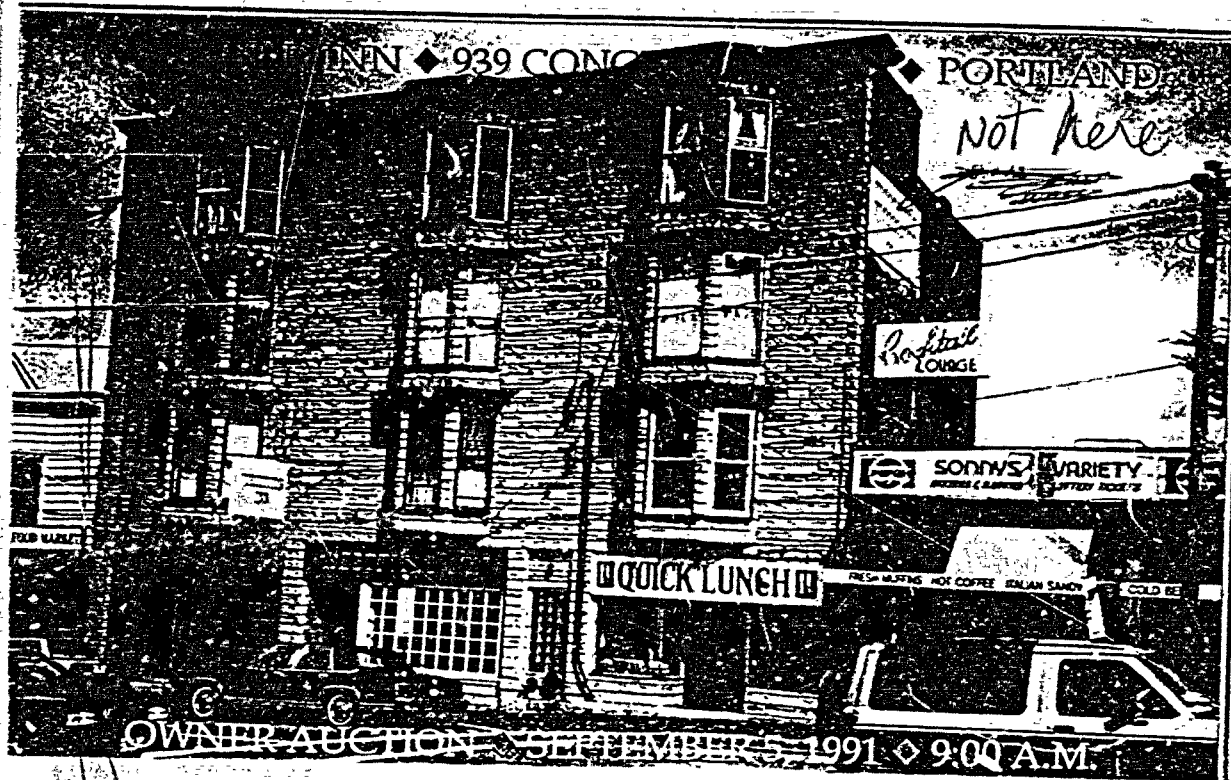
M. WING

COMMENTS

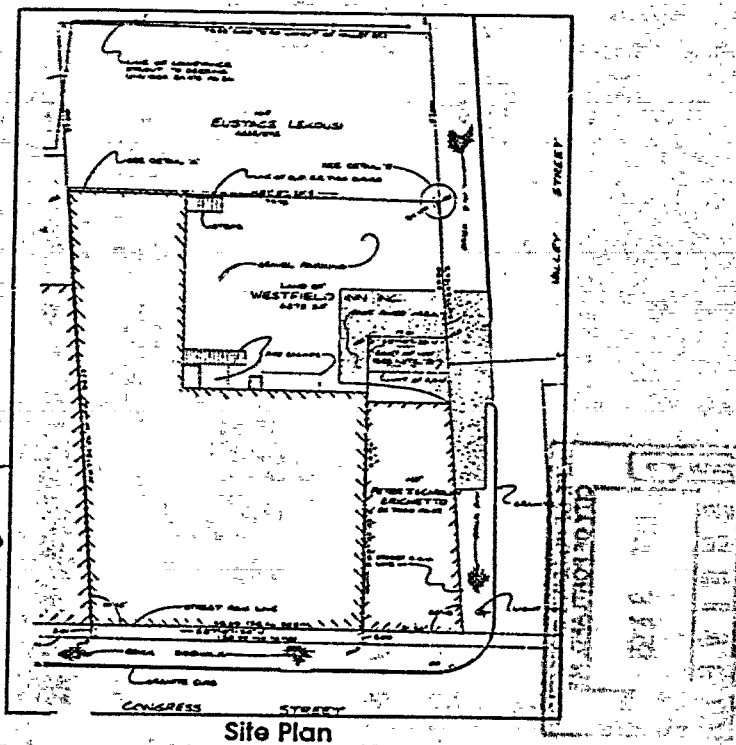
11/13/95 Checked signage on
curves OK as per photo
OTW

Inspection Record

Type	Date
Foundation:	
Framing:	
Plumbing:	
Final:	
Other:	



Sign to
go here
on A CANVAS



SIGNAGE APPLICATION

ADDRESS: 939 Congress St B-2 Zone
 OWNER: INN AT St John Corp
 APPLICANT: Paul Hood

ASSESSORS NO.: 65-C-1

SINGLE TENANT LOT? YES: ☒ Quick lunch is out of the way - same side all one use NO: ☐

MULTI-TENANT LOT? YES: ☐ NO: ☐

FREESTANDING SIGN? YES: ☐ NO: ☐

DIMENSIONS: _____

MORE THAN ONE SIGN? ☐

BLDG. WALL SIGN? YES: ☒ on left hand side as facing the Bldg NO: ☐

DIMENSIONS: _____

DIMENSIONS: 8x12-96"

DIMENSIONS: Not Blue

MORE THAN ONE SIGN? ☐

LIST ALL EXISTING SIGNAGE, INCLUDING THEIR DIMENSIONS: _____

LOT FRONTAGE (IN FEET): _____

BLDG FRONTAGE (IN FEET): 58 1/2' x 2 = 117'

AWNING? YES: ☐ NO: ☐ IS AWNING BACKLIT? YES: ☐ NO: ☐

HEIGHT OF AWNING: _____

IS THERE ANY COMM. MESSAGE, TRADEMARK, OR SYMBOL ON IT? _____

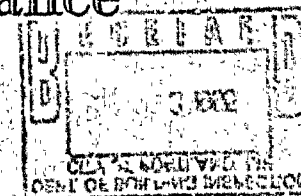
PLEASE PROVIDE A SITE SKETCH AND A BUILDING SKETCH, SHOWING EXACTLY WHERE EXISTING AND NEW SIGNAGE IS LOCATED.

WE WILL NEED SKETCHES AND/OR PICTURES OF THE PROPOSED SIGNS INCLUDING STRUCTURAL COMPONENTS.

A: SIGNLIST

Certificate of Flame Resistance

ISSUED BY
CORMIER TEXTILE PRODUCTS, INC.
1 RIVER STREET
SANFORD, MAINE 04073



This is to certify that the materials described below are inherently nonflammable.

FOR: _____ ADDRESS: _____

CITY: _____ STATE: _____

- ☒ The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

Date Manufactured: 1995
Product: 10 OZ. (STANDARD COLORS); 10 OZ. ENAMEL RECEPTIVE;
13 OZ., 13 OZ. ENAMEL RECEPTIVE; 12 OZ. BLACKOUT (WHITE); AND
16 OZ. BLACKOUT.

The Flame Retardant Process Used WILL NOT Be Removed By Washing

CORMIER TEXTILE PRODUCTS, INC.

signed: Kenneth A. Cormier
Kenneth A. Cormier, President

Name of Company Officer
(207) 490-2400

Corporate Seal

ACORD CERTIFICATE OF INSURANCE

ISSUE DATE 09/19/95

PRODUCER

Clark Associates
2331 Congress Street
P O Box 3543
Portland ME 04104

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY LETTER A Continental Insurance Co
COMPANY LETTER B
COMPANY LETTER C
COMPANY LETTER D
COMPANY LETTER E

INSURED

S K Partners dba "The Inn at St. John"
Kenneth Ray & Scott Labadie
47 Portland St, Suite 1
Portland ME 04101

COVERAGE

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED, NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LINE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY ☒ COMMERCIAL GENERAL LIABILITY ☐ CLAIMS MADE ☒ OCCUR ☐ OWNERS & CONTRACTORS PROX.	13CBP06135398-95	10/2/94	10/2/95	GENERAL AGGREGATE \$ 2000000 PRODUCERS COMPOUND AGG. \$ 2000000 PERSONAL & ADL. INJURY \$ 1000000 EACH OCCURRENCE \$ 1000000 FAC DAMAGE (Any one loss) \$ 50000 MED. EXPENSE (Any one person) \$ 5000
A	AUTOMOBILE LIABILITY ☐ ANY AUTO ☐ ALL OWNED AUTOS ☐ SCHEDULED AUTOS ☐ HIRED AUTOS ☒ NON-OWNED AUTOS ☐ GARAGE LIABILITY	13CBP06135398-95	10/02/94	10/02/95	COMBINED SINGLE LIMIT \$ 1000000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	EXCESS LIABILITY ☐ UMBRELLA FORM ☐ OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS LIABILITY				STATUTORY LIMITS EACH ACCIDENT \$ DISEASE - POLICY LIMIT \$ DISEASE - EACH EMPLOYEE \$
	OTHER				

DESCRIPTION OF OPERATION, LOCATION, VEHICLES, SPECIAL ITEMS
NEW SIGN INSTALLATION

City of Portland
Attn: Mark Gresh
299 Congress Street
Portland ME 04104

CANCELLATION
SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

G. Lee Ramsdell

G. Lee Ramsdell

ACORD CORPORATION

ACORD. CERTIFICATE OF INSURANCE

ISSUE DATE (MM/DD/YY)
09/18/95

PRODUCER

Clark Associates
2331 Congress Street
P O Box 3643
Portland ME 04104

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

COMPANIES AFFORDING COVERAGE

COMPANY LETTER	A	Continental Insurance Co
COMPANY LETTER	B	
COMPANY LETTER	C	
COMPANY LETTER	D	
COMPANY LETTER	E	

INSURED

S K Partners dba "The Inn at St John"
Kenneth Ray & Scott Levesque
47 Portland St, Suite 1
Portland ME 04101

COVERAGES

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

CO LINE	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY ☒ COMMERCIAL GENERAL LIABILITY ☒ CLAIMS MADE ☒ OCCUR OWNERS & CONTRACTOR'S PRIDE	13CBP08135896-95	10/02/94	10/02/95	GENERAL AGGREGATE \$ 2000000 PRODUCTS-COMP OF / P&G \$ 2000000 PERSONAL & ADJ INJURY \$ 1000000 EACH OCCURRENCE \$ 1000000 FIRE DAMAGE (Any one fire) \$ 50000 MED. EXPENSE (Any one person) \$ 5000
A	AUTOMOBILE LIABILITY ☐ ANY AUTO ☐ ALL OWNED AUTOS ☐ SCHEDULED AUTOS ☐ HIRED AUTOS ☒ NON-OWNED AUTOS ☐ GARAGE LIABILITY	13CBP08135896-95	10/02/94	10/02/95	COMBINED SINGLE LIMIT \$ 1000000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE \$
	EXCESS LIABILITY ☐ UMBRELLA FORM ☐ OTHER THAN UMBRELLA FORM				EACH OCCURRENCE \$ AGGREGATE \$ STATUTORY LIMITS
	WORKERS COMPENSATION AND EMPLOYEE'S LIABILITY				EACH ACCIDENT \$ DISEASE - POLICY LIMIT \$ DISEASE - EACH EMPLOYEE \$
	OTHER				
DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/SPECIAL RISKS Ex: New Sign Installation					
CERTIFICATE HOLDER City of Portland Attn: Mark Greak 399 Congress Street Portland ME 04101			CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE COMPANY, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE G. Lee Remick <i>[Signature]</i> GACORD CORPORATION 1963		

The
INN

773-6481

- *Free Parking*
- *Local Calls*
- *Cable* / **HBO**

**RATES
START
AT**

29⁹⁵

023435

Permit # 023435 City of Portland BUILDING PERMIT APPLICATION Fee 70 Zone Map # Lot #

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: S. J. K. Paremore Phone # 773-8821
 Address: 670 Westfield Inn; 939 Congress St; Portland, ME
 LOCATION OF CONSTRUCTION 939 Congress St.
 (The Inn at St. John) Sub: (Westfield Inn)
 Contractor: Address: Phone #

Est. Construction Cost: 10,000 Proposed Use: boarding house/inn
 Past Use: boarding house/inn

of Existing Res. Units # of New Res. Units
 Building Dimensions L W Total Sq. Ft.

Stories: # Bedrooms Lot Size:

Is Proposed Use: Seasonal Condominium Conversion

Explain Conversion: Interior renovations - four floors

Foundation:

1. Type of Soil:
2. Set Backs - Front Rear Side(s)
3. Footings Size:
4. Foundation Size:

Floor:

Sills must be anchored.

Size:	
Spacing 16" O.C.	
Size:	
Size:	
Spacing	
No.	Span(s)
Size	
Size	
Weather Exposure	
Spacing	
Span(s)	

3. Wall Covering Type
4. Fire Wall if required
5. Other Materials

White - Tax Assessor

For Official Use Only

Date Subdivision
 Inside Fire Limits
 Bldg Code
 Time Limit
 Estimated Cost

PERMIT ISSUED
 FEB 20 1992
 CITY OF PORTLAND

Zoning: Street Frontage Provided:
 Provided Setbacks: Front Back Side Side

Review Required:
 Zoning Board Approval: Yes No Date:
 Planning Board Approval: Yes No Date:
 Conditional Use: Variance Site Plan Subdivision
 Shoreland Zoning Yes No Floodplain Yes No
 Special Exception
 Other (Explain) 2-4-2

Ceiling:

1. Ceiling Joists Size: Not in District per Landmark
2. Ceiling Strapping Size Spacing Does not require review
3. Type Ceilings:
4. Insulation Type Size Requires Review
5. Ceiling Height:

Roof:

1. Truss or Rafter Size Span Action: Approved
2. Sheathing Type Size Approved with Cond
3. Roof Covering Type Date 4/1/92

Chimneys:

Type: Number of Fire Places Signature: [Signature]

Heating:

Type of Heat:

Electrical:

Service Entrance Size: Smoke Detector Required: Yes No

Plumbing:

1. Approval of soil test if required Yes No
2. No. of Tubs or Showers
3. No. of Flushes
4. No. of Lavatories
5. No. of Other Fixtures

Swimming Pools:

1. Type:
2. Pool Size: Square Footage
3. Must conform to National Electrical Code and State Law

Permit Received By: Louise E. Chase

Signature of Applicant Kenneth S. Ray Date 1/24/92

CEO's District 15 Kenneth S. Ray

CONTINUED TO REVERSE SIDE

Ivory Tag - CEO

PLOT PLAN

N



FEES (Breakdown From Front)

Base Fee \$ 770
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Inspection Record

Type	Date
Re/Minor work started	4/15/92
2nd Floor rooms	7/16/92
Ret ready for Cert	10/18/92
Ready for Cert of Occ.	12/29/92

COMMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as has authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Kenneth A. Ray - Partner, StK Partners
 SIGNATURE OF APPLICANT

ADDRESS

939 Congress Pkwy NW 04100 793.6481
 PHONE NO.

Ken Ray - Partner
 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE NO.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 939 Congress St. (The Inn at St. John)

Issued to S & K Partners

Date of Issue 12/31/92

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 92/3435 has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Right-hand side of building

boarding house/inn

- four floors - sixteen rooms -

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 939 Congress St. (The Inn at St. John)

Issued to S & K Partners

Date of Issue 13 Feb 95

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 92/3435, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Boarding House/Inn

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

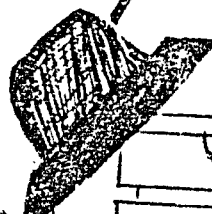
(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

"INN" Transition?
Hang Your Hat Here.



Free local calls
♦
Free continental
breakfast

Call

773/6481



939 Congress St.
Relax in our clean, newly
renovated rooms.
Starting at ~~25~~ 26⁰⁰ + tax

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

February 20, 1992

S & K Partners
Westfield Inn
939 Congress St.
Portland, ME 04102

Re: 939 Congress St.

Dear Sir,

Your application to make interior renovations (four floors) has been reviewed and a permit is herewith issued subject to the following requirements:

No certificate of occupancy can be issued until all requirements of this letter are met.

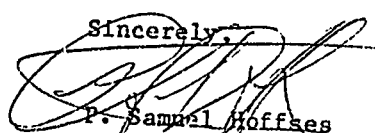
Reference N.F.P.A. 101 Life Safety Code for the following requirements.

1. Doors shall comply with Section 5-21 of N.F.P.A. 101 Life Safety Code and any other provisions of Chapter 17.
 2. Stairs shall comply with Section 5-2.2 (See 25).
 3. Fire escape stairs shall be in accordance with Section 5-2.8 and shall be continuous to the ground or be provided with a swinging stair to the ground (counter balance).
 4. The existing wooden fire escape stair may be repaired only if a structural engineer's report is submitted that documents the structural integrity. Any repairs shall be done with 2" minimum dimensional pressure treated wood.
 5. If necessary, repairs and replacement of fire escapes shall be done in accordance with Section 5-2.8. Plans shall be submitted for further review. All replacement must be done with approved noncombustible materials.
 6. Stairway that discharges through the front lobby shall be enclosed at the level of exit discharge in accordance with Section 17-2.7.2.
 7. Means of egress shall be illuminated in accordance with Section 5-8.
 8. Emergency lighting shall be provided in accordance with Section 5-9.
 9. Means of egress shall have signs in accordance with Section 5-10.
 10. Vertical openings shall be projected in accordance with Section 17-3.1.1 (Also see note 11 on plans).
 11. Hazardous areas shall be protected as specified in Section 17-3.2.2.
- Note: The existing boilerroom and storageroom doors shall be provided with a latch and self-closure. The existing fusible link devices are not acceptable.

12. Interior finishes shall be in accordance with Section 17-3.3.
13. A fire alarm system is required and shall be reviewed by separate permit application.
14. A complete automatic sprinkler system is required and shall be reviewed by a separate permit application and also reviewed by the State Fire Marshal's Office.
15. Portable extinguishers shall be provided in hazardous areas in accordance with Section 17-3.5.3 and N.F.P.A. #10.
16. Guestroom doors shall resist the passage of smoke, be equipped with latches and be self-closing. Ref Section 17-3.6.
17. Door to guestrooms shall have latches in accordance with Section 5-2.1.5.3. Double cylinder dead bolts are not permitted.
18. Interior stair of rear "Lounge" shall be a 1 hour rated protected vertical opening.
19. Door from Lounge to rear exit shall swing in the direction of exit travel.
20. Exit Hardware on doors from Lounge shall be panic hardware.
21. Aisle widths in Lounge area shall be in accordance with Section 9-2.5.9.2.
22. Chair back to chair back spacing shall be in accordance with Section 9-2.5.5.3 and 9-2.5.5.4.
23. Emergency lighting, normal illumination and Marking of Means of Egress shall be in accordance with Section 5-9, 5-8, and 5-10.
24. Interior finish of Lounge area shall be in accordance with Section 9-3.3.
25. Stairs at rear of lounge must be constructed at a minimum of 44" wide. A maximum riser height of 7" and minimum tread depth of 11" measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the treads leading edge is required.
26. Stairway shall have continuous guards and handrails on both side.
27. Handrails shall not be less than 34" nor more than 38".
28. Guards and handrail requirements can be found under Article 8 Sections 824 (Guards) and 825 (Handrail of the 1990 BOCA National Bldg Code).
29. Your permit application states an estimated cost of \$10,000 for the proposed renovations. Either supply your contract to the effect of this value or re-estimate the cost to reflect better estimated costs.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

cc: Lt. W. Garroway, FPB