

1029-1031 CONGRESS STREET

CHIEF CLERK

File # 9205 - Mail out # 9204R - 1st cut # 9213R - 2nd cut # 9206R



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

PERMIT ISSUED

01422

Portland, Maine, Dec 12, 1973

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 1029 Congress St.
Use of Building dwelling
Name and address of owner of appliance William Noyes, same
No. Stories 2
New Building Existing "
Installer's name and address Agway Petroleum, 810 Main St, Westbrook
Telephone 854-5551

General Description of Work

To install replace a burner in existing system

IF HEATER, OR POWER BOILER

Location of appliance
If so, how protected?
Minimum distance to burnable material, from top of appliance or casing, top of furnace
From top of smoke pipe
Size of chimney flue
If gas fired, how vented?
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?

Any burnable material on floor surface or beneath?
Kind of fuel?
From front of appliance
From sides or back of appliance
Other connections to same flue
Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Sun-Ray
Will operator be always in attendance?
Type of floor beneath burner
Location of oil storage
Low water shut off
Will all tanks be more than five feet from any flame?
Total capacity of any existing storage tanks for furnace burners

FC234
no
conc
basement
Make
1-275

Labelled by underwriters' laboratories? yes
Does oil supply line feed from top or bottom of tank? bottom
Size of vent pipe 1 1/2
Number and capacity of tanks 1-275
No.
none
How many tanks enclosed?

IF COOKING APPLIANCE

Location of appliance
If so, how protected?
Skirting at bottom of appliance?
From front of appliance
Size of chimney flue
Is hood to be provided?
If gas fired, how vented?

Any burnable material in floor surface or beneath?
Height of Legs, if any
Distance to combustible material from top of appliance?
From sides and back
From top of smokepipe
Other connections to same flue
If so, how vented?
Forced or gravity?
Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 4.00

APPROVED:

SK 12-12-73 NTC

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

CS 300

INSPECTION COPY

Signature of Installer

#945

Merwin Schoenaker
(by Stewart Moody)

NOTES

12-19-73 Installer

Bricks under base need
mortar.

Permit No. 13/1422
Location 1029 Congress
met Littleton Hayes
ac of permit 12/12/73
Approved

Wilson

A. 2 3
 H. 2 3 4 5 Congress 5.
 C. 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034

1992

Date Issued **October 7, 1969**
 Portland Plumbing Inspector
 By ERNOLD R GOODWIN

App. First Insn.

Date 10/1/69
By DEPUTY PLUMBING INSPECTOR

App. Final Insp.

Date 10/8/69
By WALTER H. WALLACE
DEPT. PLUMBING INSPECTION
Type of Bill _____

Type of Bldg.

- ☐ Commercial
☐ Residential
☐ Single
☒ Multi Family
☐ New Construction
☐ Remodeling

Building and Inspection Services Dept., Plumbing Inspection

TOTAL	1	2.00
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Granted 8/18/48

City of Portland, Maine
Board of Appeals
—ZONING—

August 2, 19 48

To the Board of Appeals:

Your appellant, Mrs. Mary Gladis, who is the owner of property at 1029 Congress Street, respectfully petitions the Board of Appeals of the City of Portland to permit an exception to the regulations of the Zoning Ordinance relating to this property, as provided by Section 17, Paragraph E of the Zoning Ordinance,

Building permit for alterations to existing two family dwelling to provide a separate apartment in third story at 1029 Congress Street is not issuable under the Zoning Ordinance for the following reasons: The westerly wall of ell where roof is to be raised about five feet is only three feet six inches from side lot line; whereas a minimum distance of 4 feet is required; the westerly end wall of new dormer proposed on front of main house will be only about one foot from side lot line instead of minimum ten foot clearance required; and front wall of proposed front dormer will be closer to line of Congress Street than thirty feet, which is the minimum setback required where front wall of existing house on adjoining lot is more than that distance from the street.

The facts and conditions which make this exception legally permissible are as follows:—

An exception is necessary in this case to grant reasonable use of property where necessary to avoid unnecessary hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

Mrs. Mary A. Gladis
Appellant

City of Portland, Maine
Board of Appeals

—ZONING—

Decision

Public hearing was held on the 13th day of August, 1943,
on petition of Mrs. Mary Gladu, owner of property at
1029 Congress Street, seeking to be permitted an exception to the regulations of
the Zoning Ordinance relating to this property.

Building permit for alterations to existing two family dwelling to provide a separate
apartment in third story at 1029 Congress Street is not issuable under the Zoning
Ordinance for the following reasons: The westerly wall of ell where roof is to be
raised about five feet is only three feet six inches from side lot line; whereas a
minimum distance of ten feet is required; the westerly end wall of new dormer proposed
on front of main house will be only about one foot from side lot line instead of
minimum ten foot clearance required; and front wall of proposed front dormer will be
closer to line of Congress Street than thirty feet, which is the minimum setback re-
quired where front wall of existing house on adjoining lot is more than that distance
from the street.

The Board finds that an exception is necessary in this case to grant reasonable use
of property and desirable relief may be granted without substantially departing from
the intent and purpose of the Zoning Ordinance.

It is, therefore, determined that exception to the Zoning Ordinance may be permitted
in this specific case.

Robert R. Little
Walter C. Frost
Edw. J. Colley
W. W. Hallmark

John W. Lake

Board of Appeals

August 17, 1948

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF MRS. MARY GLADU
AT 1029 Congress Street

Public hearing on above
appeal was held before
the BOARD OF APPEALS

Present for City

Board of Zoning Appeals members:-

~~XXXXXX~~
August 13, 1948

VOTE

	Yes	No
Mr. Getcnell	(x)	()
Mrs. Frost	(x)	()
Mr. Colley	(x)	()
Mr. Holbrook	(x)	()
<i>Mr. Lake</i>	(x)	()
	()	()
	()	()
	()	()
	()	()

Municipal Officers:-

NO OPPOSITION

City officials:-

CITY OF PORTLAND, MAINE
BOARD OF APPEALS

August 10, 1948

Patrick H. & Joseph Burke
1033 Congress Street

Mary Michalaros
1025 Congress Street

The Board of Appeals will hold a public hearing, in the Council Chamber, City Hall, Portland, Maine on Friday, August 13, 1948 at ten-thirty o'clock in the forenoon to hear the appeal under the zoning ordinance of Mrs. Mary Gladu requesting exception to the Ordinance to permit alterations in dwelling at 1029 Congress Street.

This permit is not to allow the westerly wall of the dwelling to be set back less than five feet is only three feet six inches from side lot line, whereas a minimum setback of ten feet is required; the westerly end wall of new dwelling proposed on front of main house will be only about one foot from side lot line instead of minimum ten foot clearance required; and front wall of new front porch will be closer to line of Congress Street than thirty feet, which is the minimum setback required where front wall of existing house on adjoining lot is more than ten feet from the street.

If you wish to be heard for or against this appeal, please be present or be represented at the above hearing.

Very truly yours,

BOARD OF APPEALS

Robert L. Getchell

Chairman

CITY OF PORTLAND, MAINE
BOARD OF APPEALS

August 10, 1948

Mrs. Mary Gladu
1029 Congress Street
Portland, Maine

Dear Mrs. Gladu:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, August 13, 1948 at ten-thirty o'clock in the forenoon to hear your appeal requesting exception to the Zoning Ordinance to permit alterations in the family dwelling at 1029 Congress Street.

Please be present or be represented at this hearing in support of your appeal.

Very truly yours,

BOARD OF APPEALS

Robert L. Gatchell

Chairman

H

CITY OF PORTLAND, MAINE
LEGAL DEPARTMENT

August 10, 1948

TO THE BOARD OF APPEALS:

The Board of Appeals will hold public hearings on the following appeals on Friday, August 14, 1948 at 10:30 A. M. in the Council Chamber, City Hall:

William J. Forail - 148 State Street - Change of use from apartment house to combination of doctors' offices and dwelling unit.

Albert J. Xares - 30 Highland Street - Changing single family dwelling house to two family dwelling.

Willis True - 356 Woodford Street - Increase in volume of non-conforming apartment house.

(see attached notices for further details)

Ralph F. Blood - 177 Congress Street - Construction of one-story wood frame addition to studio to make dwelling not feasible because of lack of clearance between rear wall of existing dwelling on front of this lot and front wall of addition to building on rear of this lot, which is to be converted.

Mrs. Mary Gledu - 1027 Congress Street - alterations to two-family dwelling to provide third apartment not permissible because of side yard distance and front wall of proposed front dormer will be closer to line of Congress Street than permitted.

Jack Levine - 39 Hillis Street - Enclosing portion of existing front porch not permissible because front wall would be closer to line of Hillis Street than front walls of existing dwellings on adjoining lots.

Robert L. Gutchall

Chairman

H
Enclosures

CITY OF PORTLAND, MAINE

BOARD OF APPEALS

August 3, 1948

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, August 13, 1948 at ten-thirty o'clock in the forenoon to hear the appeal under the Zoning Ordinance of William J. Porell requesting exception to the Ordinance to permit change of use of apartment house at 148 State Street to a combination of 5 doctors' offices and one dwelling unit. This permit is not issuable because the property is located in an Apartment House Zone where use for multiple doctors' offices is not allowable.

This appeal is taken under Section 17B of the Zoning Ordinance which provides that the Board of Appeals, by unanimous vote of its members, may permit exceptions in specific cases so as to grant reasonable use of property where necessary, to avoid confiscation and without substantially departing from the intent and purpose of the Zoning Ordinance, subject always to the rule that said Board shall give due consideration to promoting public health, safety, convenience and welfare, encouraging the most appropriate use of land and conserving property values, that it shall permit no building or use injurious, noxious, offensive or detrimental to a neighborhood, and that it shall prescribe appropriate conditions and safeguards in each case.

All persons interested either for or against this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the premises in question as required by law.

BOARD OF APPEALS

Robert L. Getchell

Chairman

CITY OF PORTLAND, OREGON
BOARD OF APPEALS

August 3, 1948

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Oregon on Friday, August 13, 1948 at ten-thirty o'clock in the forenoon to hear the appeal of Albert J. K. requesting exception to the Zoning Ordinance to permit changes in single family dwelling house at 30 Highland Street to make a two-family dwelling. This permit is not issuable because the property is located in a Residence AA Zone in which, according to Section 13A of the Ordinance, a two-family dwelling house is not an allowable use.

This appeal is taken under Section 17A of the Zoning Ordinance which provides that the Board of Appeals, by unanimous vote of its members, may permit exceptions in specific cases so as to grant reasonable use of property where necessary to avoid confiscation and without substantially departing from the intent and purpose of the Zoning Ordinance, subject always to the rule that said Board shall give due consideration to promoting public health, safety, convenience and welfare, encouraging the most appropriate use of land and conserving property values, that it shall permit no building or use injurious, noxious, offensive or detrimental to a neighborhood, and that it shall prescribe appropriate conditions and safeguards in each case.

All persons interested either for or against this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the premises in question as required by law.

BOARD OF APPEALS

Robert L. Gatchell

Chairman

CITY OF PORTLAND, MAINE
BOARD OF APPEALS

August 3, 1948

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber, City Hall, Portland, Maine on Friday, August 13, 1948 at ten-thirty O'clock in the forenoon to hear the appeal of Willis True requesting except from the Zoning Ordinance to permit enclosure of side open piazza at 356 Woodford Street.

This permit is not issuable because the apartment house is a use non-conforming with the Zoning Ordinance in the Residence C Zone where the property is located. Building enclosure walls around the piazza would increase the volume of the apartment house, and Section 14 of the Ordinance provides that no such non-conforming use shall be increased in volume.

This appeal is taken under Section 17E of the Zoning Ordinance which provides that the Board of Appeals, by unanimous vote of its members, may permit exceptions in specific cases so as to grant reasonable use of property where necessary to avoid confiscation and without substantially departing from the intent and purpose of the Zoning Ordinance, subject always to the rule that said Board shall give due consideration to promoting public health, safety, convenience and welfare, encouraging the most appropriate use of land and conserving property values, that it shall permit no building or use injurious, noxious, offensive or detrimental to a neighborhood, and that it shall prescribe appropriate conditions and safeguards in each case.

All persons interested either for or against this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the premises in question as required by law.

BOARD OF APPEALS

Robert L. Getchell

Chairman

WARREN McDONALD
INSPECTOR OF BUILDINGS

On reply refer
to File AP 1029 Congress Street-I

FU

CITY OF PORTLAND, MAINE
Department of Building Inspection

July 29, 1948

Mr. Joseph Gladu
1029 Congress Street
Portland, Maine

Subject: Application for permit for alterations to existing
two family dwelling to provide a separate apartment in
the third story at 1029 Congress Street

Dear Sir:

We are unable to issue the permit for the above work because the proposed work does not conform with the requirements of the Zoning Ordinance in the following respects:

1. The westerly wall of the ell where roof is to be raised about five feet is only three feet six inches from the side lot line, whereas a minimum distance of ten feet from the line is required for any new construction by Section 8C of the Ordinance.
2. The westerly end wall of the new dormer proposed on the front of the main house will be only about one foot from the side lot line instead of the minimum ten foot clearance required as noted above.
3. The front wall of this proposed front dormer will be closer to the line of Congress Street than thirty feet, which is the minimum setback from the street required where the front wall of the existing house on the adjoining lot is more than that distance from the street as is true in this case. This requirement is set forth in Section 16J of the Ordinance.

Mrs. Gladu has said that you wish to exercise your appeal rights in regard to these three items and accordingly we are enclosing an outline of the appeal procedure and are certifying the case to the Assistant Corporation Counsel who is the clerk for the Board of Appeals. Incidentally there are several questions raised in our letter of June 8, 1948 to you which have not been cleared up by the revised plans filed July 27th. We shall need information concerning these items before any permit may be issued should you be successful in having your appeal granted.

Very truly yours,

WARREN McDONALD
Inspector of Building.

AJS/G

Enclosure: Outline of appeal procedure

CC: Edward T. Gignoux
Assistant Corporation Counsel

Mr. A. R. Farrington
178 Hartmouth Street

C
O
P
Y



(B) LIMITED ACCESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, May 19, 1948

PERMIT ISSUED
01558
AUG 31 1948

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repairs~~ ~~and~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1029 Congress Street Within Fire Limits? ☒ no Dist. No. _____
Owner's name and address Joseph Gladu, 1029 Congress Street Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Telephone _____
Proposed use of building Tenement Specifications _____ Plans yes No. of sheets 2
Last use Dwelling No. families 3
Material frame No. stories 2 1/2 Heat _____ Style of roof pitch No. families 2
Other buildings on same lot _____ Roofing asphalt
Estimated cost \$ 500. Fee \$ 1.00

General Description of New Work

To Change Use of building from two family dwelling to 3 family tenement house.
To raise roof of two story all approximately 5' and construct outside stairway
second floor to ground as per plans.

Permit Issued with Letter

INSPECTION NOT COMPLETED

Appeal sustained 8/16/48

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Joseph Gladu

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Cirt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

with letter by AGJ

INSPECTION COPY

Signature of owner

Mrs. Joseph Gladu

1/24/19 - 11:00 AM - 12:00 PM

Final Notif.	5/1/57
Final Inspn.	148/1558
Cert. of Occupancy issued	1029 Commerce St Joseph, Okla 8/31/48
Inspn. closing-in	Notif. closing-in 5/27/47 2:06 PM

[illegible]

5/16/49 - Haplays one, wintering

6/1/49 - No one home. ELL
6/2/49 - Room was empty. No one home.
Franklin said it was empty.
Said that he was alone. Then 2 or 3 others.
ELL

6/2/49 - Supt Rod Tug with instructions
Permanently giving to close in walls only.
Complete forestipping & seal checks. J-
15 sup straddling 1" from chimney walls.
Insert intermediate ceiling joists between
existing ones so as to make them 24" O.C. instead of 48" O.C. Harry R.

6/4/49. Mr. [unclear] is going to cut in
the [unclear] of the [unclear] timber [unclear]
about 2 1/2" o.c. [unclear]

9/8/49 - Left G.T. with Mr. C. to check
on the "mammals" and to see
if the water is good. The
water is good. The
mammals are all dead.

2/1/66 Rear 5' driveway not completed, hand rails
not on. lights have not been provided. Owner
living in 3rd floor apt.
1/21/66 the above is complete. nothing
T/M

AP 1029 Congress Street-I

August 31, 1948

Mr. Joseph Gladu
1029 Congress Street
Portland 4, Maine

Subject: Permit for alterations to and
change of use of building at 1029 Con-
gress Street

Dear Sir:

The permit for the above work, based on plans filed with application and your letter and that of the architect dated August 24, 1948, is issued herewith subject to the following:

1. Before any lath or wall board is applied to walls, partitions or ceilings, you are required to give notice to this office for an inspection of the new work. This notice should not be given until the plumbing and electrical wiring has been installed and approved by the proper inspectors. Should everything be found in order at this time, authorization will be given by a green tag to "close-in" the building.
2. The new third floor apartment should not be occupied until after a final inspection has been made by this department and the certificate of occupancy issued. Notice for this inspection may be given as soon as all essential features of the work have been completed.
3. If the support of the outside corner of second story platform of new outside stairs by means of a brace to the 4x6 post is to work out satisfactorily, particular care must be taken in framing this part of the work. We are willing to wait until the work is done to pass judgment upon the adequacy of the job and as to whether it will suffice, but still believe that much better results will be achieved if two posts instead of one are provided.

Very truly yours,

Inspector of Buildings

AJS/S

ARCHITECT
Albert R. Farrington
178 Dartmouth St., Portland 5 Maine, Aug. 24, 1948.

Mr. Joseph Gladu,
1029 Congress Street.
City.

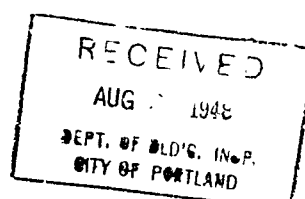
Dear Mr. Gladu,
The new stairs on the outside of the ell of your house, should be
2½ feet wide. The platform at the top, 2½ feet wide by 3 feet long.
There should be 3 stringers, 2 by 6, and the blocks cut for 9 inches
tread, and rise of not more than 8½ inches, rough cut.

The inside stairs should have the same size stringers and blocks.

Yours truly.

Copy to Inspector of Buildings.

Albert R. Farrington



side of the building by turning a single switch near the exit door from his
quarters and vice versa, as is required by law.

2. Indication that handrails will be provided on at least one side
of new stairways and of old ones if not existing.

3. What type of heat is to be provided for the three apartments in
the building? *Hot water*

4. Is there a sound concrete floor in the cellar and if not, will
one be provided? *Yes*

5. What is the rise and tread of new stairs to be and what is to be
done about the rather questionable support of the balcony of the new outside
stairs where a brace to a single post is shown? *4x6*

Very truly yours,

W. A. W. W.

Inspector of Buildings

AJS/S

CC: Mr. Albert R. Farrington
178 Dartmouth Street

WARREN McDONALD
INSPECTOR OF BUILDINGS

On reply refer
to File AP 1029 Congress Street-I
FU

CITY OF PORTLAND, MAINE
Department of Building Inspection

August 19, 1948

RECEIVED

AUG 21 1948

SEPT. OF BLD'G. DEPT.
CITY OF PORTLAND

Mr. Joseph Gladu
1029 Congress Street
Portland, Maine

Subject: Application for permit for altera-
tions to building at 1029 Congress Street

Dear Sir:

Now that your appeal under the Zoning Ordinance has been sustained,
we are awaiting the information asked for in our letter of June 8, which
we will need to have before issuance of the permit for the work. The matters
about which information is needed are:

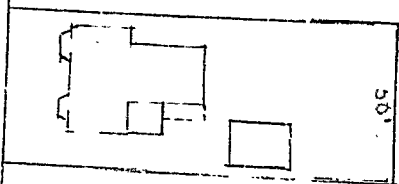
1. Assurance that you will provide lights in front and rear halls
so arranged that each tenant may light the way from his quarters to the out-
side of the building by turning a single switch near the exit door from his
quarters and vice versa, as is required by law.
2. Indication that handrails will be provided on at least one side
of new stairways and of old ones if not existing.
3. What type of heat is to be provided for the three apartments in
the building? *Steam 1st-2d-3rd store.*
4. Is there a sound concrete floor in the cellar and if not, will
one be provided? *Yes*
5. What is the rise and tread of new stairs to be and what is to be
done about the rather questionable support of the balcony of the new outside
stairs where a brace to a single post is shown? *8 1/2 by 9.*

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/S

CC: Mr. Albert R. Farrington
178 Dartmouth Street



50'

1029

CONGRESS STREET

AP 1029 Congress Street-I

August 19, 1948

Mr. Joseph Glady
1029 Congress Street
Portland, Maine

Subject: Application for permit for alterations to building at 1029 Congress Street

Dear Sir:

Now that your appeal under the Zoning Ordinance has been sustained, we are awaiting the information asked for in our letter of June 9, 1948. We will need to have before us some of the permit for the work. The matters about which information is needed are:

1. Assurance that you will provide lights in front and rear halls so arranged that each tenant may light the way from his quarters to the outside of the building by turning a single switch near the exit door from his quarters and vice versa, as is required by law.
2. Indication that handrails will be provided on at least one side of new stairways and of old ones if not existing.
3. What type of heat is to be provided for the three apartments in the building?
4. Is there a sound concrete floor in the cellar and if not, will one be provided?
5. What is the rise and trend of new stairs to be and what is to be done about the rather questionable support of the balcony of the new outside stairs where a brace to a single post is shown?

Very truly yours,

Inspector of Buildings

AJS/S

CC: Mr. Albert R. Farrington
173 Dartmouth Street

AP 1029 Congress Street-I

July 27, 1948

Mr. Joseph Gladu
1029 Congress Street
Portland, Maine

Subject: Application for permit for alterations to existing
two family dwelling to provide a separate apartment in
the third story at 1029 Congress Street

Dear Sir:

We are unable to issue the permit for the above work because the proposed work does not conform with the requirements of the Zoning Ordinance in the following respects:

1. The westerly wall of the ell where roof is to be raised about five feet is only three feet six inches from the side lot line, whereas a minimum distance of ten feet from the line is required for any new construction by Section 83 of the Ordinance.
2. The westerly end wall of the new dormer proposed on the front of the main house will be only about one foot from the side lot line instead of the minimum ten foot clearance required as noted above.
3. The front wall of this proposed front porch will be closer to the line of Congress Street than thirty feet, which is the minimum setback from the street required where the front wall of the existing house on the adjoining lot is more than that distance from the street as is true in this case. This requirement is set forth in Section 124 of the Ordinance.

Mrs. Gladu has said that you wish to exercise your appeal rights in regard to these three items and accordingly we are enclosing an outline of the appeal procedure and are certifying the case to the Assistant Corporation Counsel who is the clerk for the Board of Appeals. Incidentally there are several questions raised in our letter of June 1, 1948 to you which have not been cleared up by the revised plans filed July 27th. We shall need information concerning these items before any permit may be issued should you be successful in having your appeal granted.

Very truly yours,

Inspector of Buildings

AJE/C

Enclosure: Outline of appeal procedure

CC: Edward T. Signoux
Assistant Corporation Counsel

Mr. A. S. Farrington
178 Portsmouth Street

AP 1029 Congress Street-I

June 8, 1948

Mr. Joseph Gladu
1029 Congress Street
Portland 4, Maine

Subject: Application for permit for raising roof
of ell and providing a new apartment in third
story of building, making three in all

Dear Sir:

A check of this proposition against requirements of the Zoning, Ordinance and the Building Code raises the following questions as to compliance with these laws:

1. While a side yard width of at least 10 feet is required for new work on one and two family dwellings and apartment houses in the Limited Business Zone where your property is located, the westerly wall of the ell which is to be raised about five feet is only about 3' 6" from the side lot line.
2. The westerly wall of the main house is practically on the lot line, so that the existing window in this wall of the third story room cannot be counted upon for light and air for this room since a window for such purposes must open upon at least a 5-foot width of land belonging to the owner of the building, as specified by Section 203d3 of the Building Code. It may be that a dormer window with area equaling 1/10 of the floor area of the room can be provided on the front side of the roof.
3. Lights are required in both front and rear halls on the tenants' meters so arranged that each tenant may light the way from his quarters to the outside of the building by turning a single switch near the exit door from his quarters, and vice versa. If desired, hall lights may be provided to burn from sunset to sunrise each day, such lights to be controlled by an automatic time switch and to be on the owner's meter.
4. Handrails are required on at least one side of new stairways and of old ones if not existing.
5. What type of heat is to be provided for the three apartments in the building?
6. If not existing, a sound concrete floor is required for the cellar of the building.
7. The rise and tread of the new outside stairs is not indicated on the plans. The construction shown for support of the balcony at the second floor level by means of a brace to the 4x6 post seems rather questionable.

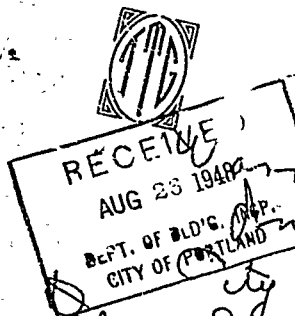
If all of the other matters can be worked out to meet requirements of the Building Code as noted above, it may be that you may wish to exercise your appeal rights as regards the zoning question of closeness of ell to westerly side lot line. We have no way of telling whether you might be successful in such an appeal, but, should you decide to try it and will notify us to that effect, we will send you an outline of the appeal procedure and certify the case to the Assistant Corporation Counsel, who handles the appeals.

Very truly yours,

AJS/s

CC: Mr. Albert R. Farrington, 178 Dartmouth St.

Inspector of Buildings



1029 Congress St.,
Portland, Me.,
Aug. 24-48

Inspector of Buildings
City of Portland.
Dear Sir: - In reply to
your request for information
concerning certain
requirements pertaining
to additions & improvement
on my residence at above
address.

Question 1 - Yes, this will
be met with in full.
2 Yes to both require-
ments
over

#3 Steam - 1 - 2 - 3 - Floor.
pump led Automatic Oil

#4 There is a sound Concrete
floor ~~the~~ in entire basement
area

Joseph N. Gladu

Mary A. Gladu

AP 1029 Congress Street-1

July 25, 1947

Mr. Joseph Gladu
1029 Congress Street
Portland 4, Maine

Subject: Permit for addition to
dwelling at 1029 Congress
Street

Dear Sir:

Permit for above work is issued herewith subject to the following:

1. Unless the foundations beneath the existing platform are of masonry at least 8" square at the top and 10" square at the bottom extending at least 4' below the grade of the ground, no start should be made on the additional story of piers but piers as above should be provided before proceeding further.

2. The 4x6 corner posts of both piazza and addition must be all one length from sill to plate with lap splices no less than 12" long allowed. The plate of piazza supporting roof joists is required to be the 2x6 on edge shown on plan rather than the double 2x6 given in application.

3. The plans call for the joists in first floor to run on a 16-foot span while plan indicates they are to be on a 13-foot span. It would be better to run them the same way as is indicated for the second floor joists and rafters, the 13-foot way. The 2x6 rafters 16" on centers on 13' span given in application will not figure out, but the 2x4's--24" on centers shown on plan are all right. Cross-bridging at least 1x3 is required at the center of all spans of floor and roof joists.

4. Before any walls, partitions or ceilings are closed for view inside the building and after the electrical wiring and plumbing have been installed and approved, it is necessary that notice given this office for an inspection, when if everything is found compliance with law, authorization to close-in the building will given.

Very truly yours,

Inspector of Buildings

AJS/S

CC: Mr. Albert H. Farrington
177 Dartmouth Street



(B) LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third
Portland, Maine, July 22, 1947

PERMIT ISSUED

01809
JUL 25 1947

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1029 Congress Street Within Fire Limits? no Dist. No.
Owner's name and address Joseph Gladu, 1029 Congress Street Telephone
Lessee's name and address Telephone
Contractor's name and address owner Telephone
Architect Specifications Plans yes No of sheets 3
Proposed use of building Dwelling No. families 2
Last use No. families 2
Material frame No. stories 2 1/2 Heat Style of roof pitch Roofing
Other buildings on same lot 2 car garage
Estimated cost \$ 1200. Fee \$ 2.75

General Description of New Work

To construct 2 story frame addition 12'x16' on rear of dwelling.
To construct second floor and roof over existing 1 story open piazza on rear of dwelling. Piazza 6'x13'.
To change existing window to door.

Piazza: Floor joists 2x4, 16" O.C., 6'6" span - girder 4x6.
4x6 corner posts.
Rafters 2x4, 16" O.C., 6' span.
2-2x4 plate - 6'6" span.
Concrete pier foundation existing - 6'6" O.C.

See letter

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work? yes
Height average grade to top of plate 12' Height average grade to highest point of roof 10'
Size, front depth No. stories 2 solid or filled land? solid earth or rock? earth
Material of foundation concrete at least 4' below grade Thickness, top 10" bottom 12" cellar yes
Material of underpinning " to sill Height Thickness
Kind of roof shed-flat Rise per foot 1 1/2" Roof covering asphalt roofing Class C Und. Lab.
No. of chimneys none Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind second-hand Dressed or full size? full size
Corner posts 4x6 Sills 6x8 Girt or ledger board? Size
Girders yes Size 6x6 Columns under girders iron pipe Size 4" Max. on centers 6'6"
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. *See letter*
Joists and rafters: 1st floor 2x9, 2nd 2x9, 3rd , roof 2x6
On centers: 1st floor 16", 2nd 16", 3rd , roof 16"
Maximum span: 1st floor 15', 2nd 13', 3rd , roof 13'
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person com- see that the State and City requirements pertaining to observed? yes

Permit Issued with Letter

Signature of owner

Joseph Gladu

INSPECTION COPY

Permit No 77/1869
Location 1029 Congress St
Owner Joseph Gladen
Date of permit 7/25/47
Notif. clearing in _____
Inspn closing-in 7/25/47
Final Notif. _____
Final Inspn. 10/1/47
Cert. of Occupancy issued 10/1/47

NOTES

~~7/25/47 - called
7/25/47 - engineering
also by ELL
10/15/47 - installed
and placed on Dept G.T.
to present. No wiring
planning to be covered
wiring. The approach to
porch has only 5' x 7' concrete
from sidewalk to door
as there is no curb or foundation
was disturbed. ELL~~



FILL IN AND SIGN WITH INK

**APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT**

Portland, Maine

00883

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location	Use of Building	No. Stories	New Building Existing "
Name and address of owner of appliance			
Installer's name and address		Telephone	

General Description of Work

To install

IF HEATER, OR POWER BOILER

Location of appliance or source of heat	Type of floor beneath appliance
If wood, how protected?	Kind of fuel
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace	
From top of smoke pipe	From front of appliance
Size of chimney flue	From sides or back of appliance
Other connections to same flue	
If gas fired, how vented?	Rated maximum demand per hour

IF OIL BURNER

Name and type of burner	Labelled by underwriters' laboratories?
Will operator be always in attendance?	Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner	
Location of oil storage	Number and capacity of tanks
If two 275-gallon tanks, will three-way valve be provided?	
Will all tanks be more than five feet from any flame?	How many tanks fire proofed?
Total capacity of existing storage tanks for furnace burners...None	

IF COOKING APPLIANCE

Location of appliance	Kind of fuel	Type of floor beneath appliance
If wood, how protected?		
Minimum distance to wood or combustible material from top of appliance		
From front of appliance	From sides and back	From top of smokepipe
Size of chimney flue	Other connections to same flue	
Is hood to be provided?	If so, how vented?	
If gas fired, how vented?		Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

OK 5-2-47 AMV

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Imp.
FILE COPY

Signature of Installer

John H. Cipriano

Permit No. 117/ 983

Location 1029 Congress St

Owner Joseph Eladon

Date of permit 5/3/47

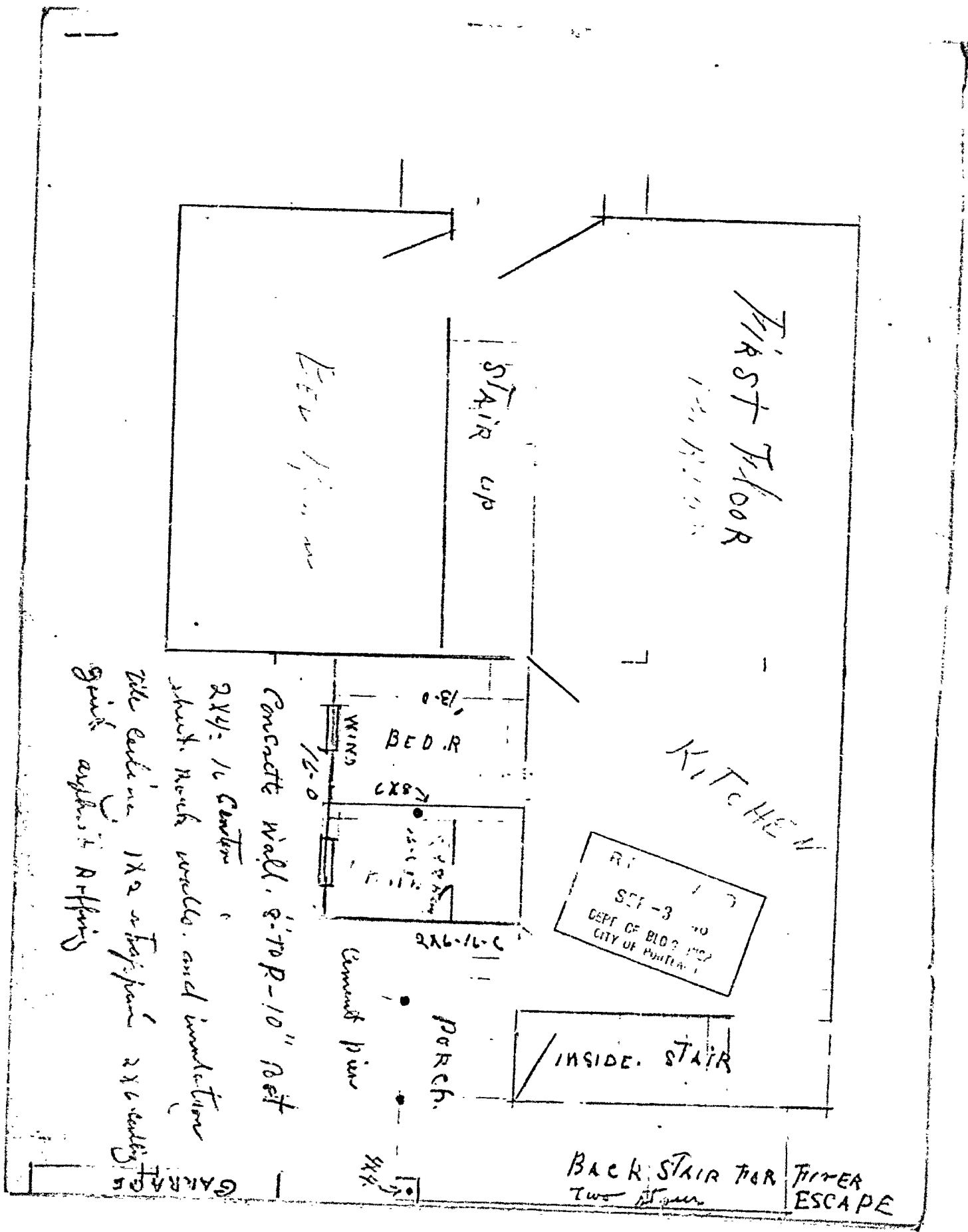
Approved 5-20-47 Rrrr

NOTES

- 1 Fill Pipe
- 2 Vent Pipe
- 3 End of Heat
- 4 Burner Room & Stairs
- 5 Stairs
- 6 Stack Chimney
- 7 High Lead Chimney
- 8 1" Water
- 9 1" Gas
- 10 Vents
- 11 Gas
- 12 1" Water
- 13 1" Gas
- 14 1" Gas
- 15 Insulation
- 16

5-10-47 Not at home
Rrrr

9/20/46



First Floor

KITCHEN

Rt. 1
ST-3
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

INSIDE STAIR

BACK STAIR FOR FIRE ESCAPE
Two Stairs

STAIR up

BED R

BATH

2x6-10-0

Porch

Cement pier

WING

Concrete wall, 8'-10" P-10" net

2x4-16 Center

about. back wall, and insulation

tile ceiling, 1x2 subfloor 2x6 ceiling

girders against R-floors

GARAGE

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for _____ Date June 22, 1976
at _____

1. In whose name is the title of the property now recorded? 1st & 2nd
 2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? Yes
 3. Is the outline of the proposed work now staked out upon the ground? Yes
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
 4. What is to be maximum projection or overhang of eaves or drip? _____
 5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? _____
 6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? Yes
 7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? Yes
- James T. Smith

12 1049 Congress Street-I

✓ATH
✓ES
✓PAT
✓LJS
✓PH
✓W
✓HD
✓ES

September 4, 1946

Mr. Joseph W. Glavin
1049 Congress Street
Portland, Maine

Subject: Application for building permit to cover addition and alterations at 1049 Congress Street.

Dear Sir:

Despite my two letters of June 24 and July 17, the new plans and information filed here are no more understandable than the previous ones, and you have ignored my suggestion that you employ some one to make the plans who can make them in the usual way so that we can tell from them that the Building Code is to be complied with.

The man who brought the plans in gave the new estimated cost of \$1175, but did not pay the additional fee required for the building permit. While the item of constructing the corner window has been crossed out on the application, this man said that you were to build the corner window, but could give us no information about the third floor.

Our permit clerk told the young man who filed the information that the plan would not meet the requirements, but he wanted to leave it.

Under these circumstances I have no option but to refuse the permit because of lack of information to know compliance with the Building Code as per Section 106b.

If you will return the receipt for the fee paid to this office no later than September 8, 1946, your money will be refunded by voucher.

Very truly yours,

Inspector of Buildings

Med/D

1029 Congress St.-J

June 24, 1946

ATH
ESS
RAT
M
LAJS
ALL
BS

Mr. Joseph Gladu
1029 Congress Street
Portland 4, Maine

Subject: Application for building permit to make
alterations and construct addition and convert
existing 2-family dwelling house at 1029 Congress
Street to a 3-family tenement house

Dear Sir:

Your application for the above building permit and the sketches accompanying it are very far short of showing enough information so that the proposition can be checked against the Building Code requirements either structurally or for a proposed 3-family tenement house, as we are required by law to do before a building permit for such work can be issued.

If you wish to go ahead with the work, it is necessary that you employ an architect or someone else who is thoroughly experienced in the usual methods of making architectural plans and who is acquainted with the Building Code requirements for tenement houses and for strength so that he can check the proposition for himself before any plans are filed here, to make complete plans of the building showing all details as to the arrangement of rooms, bedroom, location of stairways, width and pitch of them, size of window openings in the various rooms, what the rooms will be used for as kitchen, bedroom, etc., full framing and foundation plans of the addition and full framing of the proposed corner window--in fact all features of the proposition controlled by the Building Code. These plans should be filed here with the application for the permit in the shape of blueprints with all of the information on them printed from the original.

Unless you are willing and able to furnish the information as above, it is necessary for us to deny the building permit for lack of information, as I am directed to do by Section 106b of the Building Code; in that case if you will return the receipt for the fee paid to this office not later than July 10, 1946, the money will be refunded by voucher.

Incidentally the estimated cost of \$500 for so much work is obviously far too low. If you should conclude that you will have the plans made and try to go ahead with the work, you should also get a competent estimate of the proposed work and indicate that on the application for the permit--the estimate to include the total cost of all labor and material, plumbing fixtures and piping, electric wiring and fixtures and all other built-in equipment, all of this whether you may have material or equipment on hand and whether or not you plan to do all or part of the work with your own hands or by donated labor, all materials and labor to be estimated at reasonable market prices.

Very truly yours,

Inspector of Buildings

AMCD/S

AP 1029 Congress St.-I

July 17, 1946

✓BS
✓ATH
✓ESS
✓RMT
✓PH
✓JIS
✓EL

Mr. Joseph E. Gradu
1029 Congress Street
Portland 4, Maine

Subject: Application for building permit to
cover construction of a two-story addition
at rear of existing house and construction
of two-story rear piazza on existing house
at 1029 Congress Street.

Dear Sir:

More information is needed and some of the information given was to be corrected before your application for the permit shows compliance with the laws as is required before I am allowed to issue the building permit under Section 1021 of the Building Code.

I take it that you are to do the work with your own hands, and I do not know how much experience you have had with building construction under the requirements of the Building Code. If you have not had such experience, there are quite a number of detailed requirements concerning which you might go wrong and many of these are not usually shown in detail on plans or in application. However, it would be better for you to have some one prepare a framing plan of both existing and new piazza showing the arrangement of foundation, and the size, spacing and kind of all framing and supporting members so that we may check the proposition here before issuing the permit.

As regards the piazza you have not indicated the size of the member which will be necessary to support the outer end of the roof joists. Presumably there will be at least 4x4 posts at each outer corner of the piazza and one intermediate 4x4 post, and this beam supporting the outer ends of rafters would be on a span of seven feet and it should be indicated what you intend to use there.

The sketch shows 2x8 floor joists in the piazza but the application shows 2x8. 2x8's would be sufficient.

It is necessary to know what the addition will be used for as to kind of rooms in both first and second story and whether or not there will be any interior partition within the new outside walls; also, what material will be used on the ceilings, if any, so that the weight can be figured.

You have entered the kind of framing lumber on application as hemlock, full size. If this lumber actually is full size—not dressed down as most new lumber comes through now—the roof joists as shown, 2x8 on spans of 13 feet, will probably be all right although there might be some question about it if the second story ceiling is to be plastered and hung on the roof joists. If the roof joists turn out to be dressed, however, they will not work out on the basis shown.

It seems quite certain that you cannot do the work, even on the reduced basis, for the estimated cost of \$2500 entered in the application. The Building Code requires that this estimated cost shall include all labor and material whether the material is on hand or second hand or whether labor is your own or donated—all at reasonable market prices. The estimate is to include all built-in equipment, all electric wiring and fixtures, all plumbing pipes and fixtures etc.. It is necessary that you revise the estimated cost including everything as required by law together with furnishing the above information.

Please furnish the answer fully to this letter either in writing or by way of a plan in view of the large volume of work coming into this office it is practically impossible for our clerk to make these revisions by information over the telephone or verbally.

Very truly yours,

WCD/L

Inspector of Buildings



(B) LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, June 22, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME. New information 7/5/46

The undersigned hereby applies for a permit to erect alter repair ~~demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1029 Congress Street 6' E-12 Within Fire Limits? no Dist. No. _____
Owner's name and address Joseph N. Gladu, 1029 Congress Street Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address owner Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 2
Proposed use of building Dwelling No. families 2
Last use " No. families 2
Material frame No. stories 2 1/2 Heat steam Style of roof pitch Roofing asphalt
Other buildings on same lot 2 car garage
Estimated cost \$ 500. Fee \$ 1.00
7/5/46 New information

~~To Change Use of dwelling.~~ General Description of New Work

To construct 13'x13' two story addition on rear of dwelling.

To construct two story rear piazza 6'x14' on dwelling house

~~To construct 5 small dormer windows on rear of " "~~

~~New apartment to be provided on third floor rooms are already finished off no change.~~

~~Patters for dormers 2x6, span 10' pitch roof~~
~~Corner posts 4x4~~

Not to change use of building or construct dormer windows.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____ Is any electrical work involved in this work? yes
Height average grade to top of plate 17' Height average grade to highest point of roof 10' 1/2"
Size, front _____ depth _____ No. stories 2 solid or filled land? solid earth or rock? earth
Material of foundation concrete at least 4' below grade Thickness, top 10" bottom 14" cellar no
Material of underpinning " to sill piers for piazza Height 10" Thickness 14"
Kind of roof shed-flat Rise per foot 2" Roof covering asphalt roofing Class C/Und. 1st
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind hemlock Dressed or full size? dressed full size
Corner posts 1x1 Sills 4x6 Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. piazza
Joists and rafters: 1st floor 2x8 Piazza 2nd 2x8, 3rd _____, roof 2x6 2x6
On centers: 1st floor 16" 1st 2nd 16", 3rd _____, roof 16" 16"
Maximum span: 1st floor 12' 6', 2nd 12', 3rd _____, roof 13' 6'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Joseph Gladu

Signature of owner By: Ralph McClinton Jr.

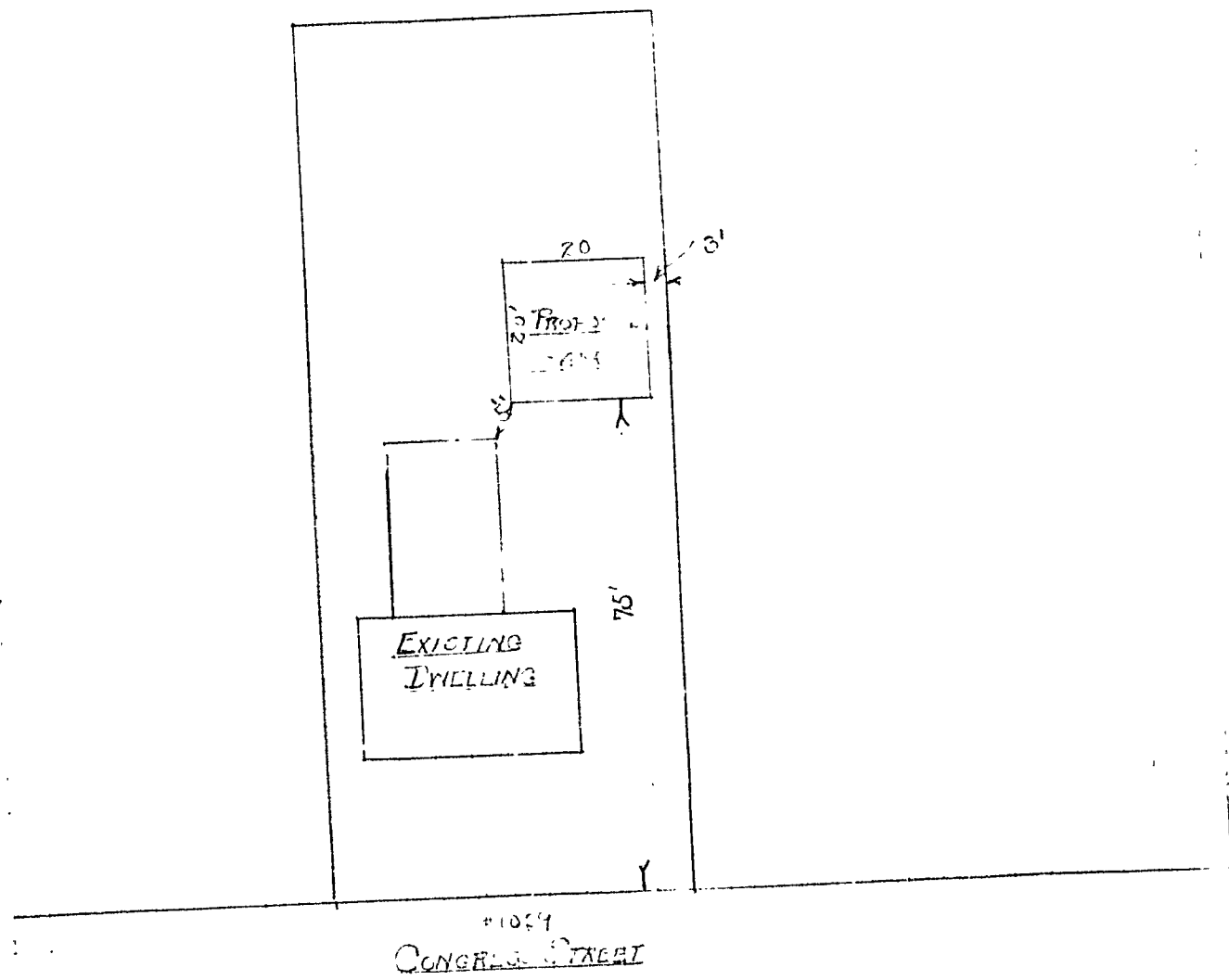
INSPECTION COPY

Permit No. 46/
Location 1029 Congress St
Owner Joseph Glada
Date of permit 6/1/46
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued _____

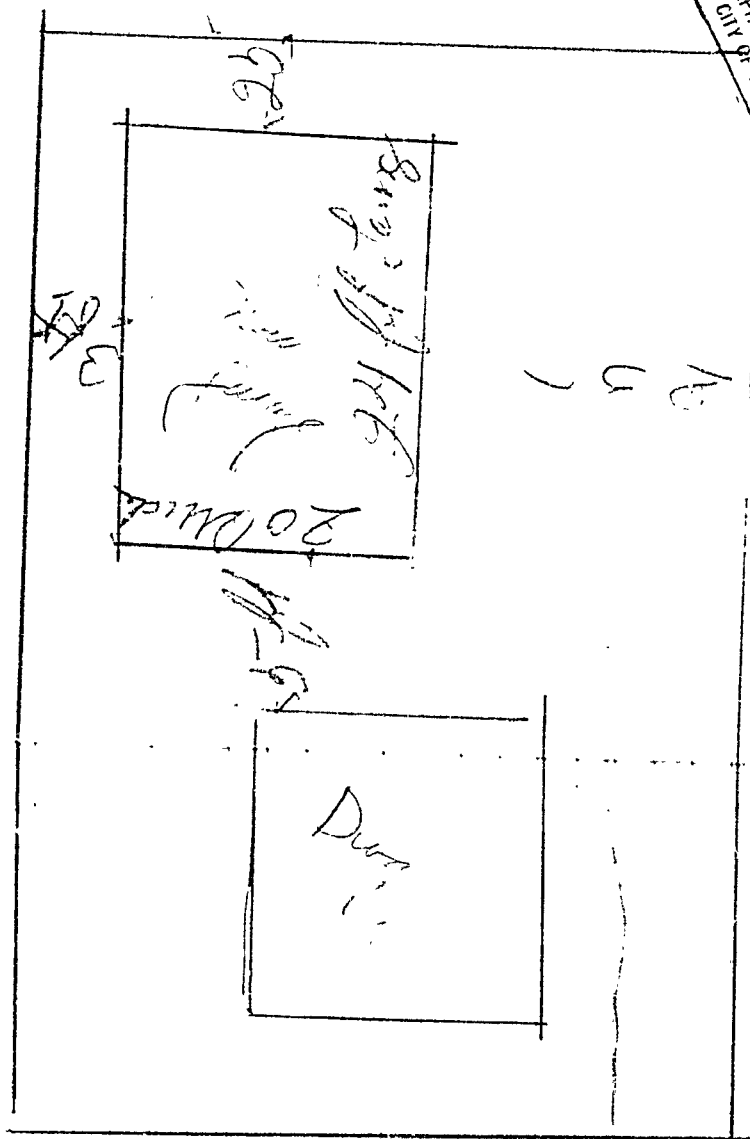
NOTES

Ref. _____
Des. _____
11/1/46

FILED



RECEIVED
JUL 21 1944
DEPT. OF CLERICAL
CITY OF PORTLAND



1059 Commercial St.

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for _____
at _____ Date _____

1. In whose name is the title of the property now recorded? Mary Gladu
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? Yes
3. Is the outline of the proposed work now staked out upon the ground? Yes If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? Yes
4. What is to be maximum projection or overhang of eaves or drip? 8"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? Yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? Yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? Yes

Joseph Gladu

Rept. 4955D-I

July 26, 1944

Mrs. Mary Gladu
1029 Congress Street
Portland 4, Maine

Subject: Application for building permit to cover
construction of new garage in place of existing
barn to be demolished

Dear Madam:

Preliminary permit is enclosed to cover demolition of the existing barn only and not to include any construction work on the proposed garage or the foundation slab for it.

As soon as the existing barn is demolished and the debris cleared up, it is necessary that you stake out the location of the proposed garage as you have shown it on your location sketch, then notify this office for checking the location.

In the meantime you should have someone work out stronger framing for the roof of the proposed garage and indicate it on the application for the permit when you are giving notice for change of location. On the application Mr. Gladu has stated 2x8 roof joists 16 inches from center to center on a span of 20 feet. This is not strong enough because the roof is to be practically flat. If you prefer such a roof, you will be better off to run a suitable size beam under the centers of the roof joists supported by intermediate posts of suitable size. You could use, perhaps to your own advantage, a pitch roof with gable ends, placing the rafters on a pitch of 6 or 7 inches to the foot with a ridge board at the peak. This would give a roof easier to maintain and the appearance of which some people prefer. With such a roof 2x6 rafters could be used, 24 inches from center to center but collar beams would be necessary from plate to plate to keep the pitch from spreading the walls. At any rate full information on the application will be necessary before the final permit can be issued and therefore before any work upon the foundation slab or the garage itself can be commenced. Also state on the application what you propose to use for weather resistive covering on the outside walls of the garage.

Very truly yours,

Inspector of Buildings

WMcD/S



LIMITED BUSINESS
APPLICATION FOR PERMIT
Class of Building or Type of Structure Third Class

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, July 21, 1944 SEP 12 1944

The undersigned hereby applies for a permit to erect-alter-install the following building structure-equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 1029 Congress Street Within Fire Limits? no Dist. No. _____
Owner's or Lessee's name and address Mary Gladu, 1029 Congress Street Telephone 2-6227
Contractor's name and address Owner Telephone _____
Architect _____ Plans filed yes No. of sheets 1
Proposed use of building 2 car garage No. families _____
Other buildings on same lot dwelling house
Estimated cost \$ 150. Fee \$ 1.00

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Last use _____ dwelling house with barn attached _____ No. families _____

General Description of New Work

To demolish barn attached to rear of dwelling house, and
To build two car frame detached garage 20' x 24' as shown on plan
7/26/44 Preliminary permit - To demolish existing barn ONLY - THIS PERMIT NOT TO INCLUDE CONSTRUCTION OF FOUNDATION SLAB FOR PROPOSED GARAGE OR ANY WORK ON THE GARAGE ITSELF.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? _____
Is any electrical work involved in this work? _____
Size, front 20' depth 20' No. stories 1 Height average grade to top of plate 8'-4"
To be erected on solid or filled land? slab earth or rock? _____
Material of foundation concrete Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof pitch Rise per foot 1-5" Roof covering Asphalt roofing Class C Und. Lab.
No. of chimneys no Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Framing lumber—Kind second hand Dressed or full size? _____
Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x8 2x6
On centers: 1st floor _____, 2nd _____, 3rd _____, roof 16" 24"
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 20' 10'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot 1 to be accommodated 2
Total number commercial cars to be accommodated no
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner By Mary Gladu

Permit No. 44898

Location 1029 Congress St.

Owner Mary Spada

Date of permit 9/18/44

Notif. closing in

Inspn. closing in

Final Notif. 3-1-50

Final Inspn. 10/20/44

Cert. of Occupancy issued

Notes

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