

925 CONGRESS STREET



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date 10-25, 19 79
Receipt and Permit number A34889

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine.

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 925 Congress St.

OWNER'S NAME: Bob McDougal ADDRESS: 17 West St.

FEES

OUTLETS:

Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____

FIXTURES: (number of)

Incandescent _____ Fluorescent _____ (not strip) TOTAL _____

Strip Fluorescent _____ ft. _____

SERVICES:

Overhead X Underground _____ Temporary _____ TOTAL amperes 200 .. 3.00

METERS: (number of) 4 .. 2.00

MOTORS: (number of)

Fractional _____

1 HP or over _____

RESIDENTIAL HEATING:

Oil or Gas (number of units) _____

Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:

Oil or Gas (by a main boiler) _____

Oil or Gas (by separate units) _____

Electric Under 20 kws _____ Over 20 kws _____

APPLIANCES: (number of)

Ranges _____ Water Heaters _____

Cook Tops _____ Disposals _____

Wall Ovens _____ Dishwashers _____

Dryers _____ Compactors _____

Fans _____ Others (denote) _____

TOTAL _____

MISCELLANEOUS: (number of)

Branch Panels _____

Transformers _____

Air Conditioners Central Unit _____

Separate Units (windows) _____

Signs 20 sq. ft. and under _____

Over 20 sq. ft. _____

Swimming Pools Above Ground _____

In Ground _____

Fire/Burglar Alarms Residential _____

Commercial _____

Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____

over 30 amps _____

Circus, Fairs, etc. _____

Alterations to wires _____

Repairs after fire _____

Emergency Lights, battery _____

Emergency Generators _____

INSTALLATION FEE DUE: _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE: _____

FOR REMOVAL OF A "STOP ORDER" (304-16.b) TOTAL AMOUNT DUE: 5.00

INSPECTION:

(8:00 - will be ready)

Will be ready on 10-26, 19 79 or Will Call _____

CONTRACTOR'S NAME: Joseph Somma

ADDRESS: 46 Inverness St.

TEL: 775-3260

MASTER LICENSE NO.: 04031 SIGNATURE OF CONTRACTOR: Joseph V. Somma

LIMITED LICENSE NO.: _____

INSPECTOR'S COPY — WHITE

OFFICE COPY — CANARY

CONTRACTOR'S COPY — GREEN

INSPECTIONS: Service
Service called in
Closing-in

✓ by *Liddy*
11-14-79

PROGRESS INSPECTIONS:

10-26-79 AM NoH
10-26-79 PM NoH
10-29-79 NoH
11-5-79

ELECTRICAL INSTALLATIONS —
Permit Number 34889
Location 925 Englewood St.
Owner B. McDaniel
Date of Permit 10-25-79
Final Inspection 11-14-79
Inspector *Liddy*
Application Register Page No. 39

11-14-79

DATE:

REMARKS:

11-5-79 gr not right

925 Congress Street

Feb. 4, 1969

B. L. Slosberg
~~152 Pleasant Avenue~~
152 Pleasant Avenue

Re: Electrical inspection - 925 Congress Street

Dear Mr. Slosberg:

On a recent electrical inspection, on which you were present, on February 3, 1969 the following electrical hazards were found and must be cared for immediately.

All spliced current carrying cable must be installed in junction boxes (knob and tube wiring with loom, these conditions exist in cellar and first floors. Fixtures in windows must be wired properly or disconnected.

This work must be done by a licensed electrician. Thank you.

Very truly yours,

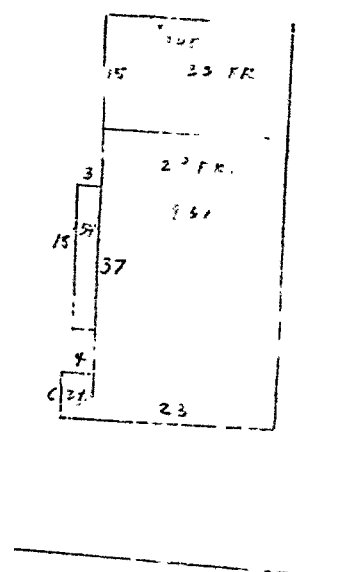
Frank Herbert, Electrical Inspector
City of Portland

FH:m

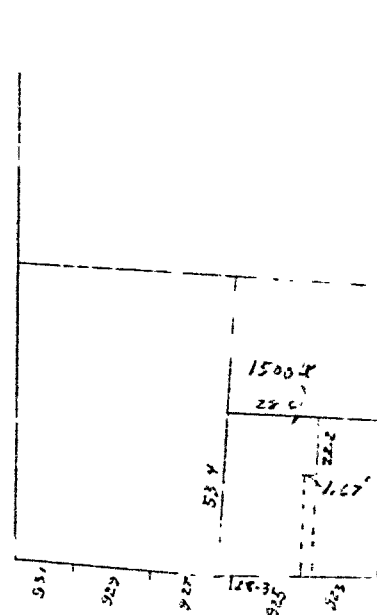
<p>925 Congress St. 1 wide apartment @ 3rd floor Zoning for 2nd story Zoning: B-2 Apartment or multiple family use 1 base + bulk Minimum requirements of R-6 Main rear ydo. 20' ✓ Side ydo. 2 1/2 stories 10' deep ✓ Area / family 1000 sq ft ✓ Off street parking 1 space req'd ✓ Special + General Use.</p>		<p>5/18/64 65-D-16 Letter 1500 sq ft</p>
<p>Section 203</p>	<p>Sec. 212</p>	
<p>(a) Use: Residential</p>	<p>(a) Use</p>	
<p>(b) Features + Separation Exterior walls less than 5' from line req'd to be 2 hr separation ✓ 1 hr separation from business use req'd. ✓</p>	<p>(b) Under specifications</p>	
<p>(c) Construction 0.5</p>	<p>(c) OK</p>	
<p>(d) Light + Ventilation d-3 5 ft side ydos Room Height Min 90 inches Top of windows min 72" above floor Min window 11 sq ft or 1/8 floor area Windows in stair hall 6 sq ft area Skylight 21 sq ft with acoustical 50 sq inches</p>	<p>(d) Light + Ventilation</p>	
<p>(e) Hallway lights on one side of stairs</p>	<p>(e) Egress - Two means provided - Balcony, outside</p>	

(f) Incon. Dist. Bldg. with 1/2 full. ✓ Cellar stairs, middle stairs above level for 1 hr.	9.	
(g) Bathroom & 1st floor.	(g) str.	
(h) Vade, general ✓	(h) Type of heat?	
✓ Cellar concrete & dry?	(i) str.	
(ii) exist - Wide glass windows allowed. Window area 1/2 floor area 1/3 area of roof to open Window frame 5' above floor.	(j)	
✓ (k) 2' width & 2 45° pitch alarm system to include all doors.		
(l) plaster existing?		

55-D-16



VALLEY ST



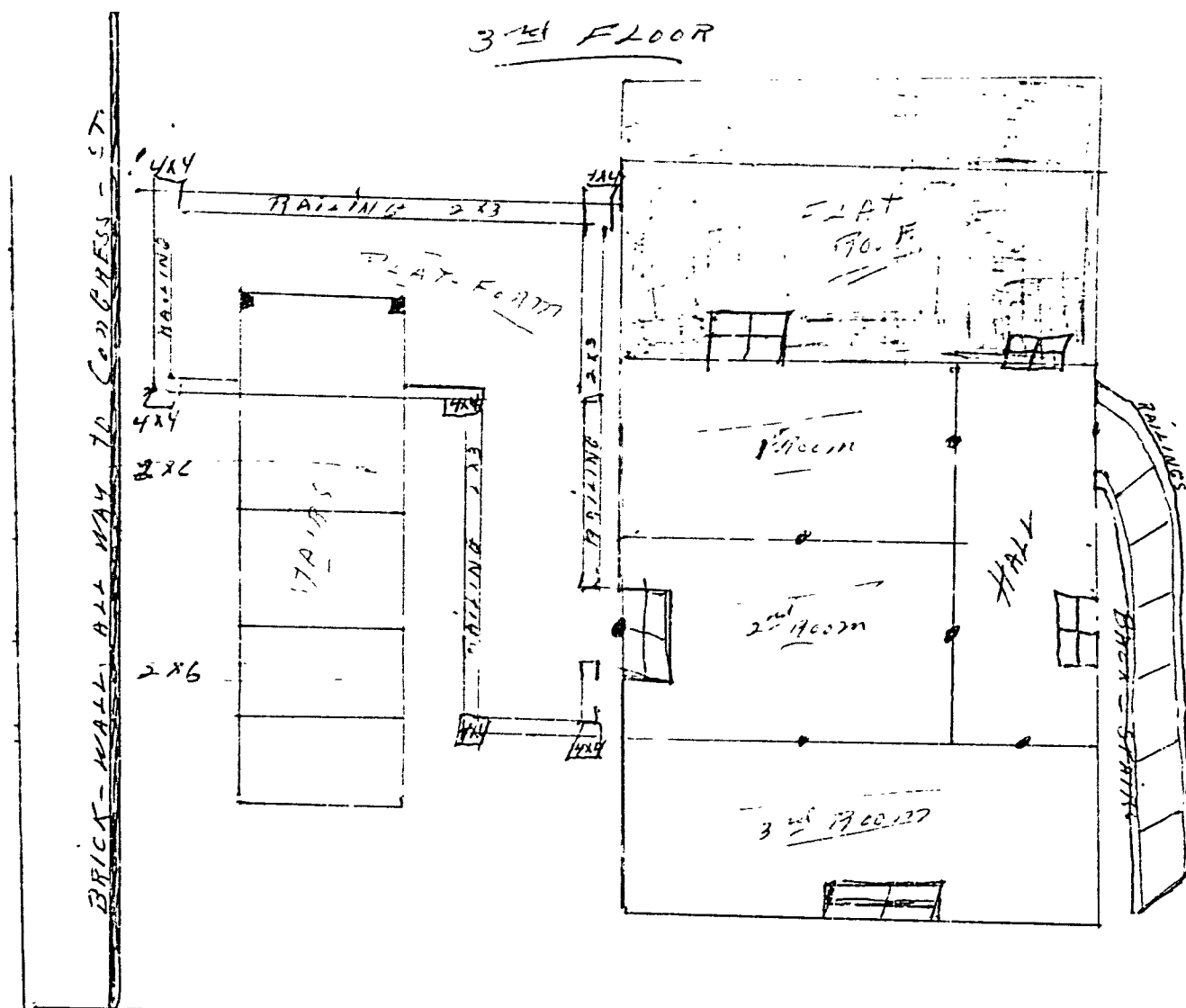
ST

GILMAN

CONGRESS

ST

3rd FLOOR



CONGRESS ST

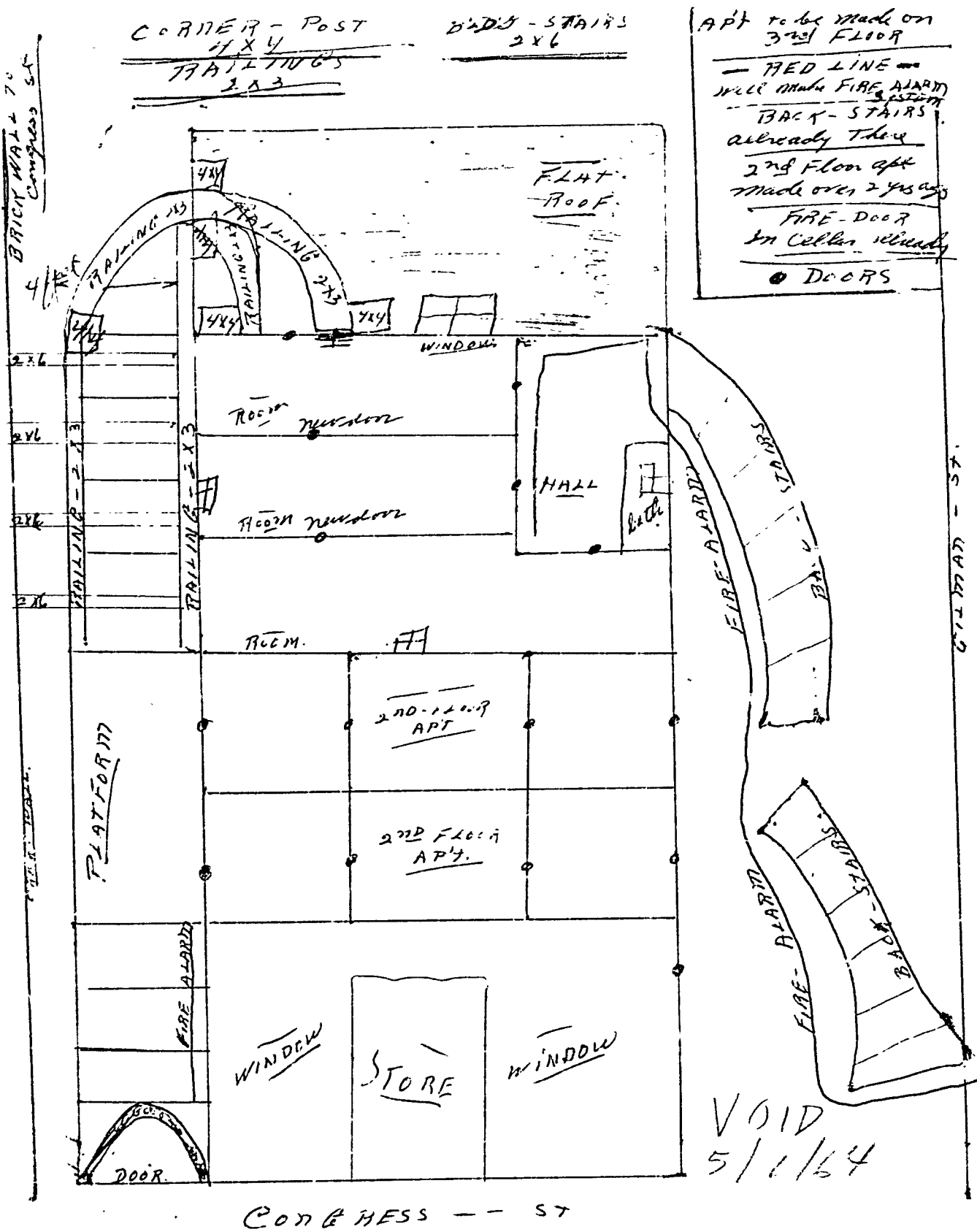
Reeling 2x3

Corner Post 4x4

NEW STAIRS
TO CONGRESS ST.

Entrance leading to
stairs from 2nd Room

6 - - DOORS





32 BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, May 6, 19

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 925 Congress Street Within Fire Limits? _____ Dist. No. _____
Owner's name and address E. L. Slosberg, 925 Congress St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Charles Morange, 184 Park Avenue Telephone _____
Architect _____ Specifications _____ Plans yes _____ No. of sheets _____
Proposed use of building Store and dwelling No. families 2 _____
Last use _____ No. families _____
Material frame _____ No. stories 2½ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 2000. _____ Fee \$ 6.00 _____

General Description of New Work

To provide new apartment on third floor
To cut in two new doors
To construct outside stairway third floor to ground as per plan
To change window to door to lead onto fire escape

Work not being done.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? yes _____ Is any electrical work involved in this work? yes _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? yes _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes _____

CS 201

INSPECTION COPY

Signature of owner

E. L. Slosberg



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Initial Class

Portland, Maine.

December 30, 1963

B2 BUSINESS ZONE

To the INSPECTOR OF BUILDINGS PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, install, the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 925 Congress St.

Within Fire Limits?

Dist. No.

Owner's name and address B.L. Slesberg, 925 Congress St.

Telephone

Lessee's name and address

Telephone

Contractor's name and address not listed

Telephone

Architect

Specifications

Plans yes

No. of sheets 1

Proposed use of building Barber Shop & Retail Store

No families

Last use

No. families

Material frame

No. stories 2

Heat

Style of roof

Roofing

Other buildings on same lot

Estimated cost \$ 400.00

Fee \$ 3.00

General Description of New Work

To provide a non-bearing partition through center of store, making a retail store and barber shop. 2x4 studs 16" o.c. covered with sheetrock.
To provide (2) front entrance doors in place of one.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work?

Is any electrical work involved in this work?

Is connection to be made to public sewer?

If not, what is proposed for sewage?

Has septic tank notice been sent?

Form notice sent?

Height average grade to top of plate

Height average grade to highest point of roof

Size, front

depth

No. stories

solid or filled land?

earth or rock?

Material of foundation

Thickness, top

bottom

cellar

Kind of roof

Rise per foot

Roof covering

No. of chimneys

Material of chimneys

of lining

Kind of heat

Framing Lumber-Kind

Dressed or full size?

Corner posts

Sills

Size Girder

Columns under girders

Site

Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters:

1st floor

2nd

3rd

roof

Or. centers:

1st floor

2nd

3rd

roof

Maximum span:

1st floor

2nd

3rd

roof

If one story building with masonry walls, thickness of walls?

height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

J. E. Mc

Miscellaneous

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

B.L. Slesberg

CS 331

INSPECTION COPY

Signature of owner by

J. E. Mc

Mc

Permit No. 6412
Location 1055 E. 1st Ave.
Owner Ed. J. Williams
Date of p. mt 11-2-1944
Notif. closing-in _____
Inspr. closing-in _____
Final Notif. _____
Final Insp. _____
Cut. of Occupancy issued _____
Staking Out Notice _____
Form Clerk Notice _____

NOTES

Cancel

PERMIT
NUMBER 9193

PERMIT TO INSTALL PLUMBING

Date Issued: Aug 31-1960
PORTLAND PLUMBING
INSPECTOR

By: J. P. Welch
APPROVED FIRST INSPECTION

Date: Aug 31-1960
By: JOSEPH P. WELCH

APPROVED FINAL INSPECTION

Date: Sept. 60
By: W. W. K.

TYPE OF BUILDING
☐ COMMERCIAL
☐ RESIDENTIAL
☐ SINGLE
☐ MULTI FAMILY
☐ NEW CONSTRUCTION
☐ REMODELING

Address: <u>71 Congress Street</u>				
Installation For: <u>Plumbing</u>				
Owner of Bldg: <u>B. J. H. H.</u>				
Owner's Address: <u>60 H. H. Street</u>				
Plumber: <u>B. J. H. H.</u> Date: <u>Aug 31-1960</u>				
NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	FEE
1		SINKS	1	1.00
1		LAVATORIES	1	1.00
1		TOILETS	1	2.00
1		BATH TUBS	1	2.00
		SHOWERS		
		DRAINS		
		HOT WATER TANKS	3	
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (conn. to house drain)		
			Total	4.00

SM 12-53

PORTLAND HEALTH DEPT

PLUMBING INSPECTION



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, May 11, 1960

PERMIT ISSUED
00505
MAY 11 1960

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 925 Congress Street Within Fire Limits? _____ Dist. No. _____
Owner's name and address B. L. Slosberg, 925 Congress St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address William De Wolfe, 71 Melbourne St. Telephone _____
Architect _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building Retail store and dwelling No. families _____
Last use _____ No. families _____
Material frame No. stories 2 1/2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 250. Fee \$ 2.00

General Description of New Work

To level floors and level stairs by altering foundations
2x6 studs - 6x6 shoes
All footings below grade to be concrete
Level porch and steps - 4x4 posts with concrete footings

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____ Kind of heat _____ fuel _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Corner posts _____ Sills _____
Framing Lumber-Kind _____ Dressed or full size? _____ Size _____ Max. on centers _____
Size Girder _____ Columns under girders _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated.
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

APPROVED:

7 E. 461 5/11/60

CS 301

INSPECTION COPY

Signature of owner

B. L. Slosberg

PH

NOTES

5-17-60 Not started (AP)
 6-28-60 Working on
 footings & foundation (AP)
 7-5-60 Still (AP)
 working (AP)
 7-13-60 Studding
 out 2nd floor
 alt. to 2nd flrs.
 7-25-60 OK to close
 in second floor (AP)
 8-5-60 Still finishing
 (AP)
 9-20-60 Fire door
 not on in basement (AP)
 10-6-60 To change
 light switch to
 on at top of
 front & rear stairs
 10-10-60 Closed (AP)
 10-14-60 Completed (AP)

✓

7-14 7-14 5-17 5-17
 Permit No. 60/565
 Location 937 Channing St.
 Owner W. J. Bledsoe
 Date of permit 7/11/60
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. 10-14-60 (AP)
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice

See Permit 60/561

AF 925 Congress St.
Foundation Improvements

May 20, 1960

Mr. B. L. Slosberg
925 Congress Street
Mr. William DeWolfe
71 Melbourne Street

Gentlemen:

In accordance with our conversation at the site and our previous discussions, we are summarizing some agreements for the benefit of all concerned.

When the rear of the building is raised to level the floors, additional concrete will be required to prevent the wood sills from being in contact with the ground.

Front entrance stairs and platform to be leveled and supported on a minimum of 4x4 inch posts set on 8x8 inch square concrete piers. These posts to be located under the three existing timber bearings for the platform and secured to the concrete posts with steel dowels. It is advisable to set these posts a foot from the adjacent brick building to prevent any interference with the foundation of that building. The new concrete piers to project above grade a minimum of 6 inches and to extend below grade at least 4 feet. The post supporting the foot of the stairs to be replaced by a concrete pier or foundation set at least 4 feet below grade.

Any wood which has rotted is to be replaced.

Very truly yours,

Gerald E. Mayberry
Deputy Inspector of Buildings

GEM:m

AP 925 Congress Street
Foundation changes to level floors and exterior stairs

May 11, 1960

Mr. B. L. Slosberg
925 Congress Street

Dear Mr. Slosberg:

In the above application we neglected to state the size of the concrete pier footings, which from your previous experience you know to be either 8x8 inch square or 9 inch round to be extended 4 feet below grade.

As you also know from the previous work you have done, this office requires notification prior to your placing concrete in the forms.

Very truly yours,

Gerald E. Mayberry
Deputy Inspector of Buildings

GEM:m



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Third Class

Portland, Maine,

April 25, 1960

PERMIT ISSUED

MAY 20 1960

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 225 Congress St. Within Fire Limits? Dist. No. _____
Owner's name and address B.L. Slosberg, 60 Hersey St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address William DeWolfe, 225 Danforth St. Telephone 2-5352
Architect _____ Specifications _____ Plans yes No. of sheets 2
Proposed use of building Department Store & Apartments dwelling No. families 2
Last use " " & Apartment " No. families 1
Material frame No. stories 2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 2000.00 Fee \$ 5.00

General Description of New Work

To change use of second floor of building from one to two apartments with alterations.

To construct a bearing partition to extend existing hallway. 2x4 studs 16" o.c.

To provide new door leading from hall to back stairs. (all as per plans) ~~cancel~~

To enlarge existing opening from parlor to kitchen

New footings & cals under run of stairs Congress St
to 2nd floor

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work? _____
Is connection to be made to public sewer? If not, what is proposed for sewage? _____
Has septic tank notice been sent? Form notice sent? _____
Height average grade to top of plate Height average grade to highest point of roof _____
Size, front depth No. stories solid or filled land? earth or rock? _____
Material of foundation Thickness, top bottom cellar _____
Material of underpinning Height Thickness _____
Kind of roof Rise per foot Roof covering _____
No. of chimneys Material of chimneys of lining Kind of heat fuel _____
Framing Lumber—Kind Dressed or full size? Corner posts Sills _____
Size Girder Columns under girders Size Max. on centers _____
Kind and thickness of outside sheathing of exterior walls? _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof _____
On centers: 1st floor, 2nd, 3rd, roof _____
Maximum span: 1st floor, 2nd, 3rd, roof _____

If one story building with masonry walls, thickness of walls? height? _____

If a Garage

No. cars now accommodated on same lot, to be accommodated, number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

B.L. Slosberg 5/20/60 WITH Letter

Miscellaneous

Will work require disturbing of any tree on a public street? _____
Will there be in charge of the above work a person or see that the State and City requirements pertaining observed? yes
B.L. Slosberg

by:

B.L. Slosberg

INSPECTION COPY

Signature of owner

NOTES

6-28-60 New looking
going under front
run of stairs to 2nd
floor. *AK*

7-25-60 OK to close
in 2nd class. (2)
AP-5. *AK*

10-14-60 Completed
AK

✓

Permit No. 60/5791
Location 925 Chicago St.
Owner E. H. H. H. H.
Date of permit 5/20/60
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn.
Cert. of Occupancy issued 10/18/60
Sinking Out Notice
Form Check Notice

See permit 60/505

(COPY)



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 925 Congress St.

Issued to B.L. Slosberg
60 Hersey St.

Date of Issue October 17, 1960

This is to certify that the building, premises, or part thereof, at the above location, built—altered
—changed as to use under Building Permit No. 60/61, has had final inspection, has been found to conform
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for
occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES
Second floor

APPROVED OCCUPANCY
Two apartments

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

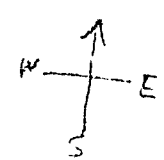
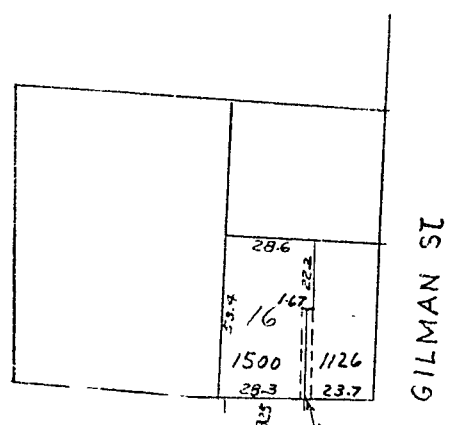
Nelson F. Cartwright

Albert J. Sears
Inspector of Buildings

CS 147

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

DIC



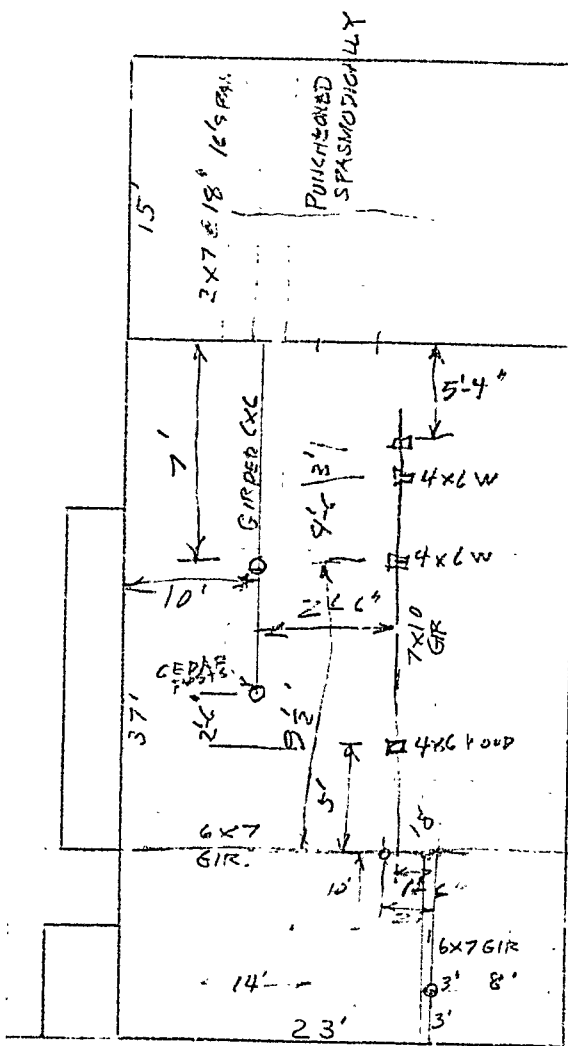
CONGRESS ST.

PASSAGEWAY COMMON
TO BOTH PARTIES.

53.4
22.2
31.2

P.A. JES CONGRESS CT
BL SLOSBERG

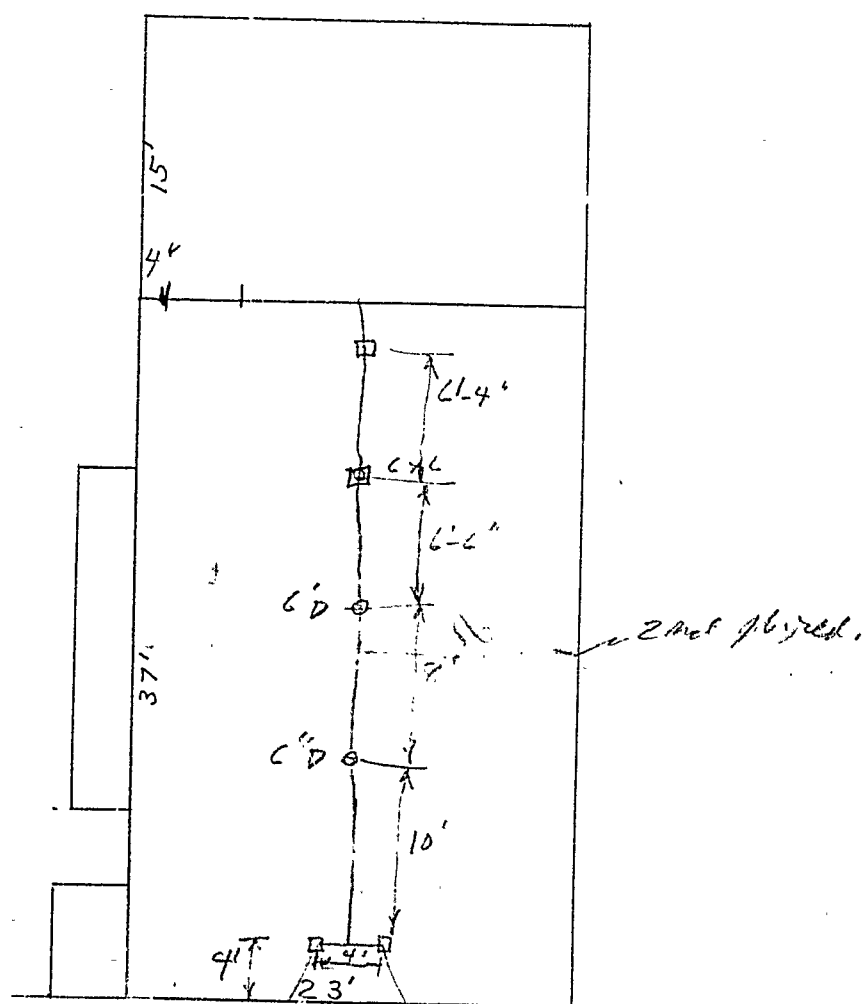
stairs 9'-8" wide



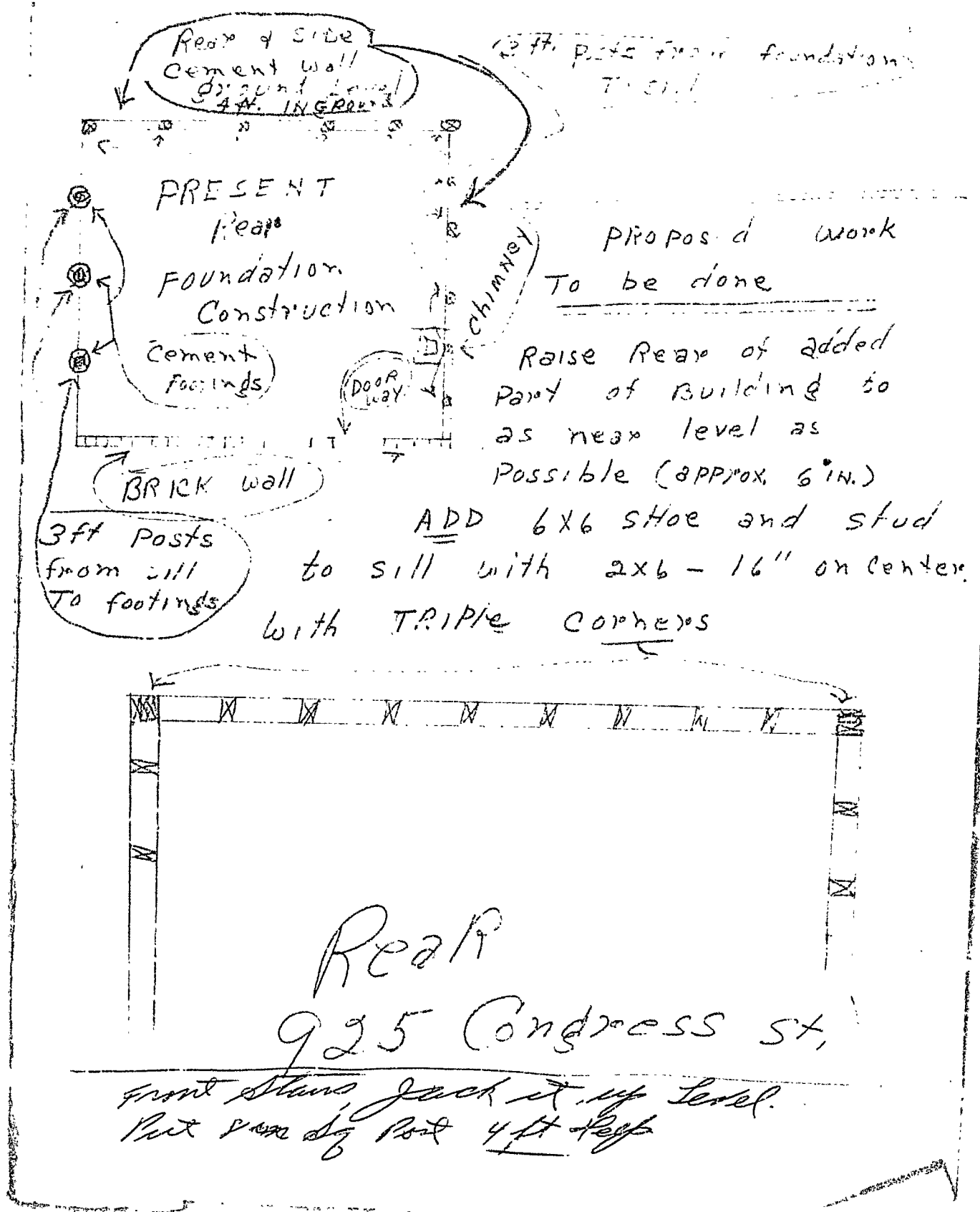
CONGRESS ST

37
15
52

P.A. 925 CONGRESS ST.
BL. SLOSBERG



CONGRESS ST.
FIRST FL.



AP 925 Congress St.
Alterations to change occupancy from 1-family to 2-family apartments
May 20, 1960

Mr. D. L. Slosberg
925 Congress Street
Mr. William DeWolfe
71 Melbourne Street

Gentlemen:

In view of the several conferences and sketches concerning the above application we are issuing this permit subject to the following letter clarifying the intentions of this permit.

There is to be installed a light above the rear stairs with a switch located at the top landing.

The third floor, not to be occupied, is to be floored over with permission to leave a 2x3 foot hatchway.

The present door in the bath should be left to provide an emergency exit to the rear stairs.

The enclosure that you show at the cellar stairs with one hour fire resistance does not give this protection. This permit is being issued subject to this enclosure meeting these requirements before a closing-in permit will be issued.

Very truly yours,

Gerald E. Hayberry
Deputy Inspector of Buildings

GEM:m

AP-925 Congress Street, Alteration to change second floor
from one to two apartments.

May 10, 1960

Mr. B. L. Slosberg:
925 Congress Street

Dear Mr. Slosberg:

After our conversation this morning, I have again gone over
the material that you submitted with your application for build-
ing permit.

In order to approve the alteration to change the dwelling
use of your building, we will require a plan drawn to true scale
of the second floor. I still feel that what you are proposing
will not work, and that a true scale drawing will show this to be
so.

However, as I explained to you yesterday, before you make
the above changes you will be required to get a permit for the
foundation changes to the building addition and front porch.

The first thing for you to do Mr. Slosberg, is to have your
builder apply at this office for a permit to do this foundation
work. As he can tell us what he plans to do, another plan for
this shouldn't be necessary.

Very truly yours,

GEM/jg

Gerald E. Mayberry
Deputy Inspector of Buildings

AP-925 Congress Street

May 3, 1960

B. L. Slosberg
925 Congress Street

Dear Mr. Slosberg:

The plans which you submitted are not drawn to scale. If these were correctly drawn it would be seen that the proposed hallway ends down in the rear stairs rather than at the top landing as intended.

Please revise these drawings to a true scale.

It was noticed that the addition to the main building and the front stairs have settled probably due to unsatisfactory foundation conditions. As this structural condition is contrary to the Housing Code, this should be corrected now. The correction of this condition should also be shown on a true scale plan and should be included in the permit now being applied for.

Very truly yours,

GEM/jg

Gerald E. Mayberry
Deputy Inspector of Buildings

Memorandum from Department of Building Inspection, Portland, Maine
AP - 925 Congress Street

March 24, 1958

Mr. E. L. Slosberg,
925 Congress St.

Dear Mr. Slosberg:

Permit to remove partitions on first floor to enlarge store space at the above location, based on plans filed with permit application, is issued herewith but subject to the following conditions:

—concrete pier foundations for wooden posts in the basement ^{and to} extend at least 4 inches above finished grade of dirt floor in basement to prevent early deterioration of posts from possible dampness.

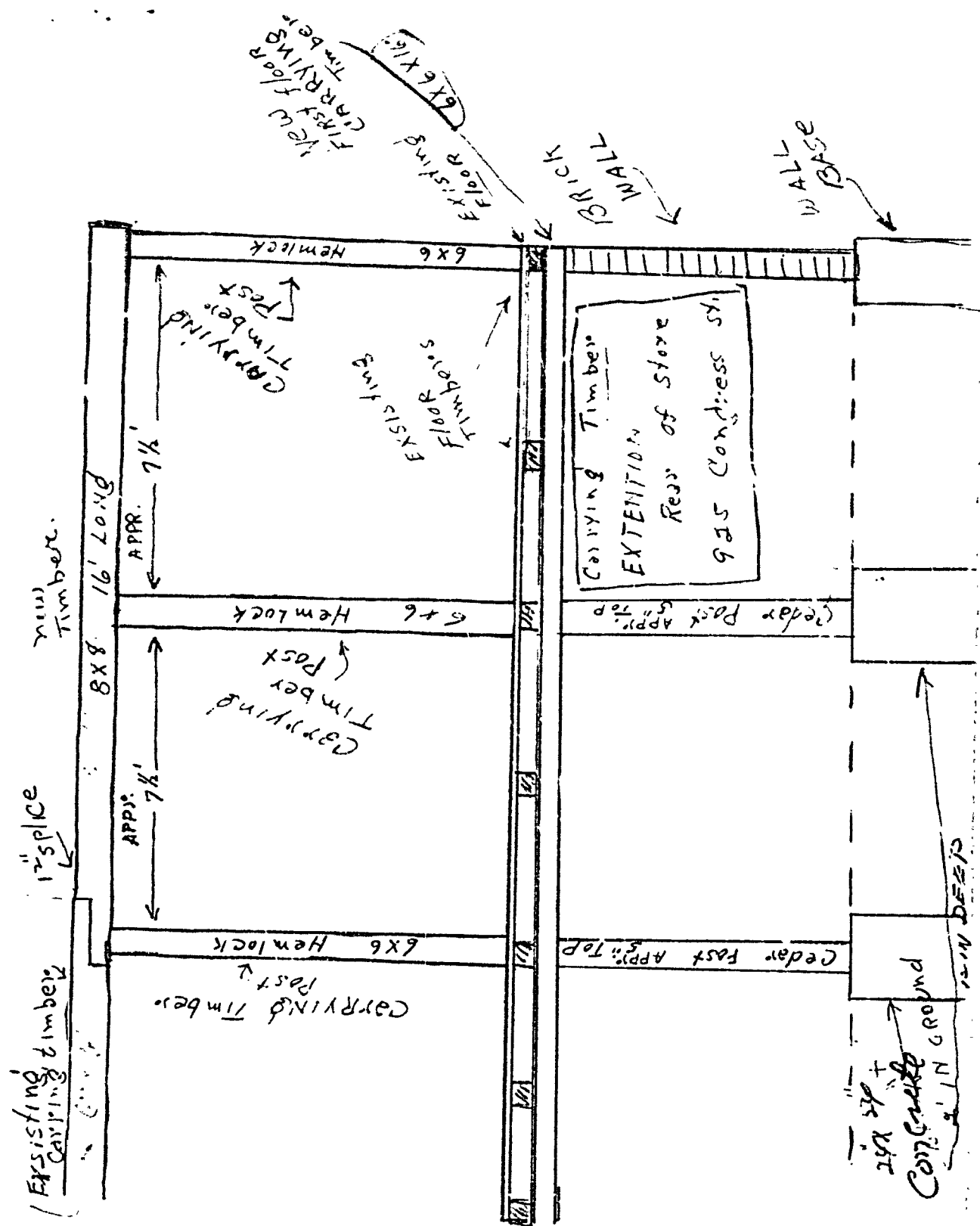
—6x6 posts between first floor and second floor levels shall extend in one piece to rest on new 6x6 wood girder in basement.

Very truly yours,

Theodore T. Sand
Deputy Inspector of Buildings

TTR/H

CS-27





DEPARTMENT OF PERMITS
APPLICATION FOR PERMIT
Class of Building or Type of Structure Third Class
Portland, Maine, March 18, 1958

PERMIT ISSUED
00263
MAR 24 1958
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair-demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location	925 Congress St.	Within Fire Limits?		Dist. No.	
Owner's name and address	B.L. Slosberg, 60 Hersey St.			Telephone	
Lessee's name and address				Telephone	
Contractor's name and address	William DeWolfe, 225 Danforth St.			Telephone	2-5352
Architect		Specifications	Plans	yes	No. of sheets 1
Proposed use of building	Department Store				No families
Last use	"				No families
Material frame	No. stories 2½	Heat	Style of roof		Roofing
Other building on same lot					
Estimated cost \$	300,000				Fee \$ 2.00

General Description of New Work

To remove partitions on first floor to enlarge store space.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO owner**

Details of New Work

Is any plumbing involved in this work?	Is any electrical work involved in this work?			
Is connection to be made to public sewer?	If not, what is proposed for sewage?			
Has septic tank notice been sent?	Form notice sent?			
Height average grade to top of plate	Height average grade to highest point of roof.			
Size, front depth	No. stories	solid or filled land?	earth or rock?	
Material of foundation	Thickness, top	bottom	cellar	
Material of underpinning	Height	Thickness		
Kind of roof	Rise per foot	Roof covering		
No. of chimneys	Material of chimneys	of lining	Kind of heat fuel	
Framing lumber—Kind		Dressed or full size?		
Corner posts	Sills	Girt or ledger board?	Size	
Girders	Size	Columns under girders	Size	Max. on centers
Studs (outside walls and carrying partitions)	2x4-16" O. C.	Bridging in every floor and flat roof span over 8 feet.		
Joists and rafters:	1st floor	2nd	3rd	roof
On centers:	1st floor	2nd	3rd	roof
Maximum span:	1st floor	2nd	3rd	roof
If one-story building with masonry walls, thickness of walls?				height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

.....
.....
.....

Miscellaneous

Will work require disturbing of any tree on a public street no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

B.L. Slosberg
William DeWolfe

INSPECTION COPY

Signature of owner

by:

C16-254-114 Marks

NOTES

4-2-58 Footings in place *AP*

4-11-58 Beam & posts in O.K. *AP*

4-17-58 Completed *AP*

X

Permit No. 8/263
 Location G.S. (Superior St.)
 Owner J. H. (Superior St.)
 Date of permit 3/24/58
 Notif. closing in
 Inspn. closing in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Settling Out Notice
 Form Check Notice

4-17 4-5

November 12, 1957

AP - 925 Congress Street

Mr. M. L. Mosberg
925 Congress Street

cc to: Mr. William C. Leolfe
25 Banforth Street

Dear Mr. Mosberg:

We are unable to issue a permit for construction of outside platform with stairs leading from second story living quarters to ground on rear of your building at the above named location because such a structure would be an unlawful encroachment upon the rear yard space required for the living quarters by Section 9-5-a of the Zoning Ordinance applying to the B-2 Business Zone in which the property is located.

Besides this question of compliance with zoning Ordinance requirements, it does not appear that in the small open space available on your lot that a stairway could be constructed from a platform of the size indicated down to the ground, as shown on the plan filed with the permit application, and be kept within the confines of your property unless it was not much more than a ladder as far as steepness is concerned. Is this what you have in mind? Do you plan other work in the first story of the building, such as removal of partitions, which is not mentioned in your application for permit?

Very truly yours,

Albert J. Seare
Deputy Inspector of Buildings

AJS:M

Refunded 11/26/57



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, November 5, 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair or demolish the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 925 Congress St. Within Fire Limits? yes Dist. No. 3
Owner's name and address B. L. Slobberg, 925 Congress St. Telephone
Lessee's name and address Telephone
Contractor's name and address William C. Denolfe, 225 Danforth St. Telephone
Architect Specifications Plans yes No. of sheets 1
Proposed use of building Store and dwelling No. families 1
Last use " No. families 1
Material frame No. stories 2 1/2 Heat Style of roof pitch Roofing
Other building on same lot
Estimated cost \$ 300. Fee \$ 2.00

General Description of New Work

To construct 4'x10'xplatform and steps on rear of store

To cut in new outside door and to remove existing basement stairs inside store and floor over opening

Revised 11/26/57

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation concrete piers at least 4' below grade Thickness, top 12" bottom 12" cellar no
Material of underpinning Height Thickness
Kind of roof none Rise per foot Roof covering
No. of chimneys Material of chimneys or lining Kind of heat fuel
Framing Lumber--Kind hemlock Dressed or full size? dressed Corner posts 4x6 Sills 4x6
Size Girder Columns under girders Size Max. on centers
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x6, 2nd, 3rd, roof none
On centers: 1st floor 16", 2nd, 3rd, roof
Maximum span: 1st floor 8', 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height:

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED.

Miscellaneous

Will work require disturbing of any tree on a public street? NO
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner

[Signature]

J.H.

人

921-6000

23

2/13

—

1

1. *Chlorophyll a* (Chl a) and *Chlorophyll b* (Chl b) are the two main photosynthetic pigments in green plants. They are responsible for capturing light energy and converting it into chemical energy through the process of photosynthesis. Chl a is the primary pigment, while Chl b acts as an accessory pigment, transferring energy to Chl a.

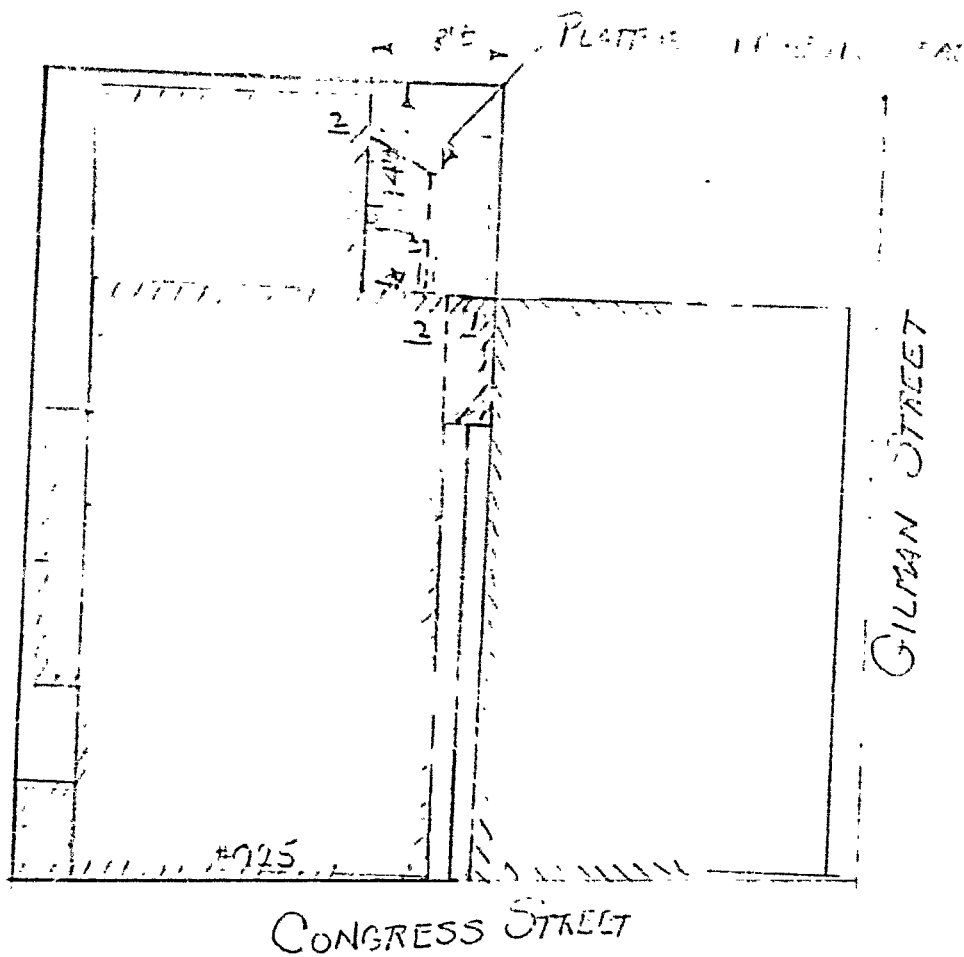
1. Introduction

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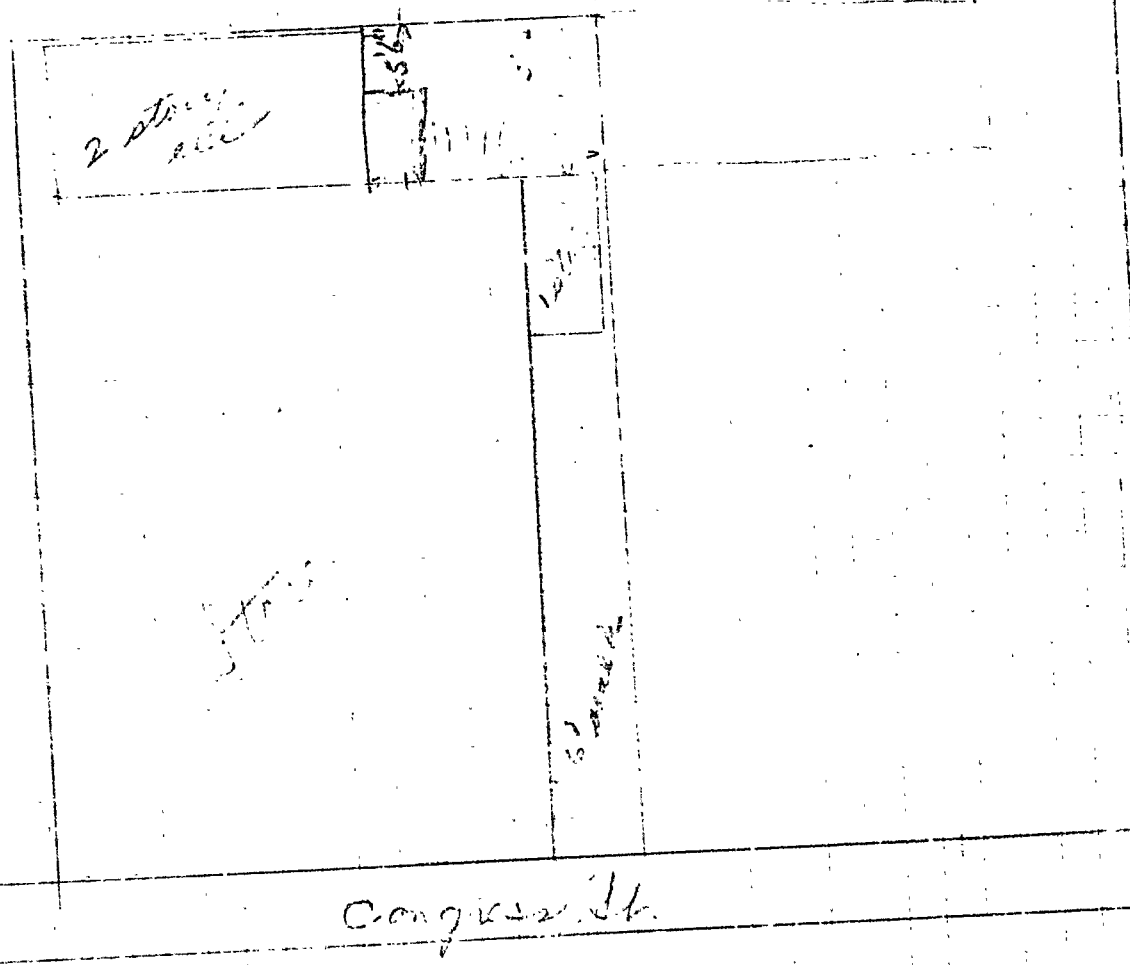
!

1

Location 925-6000
Owner B. P. Jones
Date of permit 11/17/17
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Initial Inspn. _____
Cert. of Occupancy issued _____
Making Out Notice _____
Form Check Notice _____



B-2 zone - land use is now dwelling, but at second floor level. All other buildings at this level use in first story, but side yard is provided must be 3 feet.
 - No yard requirements in B-2 zoning
 Code apply.





15 square feet in each face, marked with Flexiglass
Underwriters' Laboratories, Inc. label B2 BUSINESS ZONE

APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

01263
SEP 3 1957

Portland, Maine, August 26, 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 925 Congress St. Within Fire Limits? Dist. No.
Owner of building to which sign is to be attached B. L. Slosberg
Name and address of owner of sign Barry's Dept. Store, 925 Congress St.
Contractor's name and address United Neon Display, 74 Elm St. Telephone 2-0695
When does contractor's bond expire? Dec. 31, 1957

Information Concerning Building

No. stories 3 Material of wall to which sign is to be attached wood

Details of Sign and Connections

Building owner's consent and agreement filed with application yes
Electric? yes Vertical dimension after erection 5' Horizontal 5'
Weight 90 lbs., Will there be any hollow spaces? yes Any rigid frame? yes
Material of frame angle iron No. advertising faces 2, material plastic
No. rigid connections 2 Are they fastened directly to frame of sign? yes
No. through bolts no, Size , Location, top or bottom
No. guys 3, material 1 cable 2 angle, Size cable 5/16" 11x13/16 angle
Minimum clear height above sidewalk or street 11' 6"
Maximum projection into street 7' United Neon Display Fee \$ 2.00

Signature of contractor By: [Signature]

INSPECTION COPY

Permit No. 57/1263

Location: 925 Congress St.

Owner Barry's Dept. Store

Date of permit: 9/3/57

Sign Contractor

Final Inspn. 10/22/57

NOTES

11/57- Prop made, P. S. S. 1

22/5.7 - work done
S.E. 7

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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2

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 925 Congress Street IN PORTLAND, MAINE

B. L. Slosberg, being the owner of the
premises at 925 Congress St. in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Barry's Dept. Store
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit B. L. Slosberg
_____, owner of said premises, in event said sign shall
cease to serve the purpose for which it was erected or shall become dangerous
and in event the owner of said sign shall fail to remove said sign or make
it permanently safe in case the sign still serves the purpose for which it
was erected, hereby agrees for himself or itself, for his heirs, its
successors, and his or its assigns, to completely remove said sign within
ten days of notice from said Inspector of Buildings that said sign is in
such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this consent
and agreement this 23rd day of August 1957

[Signature]
Witness

[Signature]
Owner

August 27, 1957

AP - 925 Congress Street

United Neon Display
74 Elm Street
Harry's Department Store
925 Congress Street

Copies to Corporation Counsel

Mrs. Bessie L. Jozberg
60 Hersey Street

Gentlemen:-

We are unable to issue a permit for erection of a sign 3 feet by 5 feet projecting 7 feet over the public sidewalk from the front of the building at 925 Congress Street because the maximum allowable projection from the building of such a sign based on the distance of the sign from adjoining property on either side is three feet as specified by Section 9-4-4 of the Zoning Ordinance applying to the U-2 Business Zone in which the property is located.

In many situations contrary to the Zoning Ordinance the Board of Appeals may authorize variations therefrom. If the owner is desirous of such action, the Corporation Counsel in Room 208 City Hall should be consulted.

Very truly yours,

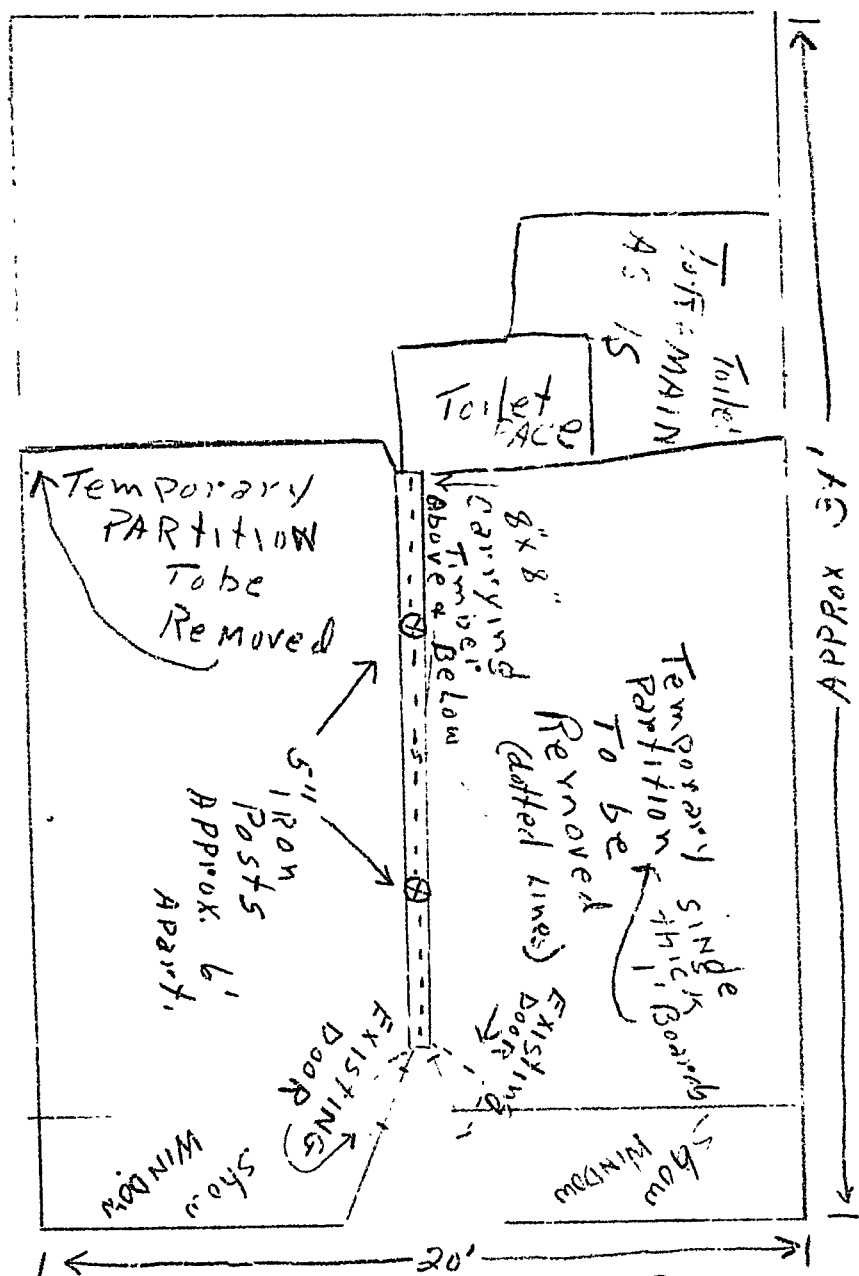
Albert J. Sears
Deputy Inspector of Buildings

ASB/G

Deputy Inspector of Buildings

9/12/17

9/1/17



Permit To Remove
Temporary Partitions

May 16, 1957

AP 925 Congress St.—Demolition of partition to enlarge store

Mrs. Bessie L. Slosberg
60 Harsey St.
Mr. William J. DeWolfe
225 Danforth St.

Dear Mrs. Slosberg and Mr. DeWolfe,

Mr. Slosberg has filed application for a building permit today which conveys only the general information "to demolish non-bearing partition to enlarge store."

Such meager description in no way satisfies the requirements of the Building Law that all details of a given job shall be fully explained by plans or specifications so that we may know that the law is to be complied with before the permit is issued.

It will be necessary for you to have a plan made showing the entire proposition of the existing store and the part to be taken into it with full information as to the customer area, area for storage, all means of egress, either existing or proposed, and all other particulars of importance as regulated by the Building Code.

This plan must be a blueprint with all of the information on it printed from the original or the original drawing and a carbon copy duplicate must both be filed with your application for the permit. The plan should be made by someone who fully understands how to make such plans to convey information in the same manner done all over the world; and also some party who is sufficiently acquainted with the Building Law to determine for himself in advance whether the requirements of the law will be observed.

In the meantime it is unlawful to proceed with any of the work until the permit card has been issued and you have it in your possession on the premises and posted outside in a conspicuous place.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMcD/B

3A



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, May 16, 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ repair ~~demolish~~ install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 925 Congress St. Within Fire Limits? Dist. No.
Owner's name and address Bessie L Slosberg, 60 Hersey St. Telephone
Lessee's name and address Telephone
Contractor's name and address William S DeWolfe, 225 Danforth St. Telephone 2-5352
Architect Specifications Plans No. of sheets
Proposed use of building Store & dwelling No. families
Last use No. families
Material wooden No. stories 2 1/2 Heat Style of roof Roofing
Other building on same lot
Estimated cost \$ 100.00 Fee \$ 50

General Description of New Work

To demolish non-bearing partition. to enlarge store.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

O.N.-5/21/57-ags

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Bessie Slosberg
William S DeWolfe

INSPECTION COPY

Signature of owner by Bessie L Slosberg

W.S. DeWolfe

NOTES

6-5-57 To start
next week.

6-11-57 Closed

6-18-57 Temp. partitions removed.

To have Millwood
prepare plans

6-5-57
C-18

Permit No. 577/467

Location 925 - Angus St.

Owner Beattie & Blooming

Date of permit 5/23/57

Notif. closing in

Inspn. closing in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, August 19, 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications.

Location 925 Congress St. Use of Building Dwelling & Store No. Stories 2 1/2 New Building
Name and address of owner of appliance Barry Slosberg, 60 Hersey St. Existing "
Installer's name and address Portland Sebago Ice Co. 302 Commercial St. Telephone 3-2911

General Description of Work

To install Oil Burner in connection with existing steam heat.

IF HEATER, OR POWER BOILER

Location of appliance
If so, how protected?
Minimum distance to burnable material, from top of appliance or casing top of furnace
From top of smoke pipe
Size of chimney flue
If gas fired, how vented?
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion?
Any burnable material in floor surface or beneath?
Kind of fuel?
From front of appliance
Other connections to same flue
From sides or back of appliance
Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Del type
Will operator be always in attendance?
Type of floor beneath burner concrete
Location of oil storage basement
Low water shut off yes
Will all tanks be more than five feet from any flame? yes
Total capacity of any existing storage tanks for furnace burners
Does oil supply line feed from top or bottom of tank? bottom
Size of vent pipe 1 1/2"
Number and capacity of tanks 1-275 gal.
Make Watts
How many tanks enclosed? No. 89A
none

IF COOKING APPLIANCE

Location of appliance
If so, how protected?
Skirting at bottom of appliance?
From front of appliance
Size of chimney flue
Is hood to be provided?
If gas fired, how vented?
Any burnable material in floor surface or beneath?
Height of Legs, if any
Distance to combustible material from top of appliance?
From sides and back
Other connections to same flue
From top of smokepipe
Forced or gravity?
Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Albert J. Sears

C17

MAINE PRINTING CO.

INSPECTION COPY

Signature of Installer by:

Barry Slosberg

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
Barry Slosberg
Portland Sebago Ice Co.

Fm.

Approved 10-14-13

1	Age	1
2	Year	1900
3	Kind	1/2
4	Owner	1/2
5	Name	1/2
6	Stack	1/2
7	High	1/2
8	Bottom	1/2
9	Height	1/2
10	Yards	1/2
11	Depth	1/2
12	Time	1/2
13	Time	1/2
14	Time	1/2
15	Time	1/2
16	Time	1/2
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93	Time	1/2
94	Time	1/2
95	Time	1/2
96	Time	1/2
97	Time	1/2
98	Time	1/2
99	Time	1/2
100	Time	1/2

Memorandum from Department of Building Inspection, Portland, Maine

925 Congress St.--Building permit for alterations to building for B. I. Slosberg
by William DeWolfe - 7/5/57

Building permit for construction of false front on building at 925 Congress Street and for covering half of roof with asphalt shingles is issued herewith. As discussed with owner and contractor it is understood that braces consisting of not less than 4x4x5/16 angles are to be provided from each corner of the top of the wall back to the ridge of roof at an angle of approximately 45 degrees and securely fastened to wall and ridge.

AJS/G

Copy to Mr. William DeWolfe
225 Danforth St.

(Signed) Warren McDonald
Inspector of Buildings

CS-27

July 1, 1957

AP - 925 Congress Street

Mr. B. L. Slosberg
60 Hersoy Street
Mr. William DeWolfe
225 Danforth Street

Gentlemen:-

Examination of plans filed with application for permit to erect false front at top of front wall of building at above named location indicates that construction shown may not be adequate to resist possible wind action against it. It appears that some sort of construction is needed to counteract wind thrust at each end of the false wall where studs extend full height from new double plate to top of wall without support or bracing. Before a permit can be issued it is necessary that we have information indicating how this is to be done.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS/G



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine,

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 925 Congress St.

Owner's name and address B.L. Slosberg, 60 Hersey St. Within Fire Limits?

Lessee's name and address

Contractor's name and address William Dewolfe, 225 Danforth St.

Architect

Proposed use of building

Department Store

Last use

Barber Shop

Material

No. stories 2 1/2

Heat

Style of roof

Other building on same lot

Estimated cost \$ 800.

Dist. No.

Telephone

Telephone

Telephone 2-5352

No. of sheets 3

No. families

No. families

Roofing

Fee \$ 4.00

General Description of New Work

To provide "false front" as per plan, also cover (portion) of roof with Asphalt shingles.
half

Permit issued with Memo

It is understood that this permit does not include installation of heating apparatus which is to be taken on, separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height
Kind of roof Rise per foot Roof covering Thickness
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Kind and thickness of outside sheathing of exterior walls?
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

with memo by AGJ

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

B.L. Slosberg
Wm. Dewolfe

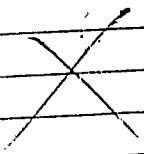
INSPECTION COPY Signature of owner by:

NOTES

7-16-57 Framed on
top of plate which is
2 ft above 3rd floor
front plates in OR
7-16-57

7-23-57 Angles on
roof tied to one
pair rafters To tie
to 3 rafters under
ridge with 2"x6" No

7-30-57 Completed
No



NOTED

Permit No. 511938
Location 925 Oregon St
Owner J. L. Steadman
Date of permit 7/5/57
Notif. closing-in
Inspr. closing-in
Final Notif.
Final Inspr.
Cert. of Occupancy issued
Sinking Out Notice
Form Check Notice

7-16-57
7-23-57
7-30-57

INQUIRY BLANK

ZONE "B"

FIRE DIST. #3

CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION

Date 12/19/55

Verbal
By Telephone

LOCATION 925 Cong St OWNER

MADE BY Donald H. Walton TEL. —

ADDRESS 74 Jacobus St.

PRESENT USE OF BUILDING Barber Shop NO. STORIES 2 1/2

LAST USE OF BUILDING vacuum attic + dwelling CLASS CONSTRUCTION 39

REMARKS tailor shop + dwelling

INQUIRY What procedure would I have to go through to install a pressing machine?
Is the tailor shop permissible at this location?

ANSWER Installer should apply for a permit.
This is permissible in this zone — retail only.

DATE OF REPLY 12/19/55 REPLY BY PH



FILL IN AND SIGN WITH INK
APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, June 3, 1946

PERMIT ISSUED
01008
JUN 5 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 925 Congress Street Use of Building Tailor shop No. Stories New Building
Name and address of owner of appliance Railroad Tailor Shop, 925 Congress Street Existing
Installer's name and address Wilbur F. Blake, Inc., 9 Forest Street Telephone 2-5968

General Description of Work

To install gas-fired high pressure boiler from Department of Building Inspection, Portland, Maine
Congress Street--installation of gas-fired high-pressure steam boiler in connection with pressing machine for the railroad tailor shop by Wilbur F. Blake Inc., installer--6/3/46

To owner of appliance and installer:

Examination should be made of the condition of this old key as far as can be seen, especially since the boiler to be installed is high-pressure which is likely to develop high temperature in the flue. If the chimney were old it is now, a special light would be required for it. Under such conditions, should it become evident that the flue is being overloaded, over-heated, or threatening the building in any way, something will have to be done, to prevent the situation.

300 Railroad Tailor Shop
925 Congress Street

Charles F. Joselevi
c/o W. F. Blake
9 Forest Street

(Signed) Warren McDonald
Inspector of Buildings

Location of oil storage Number and capacity of tanks
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? How many tanks fire proofed?

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Boiler has automatic shutoff valves.
Gas-fired appliance (or appliances if more than one) to be equipped with device which will automatically shut off all gas supply in case pilot flame is extinguished.

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Wilburn F. Blake, Inc.

Signature of Installer By: Wilbur F. Blake

INSPECTION COPY

FILL IN AND SIGN WITH INK

PERMIT NO. 01008

IF HEATER, OR POWER BOILER

Location of appliance or source of heat 1st
If wood, how protected? sheet metal
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace 5'
From top of smoke pipe 18" From front of appliance Over 4' From sides or back of appliance 1 1/2'
Size of chimney flue 8x8 Other connections to same flue Oil burning stove
If gas fired, how vented? chimney Rated maximum demand per hour

IF OIL BURNER Permit Issued with Memo

Name and type of burner Labelled by underwriters' laboratories?
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner
Location of oil storage Number and capacity of tanks
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? How many tanks fire proofed?

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Boiler has automatic shutoff valves.
Gas-fired appliance (or appliances if more than one) to be equipped with device
which will automatically shut off all gas supply in case pilot flame is extinguished.

Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Wilburn F. Blake, Inc.

Signature of Installer

By:

Wilbur F. Blake

INSPECTION COPY

Permit No. 46/1008

Location 925 Congress St

Owner Railroad Tailor Shop

Date of permit 6/5/46

NOT COMPLETED

NOTES 5:25 PM

6-13-46 Boiler

is manually

operated. Told owner

could not approve

installation, with

another connection

to warm chimney,

and from which not

automatic shut off

owner said he

would see Mr. Blake,

and have auto. mat.

shut off installed. He

said this shut off

came with the

machine but he

did not put it on.

PRB



(C) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Permit No. 8470

Class of Building or Type of Structure Third Class

Portland, Maine March 5, 1926

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 825 Congress Street Ward 7 Within Fire Limits? yes Dist. No. 8
Owner's or Lessee's name and address C. F. Jose, 438 St. John St. Telephone _____
Contractor's name and address W. Y. Hanson, 12 S. Water Street Telephone 2-0940
Architect's name and address _____
Proposed use of building Stores and tenements No. families _____
Other buildings on same lot _____
Plans filed as part of this application? no No. of sheets _____
Estimated cost \$ 70. Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
Last use Stores and tenements No. families _____

General Description of New Work

To put in sheet rock partition across rear of barber shop (2x8 studs 16" OC) to provide vestibule and toilet, existing window for ventilation of same at least three square feet in area,
To put in one new window in rear of barber shop
To put in sheathing partitions to provide new toilet room 10'x4' in rear of dressmaking shop, toilet room to be ventilated by vent shaft at least fifty-six square inches in cross section through roof

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner

C. F. Jose

W. Y. Hanson

By

INSPECTION COPY

Ward 7 Permit No. 36/170

Location 925 Congress St.

Owner C. F. J. J. J.

Date of permit 3/5/36

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 4/3/36

Cert. of Occupancy issued None

NOTES

3/9/36 Work started
on partitions in

barber shop. Went

over writing of

other toilet with

carpenter - A. J. S.

3/13/36 - Work almost

completed. Went not

yet in for inside

toilet. A. J. S.

4/3/36 - Went in - A. J. S.



(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

Permit No.

0616

Class of Building or Type of Structure

Third Class

MAY 14 1932

Portland, Maine, May 14, 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 929 Congress Street Ward 7 Within Fire Limits? yes Dist. No. 3
Owner's or lessee's name and address C. F. Jose, 456 St. John St. Telephone P 1082 J
Contractor's name and address Owner Telephone _____
Architect's name and address _____
Proposed use of building 2 stores and tenement No. families 1
Other buildings on same lot _____
Plans filed as part of this application? no No. of sheets _____
Estimated cost \$ 40. Fee \$.50

Description of Present Building to be Altered

Material wood No. stories 2 1/2 Heat _____ Style of roof _____ Roofing _____
Last use 2 stores and tenement No. families 1

General Description of New Work

To build open outside stairway from rear platform to roof of one story addition.
To lay platform app 10' x 10' on top of this roof

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED
NOTIFICATION BEFORE CLOSING
OR CLOSING IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____
To be erected on solid or filled land? _____ Height average grade to highest point of roof _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof no Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

C. F. Jose

Signature of owner By Samuel C. Jose

INSPECTION COPY

7411A

Ward 7 Permit No. 32/616
Location 929 Congress St.
Owner C. F. Jode
Date of permit 5/14/32.
Notif. closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 5/18/32
Cert. of Occupancy issued None

NOTES

5/18/32 - This work is done at 923-925 Congress Street. Work actually consists of stairs from roof of one story addition on rear of building at 925 to platform on roof of two story addition on rear of building at 927. The two buildings adjoining each other.



APPLICATION FOR PERMIT TO REPAIR BUILDING

PERMIT ISSUED
Permit No. 0008
333

Third Class Building

Portland, Maine, January 4, 1932

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to repair the following described building in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 925 Commercial Street Ward 7 Within fire limits? yes Dist. No. 5
Owner's name and address Charles F. Jose 416 St. John Street Telephone _____
Contractor's name and address William Hanson, 12 Water St. Telephone _____
Use of building stores and tenements
No. stories 2 1/2 Height _____ ft., Gross area _____ sq. ft., Style of roof _____
Type of present roof covering _____

General Description of New Work

To repair after fire to former condition. No alterations
(basement - wood too near furnace)

NOTIFICATION BEFORE EJECTING
OR CLOSING IN IS WAIVED
CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

If Roof Covering is to be Repaired or Renewed

When last repaired? _____, Area then repaired _____ sq. ft.
Are repairs or renewal due to damage by fire? yes If so, what area damaged? _____ sq. ft.
Area of roof to be repaired now? _____ sq. ft.
Type of roofing to be used _____ sq. ft.
Trade name and grade of roof covering to be used _____ No. plie _____
Estimated cost \$ 200.

Charles F. Jose

Fee \$.75

INSPECTION COPY

Signature of owner

By

William Hanson

7/36A