

Dankin Donats

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SEP3 0 1980
DEPT. OF BLDG. INSE

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APPLICATION FOR PERMIT

DERMIT ISSUE

S.O.C.A. USE GROUP	PERMIT 19501
B.O.C.A. TVPF OF CONCERNATIONS	00 0756
ZONING LOCATION PO	RTLAND MAINE Sont 20 1980
The undersigned hereby applies for a permit to erect, ture, equipment or change we in second	ERVICES, PORTLAND, MAINE alter, repair, demolish, move or install the tollowing by the
LOCATION 327 St John Charles	specifica-
1. Owner's name and address Thore. 2. Lessee's name and address. 3. Contractor name and address Thore are a contractor name and address Thore is no contractor name and address The contractor name and address Thore is no contractor name and address The contra	nas Chase - Acton, Maine . Telephone
Material No stories	Ass. Chase -Acton, Maine Telephone Abee - 14 Wainwright Circlephone B. 772-6408 East So. Port Port No. of sheets Ition No. families No.
contractural cost \$4 . 000	
FIELD INSPECTOR-Mr.	Fee \$19.00
This application is for: @ 775-5451	GENERAL DESCRIPTION
Dwelling Ext. 234 Garage Ext. 234 Masonry Bldg, Metal Bldg. Alterations	To construct 12' x 13' cement block addition to car wash, also to make one section of roof from flat to pitch as per plans. I sheet of plans. Stamp of Special Conditions
Demolitions Change of Use Other	y the installers and subcontractors of heating, plumbing, electri-
DEDIATE IS TO DE LA COLOR DE L	succontractors of heating, plumbing, electri-
PERMIT IS TO BE ISSUEL	
DETAILS O	Other:
Is connection to be made to public sewer? Has septic tank notice been sent? Height average grade to top of plate Size, front doubth	Is any electrical work involved in this work? If not, what is proposed for sewage? Form notice sent?
Kind of roof	top bottom cellar Roof covering of lining
Studs (outside walls and carrying partitions) 2x4-16" O. C.	Max. on centers
Maximum span:	Try floor and flat roof span over 8 feet.
	neight?
Will automobile repairing be done other than minor repairs	
THE ROYALS BY:	a die proposed building?
ZONING:	MISCELLANEOUS Will work require disturbing of any tree on a public street?
Fire Dept.: Health Dept.:	Will there be in charge of the above work a person competent o see that the State and City requirements pertaining thereto re observed?
Signature	10.
Type Name of aboveGeorge	Tanalee Phone # same
FIELD INSPECTOR'S COPY	Other 1 2 3 3 x4 1

and Address

The state of

\bigcirc	Date Issued 1-17-79 Portland Plumbing Inspector	Addres Installa	ation For gommonical denut shep or of Bldg Joseph Bissonnette or's Address Yarmouth Date:	<u>809</u>
,	By ERNOLD R. GOODWIN App. First Insp.		REP'L	2.00
	Date By Apr., Final Insp. Date	ode .	TOILETS BATH TUBS SHOWERS RAINS FLOOR SURFACE HOT WATER TANKS	
	Date By Type of Bldgs. Type Of Bldgs. Type		TANKLESS JATER HEATERS GARBAGE DISPOSALS SEPTIC TANKS	3.00
0	Residential Single Multi Family New Construction		HOUSE SEWERS ROOF LEADERS AUTOMATIC WASHERS DISHWASHERS OTHER	
	Remodeling	!	TOTAL	5.00

Building and Inspection Services Dept.; Plumbing Inspection

Control of the Contro

PERMIT NSTALL PLUMBING

Ann First Inc.		REP'L.	ess: 927 St. Jöhn Stroct orre B. Frederick	Date: 13/	8/67
" SANTALY TOOL TURNING!	2	 	SINKS	NC.	FEE
ADG 8 Insp	_2		LAVATORIES	3	4.0
y ANOLD R. GOODANN	_2		TOILETS	2	4.0
			BATH TUBS	2	2.6
App. Final Insp.			SHOWERS		
Date AUG 9 - 1957	1_1_		DRAINS FLOOR SURF	70E	
By ERNOLD P. GOODWIN	1		HOT WATER TANKS	ACE 7	- 6
			TANKLESS WATER HEATERS	- 	
CHIEF PLUMBING MSPECTOR			-ARBAGE DISPOSATE		
☐ Commercial			I.PI TANKS		
☐ Residential			HO! 2 SEWERS		
☐ Single			ROOF LEADERS		
☐ Multi Family			AUTOMATIC WASHERS		
☐ New Construction			DISHWASHERS	-	
Remodeling			OTHER (SPECIAL MASTE)		6
			URINAY.		K

MEMORANDUM F. M DEPARTMENT OF BUILDING INSPECTION, PORTLAND, MAINE

June 18, 1971

Location: 327 t. John its

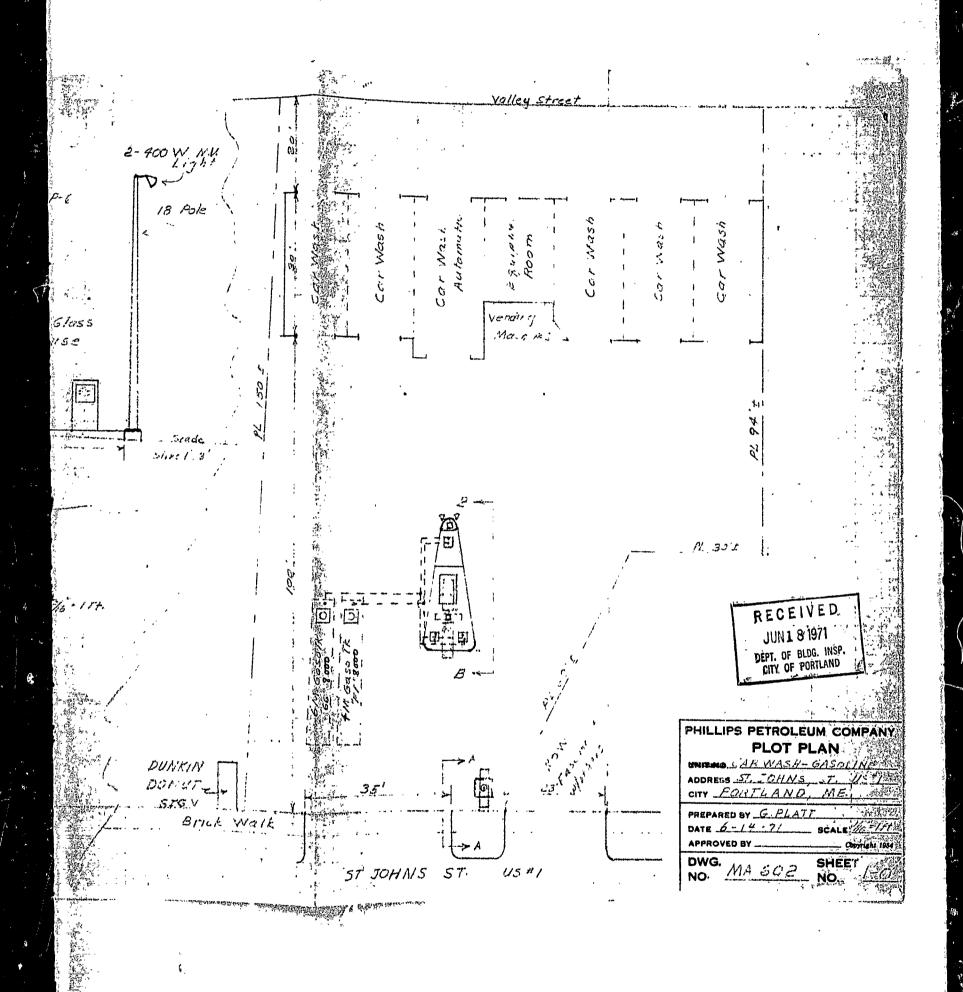
Before tanks and piping are covered from view, installer is required
to notify the Fire Left. Headquarters of readiness for inspection and
to refrain from covering up until approved by the Fire Rept. Headquarters

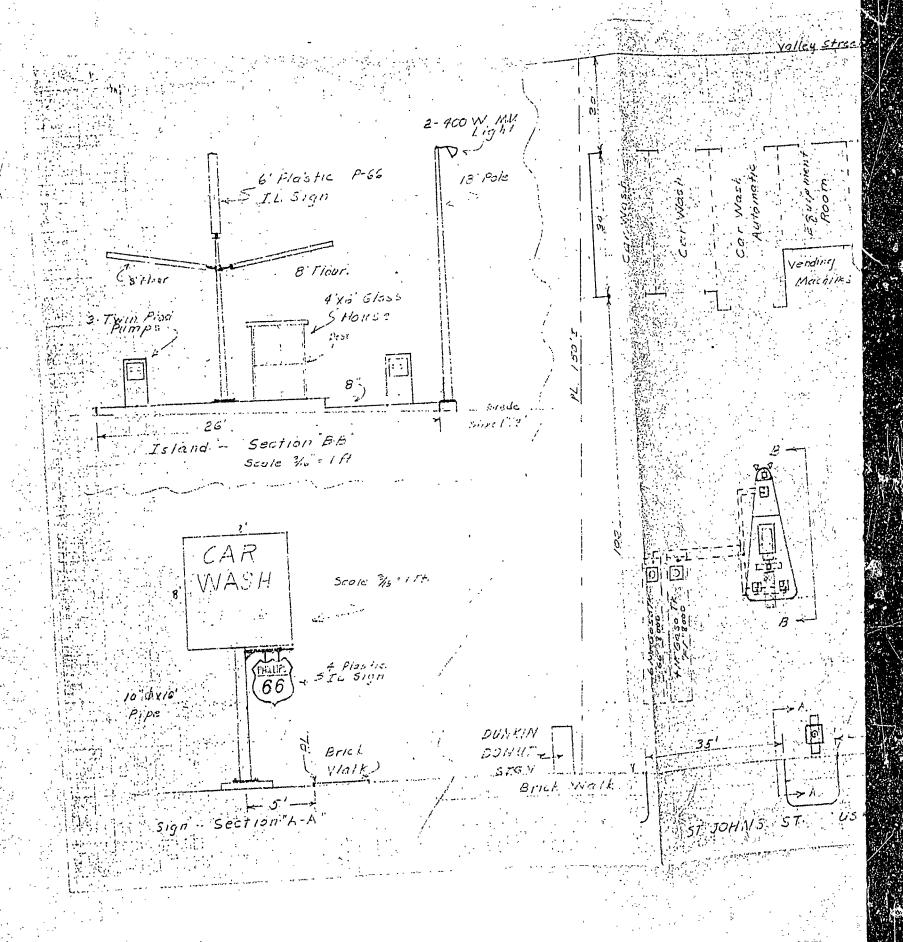
These tanks of 8000 gallous capacity are required to be of steel or wrought iron no less in thickness than # im gauge; and before installation are required to be protected against corrosion, even though galvanized, by two coats of tar, asphaltum, or other suitable rust-resisting paint, and special protection wherein corrosive soil such as cinders or the like.

Pipe lines connected to underground tanks, other than tubing and except fill lines and test wells, must be provided with double swing joints arranged to permit the tank to settle without impairing the efficiency of the pipe connections.

Owner and installer will have to bear the responsibility for the structural capacity of the tank to support loads from above such as heavy motor trucks.

If tank will be so located as to be subjected to the action of tide water or "ground" water, adequate anchorage or weighting must be provided to prevent "floating" when tank is empty or nearly so.





I-2 INDUSTRIAL ZONE



APPLICATION FOR PERMIT

Installation



Portland Maine	June 18, 197	1	CMA OF MOULTHAN
To the INSPECTOR OF BUILDINGS, PORTLAND, N			
The undersigned hereby applies for a permit to ere in accordance with the Laws of the State of Maine, the E	ect alter repair demolish instal Building Code and Zoning Or	ll the following rdinance of the	building structure equipment e City of Portland, plans and
pecifications, if any, submitted herewith and the following action 327 St. John St.		e Limits?	Dist. No
Owner's name and address Eugenc Pecoraro	, 327 St.John St.		Telephone
and address			Telephone
Contractor's name and address Phillips "b(",	110 Main St.So.Paris	Maine	Telephone
Architect	Specifications	Plansye	8No. of sheets
Proposed use of building			No. families
ast use			No. families
Material	Style of roof		Roofing
Other buildings on same lot	***************************************		10.00
Estimated cost \$		_	Fee \$ 10.00
To install (2)-S000 gallons gasoline so To install (2) electric pumps.	scription of New Wor		ound.(new installations
To install (2) electric pumps. Tanks will be buried 3' underground an Tanks bear Jnd.Label. Vent pipe-2"	d covered with aspha	ltum.	(business use)
Size of piping from tank to pump-2"			(18/21)
		Sant to Rest d	HITE LINES DESCRIPTIONS
Deta	E ISSUED TO CONUTE	Actors	
Deta Is any plumbing involved in this work? Is connection to be made to public sewer?	ils of New Work Is any electrical wo If not, what is project.	ork involved i	n this work?
Deta Is any plumbing involved in this work? Is connection to be made to public sewer? Has septic tank notice been sent?	ils of New Work Is any electrical wo If not, what is pro Form notice sent?	ork involved i	n this work?
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NOTES Staking Out Notice Cert of Occupancy issued Form Check Notice Final Notif.

(COPY)



CITY OF PORTLAND, MAIN! Department of Building Inspection

Certificate of Occupation is LOCATION #323-327 St. John St.

Issued to Dunken Domits Inc.
440 Cancock St. Quincy Mass.

Cliffs is to restiff; that the building premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 67/3, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as inducted below

PORTION OF BUILDING OR PREMISES

Approved Occupancy

Entire

Restaurant

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

(Date)

Inspector

Dec. 30, 1966

Mr. Richard H. Jameson Ganneston Bullders Augusta, Kaine cc to: Dunkin Doughnuts, Inc. 440 Hancock Street Quincy, Mass.

Dear Dr. Jameson:

Permit to construct a 1-story metal restaurant building 24'x54' at the above location is being issued subject to City of Portland Code requirements as follows:

- The sanitary line from the building to the street sewer will need to be of cast iron.
- 2. The yard drain lines may be of vitrified clay, or cement asbestos pipe between the yard drain manholes and to the street sewer. The pipe trans at these manholes will need to be approved by the plumbing inspector in this office before installation.
- Plumbing permits will need to be taken out by a plumber licensed by the City of Portland.
- 4. All exterior foundation walls under the building will need to have frost walls at least 4 feet below grade. The thickened slab under the entrance vestibule will need to extend 4 feet below grade with a minimum thickness of 8 inches. After foundation walls are formed and ready for concrete this office is to be notified to give a form inspection the approval of which is necessary before any concrete is to be placed.
- 5. Pefore the kitchen equipment is ordered a floor plan of the restaurant and kitchen equipment should be approved by the City of Fortland Health Department. This cooking equipment and ventilation will need to be done under separate permits taken out by the actual installing contractors.
 - 6. Refore installation of the locking hardware on the entrance doors and on the required emergency egress door (1-10) this hardware will need to be approved by this office. This hardware will need to be of the vestibule latch set type in which the locking devices may be released from the inside at all times by turning a knob, or by pressure on a thumb latch or paddle,
- 7. Any ceiling materials of an absorbent nature should be checked and approved by the Health Department before them are ordered.
 - 8. Mither exit sign or an exit light will need to be provided over the emergency exit door as shown as plan A Sheet 1.

Mr. Michard H. Jameson

Page 2

Dec. 30, 1966

9. Although not required if emergency lighting is to be installed then it is recommended that you follow the National Gode, Tricle 700-14 as follows:

These lights should illuminate the toilet room vestibule and the area of emergency exit door as denoted on rlan A. These lights should be on a separate circuit from all other lights and appliances. As it is shown, these lights are or a circuit with the time clock and regular clock.

10. Switches for toilet room lights will need to be in the vestibule rather than in the toilet rooms.

Very truly yours,

Gorald E. Cayberry Euilding & Inspection Services Director

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APPLICATION FOR PERMIT

	Class of Building or	Type of Structuse	ALIMETAL		TTT N VERT N 1177)
THE POP		Portland, Maine,	November 16, 196	6 <u></u>	Try of PORTLAND
To the INSPE	CTOR OF BUILDI	NGS, portland, ma	INE		
in accordance to	rith the Laws of the Si	es for a permit to erect late of Maine, the Bu with and the following	ilding Code and Zoning C	all the following b Ordinance of the	uilding structure equipment City of Portländ, plans and
specifications, 1)	327 St. John	Street.	Within Fi	ire [imits?	Dist. No
Location	Dun Dun	bin Doughnute	Tnc., J.J.O Hancock	St. Quincy.	Masp lephone
Owner's name	and address	KIII DOUBINIA 033			Telachone
Lessee's name	and address	annoston Builde	ne Angusta, Maine		Telaphone
Contractor's n	ame and address	giffles coll partac	TO AUCKED OF THE STATE OF THE S	D1 705	No of choose
Architect	.,,		Specifications	Plans J.E.S	No. of sheets
Proposed use of	of building	Restaurant	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		No. families
Last use			1454-1478-1444-1444-1444-1444-1444-1444-144	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	No. families
Material	No. stories	Heat	Style of roof		Roofing
Other building	gs on same lot	***************************************	***************************************		
Estimated cos	t \$ 24,000.				Fee \$ 48.00 fee pd, 11-17-66
		General Desc	cription of New Wo	rk	iee pa, 11-17-00
		العادة والمادة المادة	nion of haging apparatus	s onbick is to be t	aken out separately by and in
It is understoothe the name of th	od that this permit do se heating contractor.	PERMIT TO BE	ISSUED TO Ganne	eston Builde	rs, Box 662, Augusta
	•	Detai	ls of New Work		
Is any plumb	oing involved in this	eay 1 show	Is any electrical w	vork involved in	this work?yes
Is connection	to be made to publ	ic sewer?y	res If not, what is pr	oposed for sew	age?
Has septic ta	ink notice been sent		Form notice sen	tr	
TT - 1-1-4	and a to ton of n	late	Height average grade	e to highest poil	1t oi rooi
Cina front	denth	No. stories	solid or filled land	17	earth or rock?
36-1-1-1-66	inundation	Thic	ckness, top bot	tom 🌣	llar
Kind of roof		Rise per foot	Roof covering	,, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
				774 1 64	ا المعال

No. of chimneys Material of chimneys...... of lining Framing Lumber-Kind..... Dressed or full size?..... ... Corner posts Size Max. on centers Columns under girders Size Girder Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet., 3rd ... Joists and rafters: 1st floor....., 2nd.... ... 2nd. 1st floor..... On centers: 1st floor Maximum span: .height? If one story building with masonry walls, thickness of walls?... If a Garagenumber commercial cars to be accommodated.... No. cars now accommodated on same lot....., to be accommodated.... Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?..... Kliscellaneous APPROVED: Will work require disturbing of any tree on a public street?___no___ Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are Dunkin Doughnuts, Inc.

CS 301

INSPECTION COPY

Signature of owner By:

NOTES -Form Check Notice Staking Out Notice Cert. of Occupancy issued Final Notif. Inspn. closing-in 1 , 1 , 10 , : ¬ * ** 1.52

A.P.- 323-327 St. John Street

Nov. 28, 1966

Ganneston Builders Augusta Kaine

ce to: Dunkin Joughnute, Inc.
440 Hancock St., Guincy, Mass.
Att: Kr. Goldberg
ce to: Hesnick oil Jo., 369 St. John Street
ce to: Hr. Sruce Galton, Mr. Flanning Sept.

Gentlemen:

Permit to construct a foundation only for a 1-story metal building 24' x 54' is being issued with the following understanding:

This permit does not include the construction of entrances to the parking areas as these entrances from two streets (St. John and Valley Streets) have not as yet been approved by the City of Fordand Planning Found as required by Jection 14-J-1 of the Zoning Ordinance.

Although your plans meet the Zoning Ordinance and substantially the fullding Code requirements, our plans show the car wash building to extend across the lease line between the car wash and doughout restaurant operations. As this entire project remains under one ownership this creates no problem with the above mentioned ordinances. If, however, it is desired to sell any parcels of land then these ordinances might be violated.

Very truly yours,

Gerald E. Mayberry Building & Inspection Services Director

GEN:m

B2 BUSINESS ZONÉ



APPLICATION FOR PERMIT

. PURILAND

Class of Building or Type of Structure Foundation Portland, Maine, November 16, 1966

Fortunu, mun	and the fill of the second sec	
To the INSPECTOR OF BUILDINGS, PORTLAND,	MAINE	
The undersigned hereby applies for a permit to e in accordance with the Laws of the State of Maine, the specifications, if any, submitted herewith and the follow Location 323-327 \$\frac{\fra	Building Code and Zoning Ordinance of ing specifications:	of the City of Portland, plans and
Location Street	The i.l.O. Vancock St. Ou	inor must
Owner's name and address Dunkin Doughnuts		
Lessee's name and address		
Contractor's name and addressGanneston_Bui		
Architect	Specifications Plans .y	esNo. of sheets
Proposed use of buildingRes		
Last use		
MaterialNo. stories		
Other buildings on same lot		
Estimated cost \$		Fee \$ 2.00
General D	escription of New Work	
To construct foundation ONLY fo	r l-story all metal building	g 241×54t
It is understood that this permit does not include instetthe name of the heating contractor. PERMIT TO E		o be taken out separately by and in
D.,	ails of New Work	
Is any plumbing involved in this work?		ed in this work?
Is connection to be made to public sewer?	If not, what is proposed for	sewage?
Has septic tank notice been sent?		-
Height average grade to top of plate		
Size front denth No stories	solid or filled land?	earth or rock?
Size, front	below grade	ællar
Vind of roof as per plans	Poof covering	
No. of chimneys	re of lining King	d of heat
Framing Lumber-Kind	all size? Corner posts	Sills
Size Girder	· · · · · · · · · · · · · · · · · · ·	
Studs (outside walls and carrying partitions) 2x4-1		
	, 2nd, 3rd	
•	, 2nd, 3rd	
	, 2nd, 3rd	
If one story building with masonry walls, thickness		
if one story building with masonry wails, thickness	i Wallst	IEIKIILI
No. cars now accommodated on same lot, to b		
Will automobile repairing be done other than mino	r repairs to cars habitually stored in t	the proposed building?
PROVED:	Miscell	aneous
G. E. M. / letter	Will work require disturbing of an	y tree on a public street?
11.6.100,1 3000	Will there be in charge of the al	
***************************************	see that the State and City req	
	abromed Ves	

INSPECTION COPY

Dunkin Doughnuts, Inc. Fanneston Builders,

Staking Out Notice
Form Check Notice NOTES Cert. of Occupancy issued Completed

1



INSPECTION COPY

FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT August 1, 1967

PERMIT ISSUED

CITY of PORTLAND

$P \circ r_i$	lland, Maine,
To the INSPECTOR OF BUILDINGS, PORTLA	
The undersigned hereby applies for a per- ance with the Laws of Maine, the Building Code	mit to install the following heating, cooking or power equipment in accord- of the City of Portland, and the following specifications:
7 307 CA Table OL	CD NO Destament
	of Building Restaurant No. Stories 1 New Building richards, 544 Deering Ave.
Installer's name and address Portland Gas	
	ral Description of Work
To install (2) gas-fired Pitco Friolat	cors-Model 2424
ere en	
IF HEA	ATER, OR POWER BOILER
Location of appliance Any	burnable material in floor surface or beneath?
If so, how protected?	Kind of fuel?
Minimum distance to burnable material, from top	of appliance or casing top of furnace
From top of smoke pipe From front	of appliance From sides or back of appliance
Size of chimney flue Other conne	ections to same flue
If gas fired, how vented?	Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance	to insure proper and safe combustion 2
11	to moure proper and safe commission:
NT	IF OIL BURNER
Name and type of burner	Labelled by underwriters' laboratories?
Will operator be always in attendance?	Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner	Size of vent pipe
Location of oil storage	Number and capacity of tanks
	lake No.
Will all tanks be more than five feet from any flame	e? How many ' senclosed?
Total capacity of any existing storage tanks for fu	rnace burners
TD (100 EXING A DDY VANAGE
Location of appliance first floor	COOKING APPLIANCE
If so, how protected?	Any burnable material in floor surface or beneath? none
ma. 1	Height of Legs, if any 4"
From front of appliance over 3. From si	stance to combustible material from top of appliance? over 3! 3!-back des and back over 3!-sides From top of smokepipe ctions to same flue
	thousand to same nue
If gas fire 1. how vented? into hood we the	so, how vented? interpret of Forced or gravity? forced
	23000 GGCII
MISCELLANEOUS EQ	UIPMENT OR SPECIAL INFORMATION
B-109 1	
Frielators are equipped with auto	matic shut-offs.
· ····· · · · · · · · · · · · · · · ·	
	The second secon
	The state of the s
	e neater, etc., \$1.00 additional for each additional heater, etc., in same
OVER.	7
OVED:	
OX 8-3-67 DD	Will there be in charge of the above work a person competent to
	see that the State and City requirements pertaining thereto are
· · · · · · · · · · · · · · · · · · ·	observed? yes
· · · · · · · · · · · · · · · · · · ·	observed? Yes Porvland Gas Light Company

NOTES	ocation operation operatio
8-18-67 Complotod Ax	hyproved
<u> </u>	
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	1
- is	

SNAP A WAY AND RETAIN YELLOW COPY, SEND WHITE AND PINK COPIES WITH CARBON INTACT

GrayLine "Snap-A-Way" GrayLine "Snap-A-Way" GrayLine "Snap-A-Way" GrayLine "Snap-A-Way" GrayLine

SI	PEED LETTER,	0
TO C'ITY OF PORTLAND M.	4INEFROM L	ESLIE SIGN SYSTEM, DOC
% GERALD E. MAY BERRY	/	23 BROWN ST
DIRECTOR OF BUILDING &		SALEM MASS
		UTS, INC - SIGN PERMITS
ENCLOSED FIND C	HECK FO	R 15- AS REQUIRED
OF YOUR LETTER OF Y		
		ENDS OF BUILDINGAS
PER PRAWINGS & SPE	CS SUBM	17750, I UNDERSTAND
THAT MR, PHILIP P. RE	NICK WILL	L HAVE TO SIGN THE
PAPERS IN VOLVED, TI		
TO DO SO. I UNDERSTA		
JUNE 29, 1967 AT 46	M. THAN	IX YOU EOR YOUR
CUOPERATION.	-	
		Leater Sign System, we
		SIGNED athins. Porterance
	REPLY	DATE N. June 15 19 67
The above is correct. Mr. Resnic		
June 29th at 4:00 p.m. I will se	nd you a notice.	
		
	-	
•		
РОГВ		
		SIGNED Pauline Hendrickson
GTOYLON SNAP A WELL FORM 44 MIZ 3 PARTS WILSON JONES CONZANY & 1861 PRINTED IN U.S.A. REFAIN WHI	TE COPY, RETURN PINK C	

9 . 5

\$ 15 pd 6/15/i; Strantid 6/29/6) 16 67/35

CITY OF PORTLAND, MAINE IN THE BOARD OF APPEALS

VARIANCE APPEAL

Philip P. Resnick , owner of property at 323-327 St. John Street under the provisions of Section 24 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals for a variance from the provisions of said Ordinance to permit: erection of two attached signs 6'2" x 6'4" each on the ends of the building. This permit is presently not issuable under the Zoning Ordinance because these two signs will bring the total area of signs on the premises to about 366 square feet, which is in excess of the maximum of 300 square feet permitted by Section 16-A-5a of the Ordinance applying to the B-2 Business Zone in which the property is located.

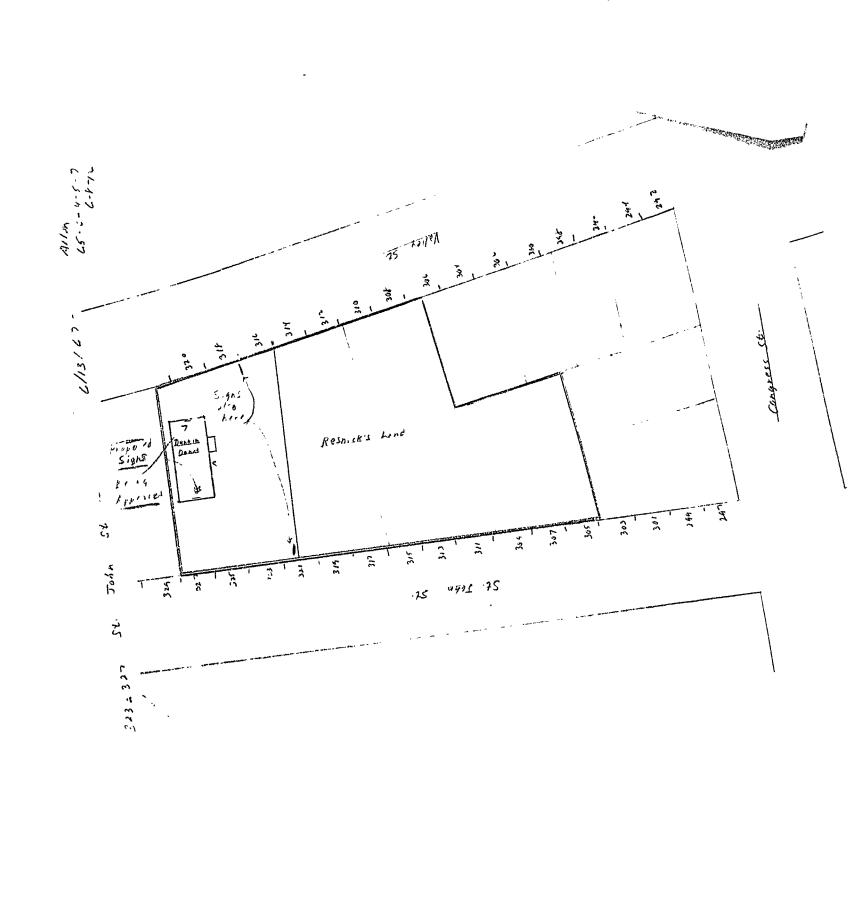
LEGAL BASIS OF APPEAL: Such variance may be granted only if the Board of Appeals finds at the strict application of the provisions of the Ordinance would result in undue Lardship in the development of property which is inconsistent with the intent and purpose of the Ordinance; that there are exceptional or unique circumstances relating to the property that do not generally apply to other property in the same zone or neighborhood, which have not arisen as a result of action of the applicant subsequent to the adoption of this Ordinance whether in violation of the provisions of the Ordinance or not; that property in the same zone or neighborhood will not be adversely affected by the granting of the variance; and that the granting of the variance will not be contrary to the intent and purpose of the Ordinance.

DECISION

After public hearing held June 29, 1967, the Board of Appeals finds that all of the above conditions do exist with respect to this property and that a variance should be granted in this case.

It is, therefore, determined that a variance from the provisions of the Zoning Ordinance should be granted in this case.

BOARD OF APPEALS



THE

APPLICATION FOR AMENDMENT TO PERMIT

PHRMIT Walley Amendment No...#1.

Portland, Maine, June 15, 1967.

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 67 in the original application in accord ince with the Laws of the State of the City of Portland, plans and specifications, if any, submitted herew	/1.31 pertaining to the building f Maine, the Building Code a ith, and the following specific	g or structure comprised nd Zoning Ordinance of ations:
Location 323-327 St. John Street		
Owner's name and address Philip.Resnick,ll.Lewis. Gr	eet	Telephone
Lessee's name and addressப்பாkinபonuts,Inc440Hanc	ock.St.,Quincy,Nass.	Telephone
Contractor's name and address Loslie Sign System, Inor, 2 Architect	3 Brown St.	Telephone
Architect	Plans filed	. No. of sheets
Proposed use of building		No. families
Last use		No. families
Increased cost of work	Additio	onal fee .50

Description of Proposed Work

To erect two attached signs $6\,{}^{1}2^{11}$ x $6\,{}^{1}4^{11}$ each on ends of building as per plans

Dove D

		Å	opeai sostalos	006/29/67	۴			
	Det	tails of New Work contractors						
Is any plumbing involved in t	•							
Height average grade to top	of plate	Height avera	ge grade to highes	t point of roof				
Size, front depth	solid of	filled land?	earth or rock?					
Material of foundation	Th.	ickness, top	bottoni	. cellar	••• ••••••			
Material of underpinning		Height		Thickness				
Kind of roof			rering					
No. of chimneys			of lining					
Framing lumber-Kind		Dressed	or full size?					
Corner posts	Sills Girt or	ledger board?		Síze				
Girders Size	Columns with	gisders	Size	Max. on ce	nters			
Stude (outside walls and ca	trying partitions) 2x4-1\$	" O. C. Bridging	in every floor and	flat roof span over 8	feet.			
Joists and rafters:	1st Book	MAS	, 8rd	, roof				
On centers:	1st floor	, 2ħd	, 3rd	, roof				
Mashounepan:	1st floor	, 2nd.	, 8rđ	, roóf				
Approved:	M ₂	Sign	L aturs of Qwner _B	erlie sign Syrt	Paul			
INSPECTION COPY		App	røved:	Insp	ector of E			

A.P.- 323-327 St. John Street

June 13, 1967

cc to: Leslie Sign System, Inc., 23 Brown St., Salem, Mass. cc to: Dunkin Donuts, Inc., 440 Hancock St., Cuincy, Mass. cc to: Corporation Counsel

chilip t. Resmick 11 Louis Street Dear Er. Resmick:

Building permit for erection of two attached signs, 6'2" x 6'4" each on the ends of this building at the above named location is not issuable under the Zoming Ordinance because these two rights will bring the total area of signs on the premises to sbut 366 square feet, which is in excess of the maximum of 300 square feet permitted by Section 16-A-5s of the Ordinance applying to the R-2 Business Zone in which the property is located.

rights in this matter. Accordingly you should come to this office in Room 113, Gity Hall to file the appeal on forms which are available here. A fee of \$15.00 is required at the time the appeal is filed.

Very truly yours,

Gerald E. Wayberry Director of Building α Inspection Services

Olgani

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Memorandum from Department of Building Inspection, Portland, Maine

Jime 12, 1967

Leslie Sign System, Inc. 23 Brown St. Salem, Mass.

Gentlemen:

We are enclosing herewith a permit for two(2) pylon signs and one attached sign $23\,{}^{\circ}\!\!$ x6 .

The other two signs 6'x6' will have to be appealed. We misinformed you over the telephone about the appeal. This has to be signed by the comer of the land, Philip Resmick - and we will take care of that here.

The fee for the appeal is \$15.00 and a check should be made out to the City of Portland and sent to this office.

Miss Pauline Hendrickson

Chief Clerk

CS-27

Sycomore .

A.P.-323-327 St. John Street

June 6, 1967

Leslie Sign System, Inc. Att: John Valiquette 4 Powder Hill Road Canton, Mass.

Dear Mr. Valiquetto:

Permit to erect 2 pylon signs 16'x6'-2", 1 attached sign 23'x6' and 2 pylon signs 6'-4"x6'-2" is not issuable at this time because of lack of information.

We will require structural standard plans for each of these signs and foundations for same, $% \left(1\right) =\left(1\right) +\left(1\right)$

The overall height of these signs will also be needed.

As requested we are enclosing 3 "statements of design" slips to be signed by the individual responsible for the design of the signs.

Very truly yours,

Archie L. Seekins Deputy Director of Building & Inspection Services

ALS,:m

Enc.



PERMIT ISSUED OUT 1

QI SURGAN	APPLICA	NOITA	FOR PERM	11 1	
能產組	Class of Building or Type	of Structure	Signs	, pr 1 1 2 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	CITY of PORTLAND
	Dort!	and Maine	May 19, 1967		UA -
The unde accordance w becifications, if	TTOR OF BUILDINGS, Persigned hereby applies for a gifth the Laws of the State of Many, submitted herewith and	ORTLAND, MA permit to erect Maine, the Bu the following	INE t alter repair demolish in tilding Code and Zonin, specifications: Within	stall the following g Ordinance of th	building structure equipment e City of Portland, plans and Dist. No.
	Dumlein Don	nte inc.	THAT PANCOUS DULL	717/1-1-143-1-7-184-1	mum rotobarosamm
wner's name	and address				Telephone
essee's name	and address Leslie	Sign Cyst	em, Inc., 23 Brow	m St., Market	Telephone
			Spacetrottons	I ICIID MANNE	
					manual. A10. Addition

Other building	g on same lot		***************************************	***************************************	Fee \$_2,00
Estimated co	+ \$				ree Ş
	G	eneral Des	cription of New V	Vork	
To er	ect two (2) pylon si ect attached sign 23	x6' and t	e. (?) Alval eig	teady lighting as per pla	ng ans
					in this work?ewage?
	A 4 .44	าห	ickness, top	DOCTOTIT	. 001101
_	. Dies	man faat	Roof covering	£	***************************************
		1 . f . l. !	n of lining	Kina	of heatfuel
Framing Lu	amber–Kind	Dressed or IV	re Size	2	Max. on centers
Size Girder	side walls and carrying part	under gitue.	6" O. C. Bridging in 6	every floor and f	lat roof span over 8 feet.
	4-4-0		2nd	DIG	
Joists On ce	4.4		and	3rd	, rooi
	4.4.0-		2nd	3rd	, rooi
If one stor	v building with masonry w	alls, thicknes	s of walls?	(1 2011 -11-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-	height?
			If a Garage		
No. cars n	ow accommodated on same	lot, to b	beteformmodated	number commercually stored in t	ial cars to be accommodated he proposed building?
will autor	nonic rebairing be done on		1	Miscell	aneous
PPROVED:	de n		Will work require	disturbing of an	y tree on a public street? <u>no</u>
			Will there be in	charge of the ab	ove work a person competent to
(HA-7		see that the Stat	te and City req	uirements pertaining thereto are
			observed?yes		
	**************************************	****************************	1	Leslie Si	gysystem, Inc.
CS 301		·····	() (2/17	7 .

INSPECTION COPY

NOTES
8-18-67 Completad
DD Staking Out Notice Form Check Notice Cert. .. Occupancy issued Final Notif.

	PERM	T TO I	NSTALL PLUMBING JA	N 26 1	967 F E B	0 = 1007
	Addre		-327 St. John Street	PERMI	T NUMBE	$_{R}$ $\lambda 6938$
5 .	Install	ation For	Rosteurant		FEB 1	6 1987
Date Issued 1/24/67	Owne	r of Bldg.	Dinkin Doughnute	Inc.	FEB 2	7 10:11
• • • • • • • • • • • • • • • • • • • •	Owne	r's Addre	ss: 440 Hancock Street	et. Cui	ner Mar	n 4 thailir hear
Portland Plumbing Inspector	Plumk	er: Ge	orea B. Frederick	D	ate: 1/2	4/67
By ERNOLD R. GOODWIN	NEW	REP'L			NO. 🚯	FEE
App. First Insp. Date i 25 07 By ERNOLD B OCCUPANT			SINKS		APR	5 1967
			LAVATORIES			
			TOILETS			
		T	BATH TUBS			
2146 W. James 2 7			SHOWERS			
Date MAY Final Inspire			DRAINS FLOOR	SURFAC	Œ	
			HOT WATER TANKS			
D.,		T	TANKLESS WATER HEAT	ERS		
By ERNOLD & COMMING A Type of Bldg. Commercial Residential Single			GARBAGE DISPOSALS			
			SEPTIC TANKS			
	1		HOUSE SEWERS		1	2,00
		1	ROOF LEADERS		T	
			AUTOMATIC WASHERS		T	
Multi Family		 	DISHWASHERS			
☐ New Construction			OTHER		1	
Remodeling		†——				
	-					
				TO	TOTAL 1	
Building	and Insp	ection Se	rvices Dept.; Plumbing Ins	pection		

CITY OF PORTLAND, MAINE Application for Permit to Install Wires

Pennit No. 55547 Portland, Maine To the City Electrician, Portland, Maine: The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications: (Th - form must be completely-filled out - Minimum Fee, \$1.00) Owner's Name and Address Dun Kin Donuts Contractor's Name and Address Watson's Elec Son IncTel. Lise # 2323 Location 323 - 327 St Vohn Use of Building Number of Stories / Stores Apartments Number of Families Alterations Description of Wiring: New Work Additions Plug Molding (No. of feet) BX Cable Metal Molding Pipe Cable Plug Circuits Light Circuits Plugs No. Light Outlets Fluor, or Strip Lighting (No. feet) Light Switches FIXTURES: No. Size 3/.o. No. of Wires 4 Cable Underground SERVICE: Pipe . ~ Total No. Meters Added METERS: Relocated Starter Volts H. P. Amps MOTORS: Number Phase H.P. Phase HEATING UNITS: Domestic (Oil) No. Motors H.P. Commercial (Oil) No. Motors Electric Heat (No. of Rooms) Brand Feeds (Size and No.) Watts APPLIANCES: No. Ranges Watts Elec. Heaters Extra Cabinets or Panels Watts Miscellaneous Signs (No. Units) Air Conditioners (No. Units) Will Call Transformers Inspection Ready to cover in Will commence Amount of Fee \$ DO NOT WRITE BELOW GROUND METER SERVICE ... 5 VISITS: 1 . . . REMARKS: INSPECTED BY The State of the S

LOCATION ST. John ST 323-27
INSPECTION DATE 7/11/67
WORK COMPLETED 7/11/67
TOTAL NO. INSPECTIONS REMARKS:

FEES FOR WIRING PERMITS EFFECTIVE JULY 31, 1963 \$ 2.00 3.00 .05

(including switches) (including switches)

HEATING UNITS

Domestic (Oil)

Commercia¹ (Oil)

Electric Heat (Each Room) MOTORS

Not exceeding 50 H.P.

Over 50 H.P. 1 to 30 Outlets
(including switches)
31 to 60 Outlets (including switches)
(over 60 Outlets, each Outlet (including switches)
(Each twelve feet or fraction thereof of fluorescent light (Each twelve feet or fraction thereof as one outlet) any type of plug molding will be classed as one outlet). 2.00 4.00 3.00 4.00 2.00 4.0u .75

SERVICES
Single Phase
Three Phase

TEMPORARY WORK (Limited to 6 months from date of permit)
Service, Single Phase
Service, Three Phase
Wiring, 1-50 Outlets
Wiring, each additional outlet over 50

1.00 2.00 1.00 .02

CITY OF PORTLAND, MAINE Application for Permit to Install Wires

Permit No. 555/2 , 1967 Portland, Maine To the City Electrician, Portland, Maine: The unde signed hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications: (This form must be completely filled out - Minimum Fee, \$1.00) Owner's Name and Address Daza Kin Donats 544 Dearing Met.
Contractor's Name and Address Watson's Elec Serv Inc Liverence Falls St John Location 323 - 32-7 Use of Building Number of Families Apartments Stores Number of Stories Description of Wiring: New Work Additions Alterations Temp Sarvice Cable Metal Molding Plug Molding (No. of feet) Pipe BX Cable Light Circuits No. Light Outlets Plugs Plug Circuits FIXTURES: No. Fluor, or Strip Lighting (No. feet) Light Switches . SERVICE: Pipe Cable No. of Wires Underground Size METERS: Relocated Added Total No. Meters MOTORS: Number Phase Volts Amps Starter HEATING UNITS: Domestic (Oil) No. Motors Phase H.P. Commercial (Oil) No. Motors Phase H.P. Electric Heat (No. of Rooms) APPLIANCES: No. Ranges Watts Brand Feeds (Size and No.) Elec. Heaters Watts Miscellaneous Watts Extra Cabinets or Panels Signs (No. Units)
Inspection Ready For Inspection Air Conditioners (No. Units) Transformers Ready to cover in Will commence Amount of Fee \$ /: Signed DO NOT WRITE BELOW THIS LINE SERVICE . METER GROUND VISITS: 1 2 5 REMARKS: INSPECTED BY 7 W Herbert

C8 283

ES FOR WIRING PERMITS EFFECTIVE JULY 31, 19

WRING

1 to 30 Outlets (including switches)
31 to 60 Outlets, each Outlet (including switches)
3.00
Over 60 Outlets, each Outlet (including switches)
(Each twelve feet or fracton thereof of fluorescent lighting or any type of plug molding will be classed as one outlet).

SERVICES
Single Phase
Three Phase
Not exceeding 50 H.P.
Over 50 H.P.
Ov

(ex

A.F.- 323-327 St. John St.

Dec. 30, 1966

Er. Richard H. Jameson Canneston Builders Augusta, Haine .c to: Dunkin Doughnuts, Inc. AAO hancock Street Quincy, Fass.

Dear Mr. Jameson:

Permit to construct a 1-story metal restaurant building 24'x54' at the above location is being issued subject to Sity of Portland Code requirements as follows:

- The sanitary line from the building to the street sewer will need to be of east iron.
- 2. The yard drain lines may be of vitrified clay, or cement asbestos pips between the yard drain manholes and to the street sewer. The pipe traps at these manholes will need to be approved by the plumbing inspector in this office before installation.
- 3. Plumbing permits will need to be taken out by a plumber licensed by the City of Portland.
- 4. All exterior foundation walls under the building will need to have frost walls at least 4 feet below grade. The thickened elab under the entrance vestibule will need to extend 4 feet below grade with a minimum thickness of 8 inches. After foundation walls are formed and ready for concrete this office is to be notified to give a form inspection the approval of which is necessary before any concrete is to be placed.
- 5. Before the kitchen equipment is ordered a floor plan of the restaurant and kitchen equipment should be approved by the City of Fortland Health Department. This cooking equipment and ventilation will need to be done under separate permits taken out by the ac wal installing contractors.
- 5. Before installation of the locking hardware on the entrance doors and on the required emergency egress door (1-10) this hardware will need to be approved by this office. This hardware will need to be of the vestibule latch set type in which the locking devices may be released from the inside at all times by turning a knob, or by pressure on a thumb latch or paddle.
- 7. Any ceiling materials of an absorbent nature should be checked and approved by the Health Department before they are ordered.
- 8. Either exit sign or an emit light will need to be provided over the emergency exit door as shown as plan A Sheet 1.

Mr. Richard H. Jameson

Page 2

Although not required if emergency lighting is to be installed then it is recommended that you follow the National Electrical Code, Article 700-14 as follows:

These lights should illuminate the collet room vestibule and the area of emergency exit door as denoted on Plan A. These lights should be on a separate circuit from all other lights and appliances. As it is shown, these lights are on a circuit with the time clock and regular clock.

Switches for toilet room lights will meed to be in the vestibule rather than in the toilet .Joms.

Very truly yours,

Gerald E. Nayberry Building & Inspection Services Director

GEM: m

A LINETED BUSINESS ZONE



APPLICATION FOR PERMIT

PENMIT ISSUED MAY 1973

January of Type of Structure	
Portland, Maine, Way 16, 1949 To the INSPECTOR OF BUILDINGS PORTLAND WAY!	CITY of POwings.
To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE 5/24/49	
The undersigned hereby applies for a permit to erect diterepair the the following in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the specifications, if any, submitted herewith and the following specifications:	ig bullding structure equipment he City of Portland, plans and
Location 319-321 St. John Street Within Fire Limits?	yes Dist. No.
Owner's name and address H. B. Arey Inc., 319 St. John Street	Telephone 3-7296
Lessee's name and address	Tolophone
Contractor's name and address <u>E. F. Royt</u> , 1831 washington Avenue	Tolonhama 3-47 37
Architect Specifications Plans Proposed use of building Radio Tower	No of cheets 7
Proposed use of building Radio Tower	No familian
200t USC	No familias
Material No. stories Heat Style of roof	Poster
Other buildings on same lot	XVOIIIIg
Estimated cost \$ 250	Fee \$ 2.00

General Description of New Work

To erect 75' high aerial tower, % Segathan with whom with the wind with the manuscript with the control of t

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO H. B. Arey Inc.
Details of New Work
Is any plumbing involved in this work?
Height average grade to top of plate
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys Kind of heat fuel
Framing lumber—Kind
Corner posts . Sills . Girt or ledger board?
Girders Size Columns under girders Size Max. on centers
Study (outside walls and carrying partitions) 2rd 16// C. D.: 11/ Max, on centers Max on centers
Studs (outside walls and carrying partitions) 2x4-16". C. Bridging in every floor and flat roof span over 8 feet. Joists and rafters: 1st floor 2nd 2nd 2nd 2nd 3nd 3nd 3nd 3nd
, root, root
, 3rd, roof, roof
TOOL I TOOL
If one story building with masonry walls, thickness of walls? height? height?
If a Garage
No. cars now accommodated on same lot, to be accommodatednumber commercial ca to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?
ROVED: Miscellaneous
No. N-5/26/19-09 Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to
see that the State and City requirements pertaining thereto are
observed? <u>Yes</u>
Altinophination in the state of
H. B. Arey Inc.
5 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -
INSPECTION COPY Signature of owner by:

NOTES h him hem Estimated rus 4 town blis her le b El 3%\$1L_ Note that a statement of the contract ba. .. h 1314 3.74 constant on land Hill ٠,٠٠,٠٠ THERE WILL COPY

BP 49/745-1 (319-321 St. John Street)

July 1, 1949

Mr. H. B. Arey 319 St. John Street Fortland, Maine Subject. Fastenings and anchorage of guys for radio antenna tower at 319-21 St. John Street

Dear Sir:

THE PARTY OF THE P

Our inspector reports that the fastenings and anchorage of the guys for the new antishing tower are not as established when the permit was issued.

The connection of the guys to the anchor rod is substantially different and apparently less secure than the details shown by your designer, Mr. Snow, on the plan filed with the application for the permit. The details shown by Mr. Snow are substantially the same as that shown on the plan of the Wind Turbina Company which you filed with application for the permit. It is necessary that these connections be changed out to agree with the design filed with application for the termit, or else to have Mr. Snow file here a detail of the connections and anchorage actually used and give his statement of design on that detailed plan.

Lespits notice when the permit was i sucd that all parts of each and or boilt was to be protected against contact with the ground by concrete of such balances as to remain permanently in place, the anchor boilts have been insualled so that a considerable part of their length runs down through the dirt before engaging the concrete anchorage.

Instead of following the detail shown on Mr. Snow's plan of having the concrete pier, on which has main tower rests, extend 6" above the ground, who ever built the piers has just broken through an existing concrete slab, and has built the pier and the tower has been fastened to the top of it in such a position that the base of the tower and the tops of the anchor bolts are all below the level of the punctured concrete slab around it—perhaps three or four inches below. How you are to correct this deficiency which is obviously bad, I do not know. The latter deficiency is merely a matter of common sense because snow and water settling in this depression and ice freezing is bound to determine the base of the tower in a comparatively short time. I suggest that you make sure that the nuts on the anchor bolt are firmly set up and locked in such a manner that they cannot be worked loose and that the entire depression be filled with some type of asphaltic material to aned the water and fill up high enough so that the water will run away from the depression rather than toward it.

With regard to the anchorage of the guys and the protection of the anchor bolts with concrete, these two features must be taken care of before July 15, 1949.

Very truly yours,

WMcD/G

Inspector of Buildings

CC: 4r. Philip P. Snow 477 Congress Street P. .. Our improtor has contacted Mr. Hoyt, who says that its contract merely covered erection of the tower and making the fastenings and that he is not responsible in any way for the design or for the construction of the concrete piers.

AP 19-321 St. John Street-I

May 27, 1949

H. B. Arey, Inc. 319 St. John Street Portland, Haine

Subject: Permit for erection of radio antenna tower at 319-321 St. John-Street

Gentlemen:

The permit for the above work is insued nerowith based on plans filed with application and subject to the condition that all metal parts of the guy anchors shall be multably encased in concrete.

Very truly years,

Inspector of Boildings

M3/0

CC: Hr. E. F. Hoyt 1831 Washington Avenue

> Mr. Philip P. Snow 477 Congress Street

(E) / (X)	INQUIRY BLANK	zone B
- /	CITY OF PORTLAND, MAINE DEPARTMENT OF BUILDING INSPEC	FIRE DIST. 3
	Verbal By Telephone	Date 2/9/49
	LOCATION 319 St John Street OWNER	
	ADDRESS 319 St. John Street.	TEL. 3-7276
	PRESENT USE OF BUILDING Cuto Rental + Jay	heab service
	CLASS OF CONSTRUCTION NO REMARKS:	OF STORIES
	INQUIRY: 1-2 same permit needed radio tower for use in cont radio equipped taxi fleet?	for erection of 100 nection with
1/10:2	<i>i</i> 7	
:	ANSWER: 2 - Yes, and with applica filed detailed plans of towe dation. Suggested that he t Works Ne partment to deter any restrictions in height whose to curport.	tion should be r, guys and foun Talk with Public mine if there are allowable that

DATE OF REPLY



CITY OF PORTLAND, MAINE Department of Building Inspection

Certificate of Occupancy

Issued to H. B. Arey; Inc.

Date of Issue September 11, 1947

Entire Building

APPROVED OCCUPANCY

Office Building in connection with automobile rertal business

Limiting Conditions:

This certificate supersedes certificate issued

Inspector of Buildings

Notice. This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Cop. will be furnished to owner or lease or one dollar.

· Memorandum from Department of Building Inspection, Portland, Maine

317-327 St. John Street—Amendment to building remit to cover lining side of office building for H. B. Arey, Inc. by Thomas Skinner Company—3/15/47

Hr. Arey over the telephone indicated that he also wanted a ceiling over this small office building, and I presume it was hr. Skinner's intention to include that in the application for amendment. It is therefore included, but joists across the building to support the ceiling should be suitable size according to the span and should be spaced so that ceiling board will get a mailing no farther apart than 16" from center to center.

WMcD/J

CC: H. B. Arby, Inc. 55 Spring Street

(Signed) Warren McDonald Inspector of Buildings

APPLICATION FOR AMENDMENT TO PERMIT

GRAIL EGALL

Mic : 1641



Portland, Maine, August 14, 1947

Ta +ka	INSPECTOR	OF	BIIII OINGS.	PORTLAND.	MR

To the INSPECTOR OF BUILDINGS, PORTLAND, MR.	•
n the original application in acrordance with the Laws of the State of Portland, plans and specifications, if any, submitted herewith, and the fi	ollowing specifications:
Location 317-327 St. John St.	Within Fire Limits? YEE Dist. No. 3
Owner's name and address Harry P. Leasard, 41	Gleckler Road Telephone
Lessee's name and address H. B. Arey, Inc., 55 S	pring StTelephone
Contractor's name and address Thomas Skinner Co., 1	27 Main St., So. Portland Telephone
Architect	Plans filed_gas_No, of sheets
Proposed use of building Office bldg.	No. families
Increased cost of work 50	Additional fee

Description of Proposed Work

To line inside walls with masonite - stude $2\pi 3$, 16^{u} 0.°C.

Permit be en sub Mema

Details of New Work

Is any plumbing work in	volved in this work?	Is any e	electrical work involv	ed in this work?	
Height average grade to	top of plate	Height aver	age grade to highest	point of roof	
Size, front	_depthNo.	storiessolid or	filled land?	earth or rock?	
Material of foundation_		_Thickness, top	hottomcel	lar	
Material of underpinnin	g	Height		Thickness	
Kind of roof	Risc per foot	Roof co	vering		
No. of chimneys	Material of chimr	neys		of lining	
Framing lumber-Kind	•	Dressec	or full size?		
Corner posts	SillsGirt	or ledger board?	····	Size	
GirdersSiz	eColumns	under girders	Size	Max. on centers_	
Studs (outside walls an	d carrying partitions) 2	x4-16" O. C. Bridgin	g in every floor and	flat roof span over 8 fe	et.
Joists and rafters:	1st floor	, 2nd	, 3rd	, roof	
On centers:	1st floor	, 2nd	, 3rd	, roof	
Maximum span:	1st floor	, 2nd	, 3rd	, roof	
Approved:				B. Arey	
" -		c.	The	mas Skinner Co.	
P-10-0 40 40 4-10-0			ignature of Owner	y; Themes Him	mer
		Penna	Issu d with Med		_
		A	noroved: _ 2/1/1	747 Zum	<u> </u>

RECEIVED

JULY OF BOTH LAND.

TOTAL STATES

City of Portland, Maine Board of Appeals -ZONING-

Decision

. 19 47 , August day of of property at Public hearing was held on the First owner , seeking to be permitted an exception to the regulations of on petition of Harry P. Lesserd 317-327 St. John Street the Zoning Ordinance, relating to this property.

Appellant's Lessee requests exception be granted to the Zoning Ordinance to allow the use of the premises at 317-327 St. John Street for the parking or storage of more than one commercial motor vehicle and as a falling station, including a parking lot, in connection with his parking or storage of more than one commercial motor ventche and as a filling station, including a parking lot, in connection with his automobile rentalbusiness already established there. There premises automobile rentalbusiness already established there. annumber of the annual contract of the state Zoning Ordinance prohibits the shove requested uses except as authorized by the Board of Appeals.

The Board having found that an exception to the Zoning Ordinance is necessary to allow reasonable use of the property and to avoid confiscation and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance. it is therefore. fiscation and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance, it is, therefore, determined that an exception to the Zoning Ordinance may be permitted in this specific case to allow the use of these premises for the parking or storage of passenger motor vehicles and the sale of parking or storage of passenger motor vehicles and the sale of gesoline insofar as both permitted uses are incidental to the automobile rental business already established there. This order automobile rental business already established there. This order does not authorize the use of these premises for the parking or storage of more than one rentagement two mater asked on the storage of more than one rentagement two mater asked on the storage of more than one rentagement two maters asked on the storage of more than one rentagement two maters asked on the storage of more than one rentagement two maters asked on the storage of more than one rentagement two maters asked on the storage of more than one rentagement that the storage of more than one rentagement than the storage of more than one rentagement that the storage of more than one rentagement than the storage of more than one rentagement that the storage of the storag does not authorize the use of these premises for the parking or storage of more than one non-passenger type motor vehicle or as a filling station, except as incidental to the presently established automobile rental business.

Representation of the second state of the second se

Rumonf & Junear ...

Board of Appeals CEIVED

APPLICATION FOR PERMIT

Metal D####Class

Class of Building or Type of Structure This 1888

Portland, Maine, Tune 17, 1947

PURMIT ISSUM 01468 nm 24:947

To the INSPECTOR OF BUILDINGS, PORTLAND, M	Е.	
The undersigned hereby applies for a permit to crea accordance with the Laws of the State of Maine, the Building if any, submitted herewith and the following specifications:		
Location 317-327 St. John Street	Within Fire L	imits? <u>yes</u> Dist. No. 3
Owner's same and address Harry P. Leasar	d. &1 Gleckler Road	Telephone
essee's name and address H. B. Aray, In	c., 55 Spring Street	Telephone
Controlor's name and address Thomas Skinner	Co. 127 Mein St., So. F	Portland Telephone
Architect	Specifications	Plans yes No. of sheets 1
Proposed use of building Office bldg. (connection with autor bil	le rentalNo. families
Tont use		No. families
Material No. stories Heat Heat	Style of roof	Roofing
Other buildings on same lot		
Estimated cost \$ 100		Fee \$.50
	escription of New Work	•
To erect metal bidg. (std. cc	nst.) 8 x10	•
	dun namit annliad fan h	onein for the construction
In consideration of issuance of build of a building to be used as an office and in view of the restriction of the motor vehicle shall be parked or stor agree that there will be no more than	in connection with auto Froning Ordinance that n ed on the lot, the under Fone commercial motor ve	ot more than one commercial signed owner and lessee thicle parked or stored at
env one time unless or until authoriz	ation of the Board of Ap	Dears is Siven inclaior.
after the usual appear procedure. It is understood that this permit does not include installation the besting contractor.	i ad i	1 2/20 1
	Hour Desaul	IT 18 Mey Suc
It is understood that this permit does not include installation	of heating apparatus which is to be	taken out separately by and in the name of
tile treating contractor.		
	tails of New Work	PAT C: II.
Is any plumbing work involved in this work? ye	sls any electrical work i	nvoived in this work?
Height average grade to top of plate	Height average grade to hi	gliest point of root
Size, front 10 depth 8 No. sto	gies solid or filled land?	BOLIG earth or rock?
Size, front 10 depth 8 No. stored Material of foundation T	hickness, topbottoni	cellarno
Material of underpinning	Height	Thickness
Kind of roof pitch Rise per foot	Roof covering	DOT
No. of chimneys no Material of chimneys	s of lining	Kind of heatfuel
Framing lumber-Kind dressed	Dressed or full size?	hemlock
Corner posts metal Sills 426 on edgit or	ledger board?	Size
Girders Size Columns und	ler girdersSize_	Max. on centers
Studs (outside walls and carrying partitions) 2x4-	16" O. C. Bridging in every floor	r and flat roof span over 8 feet.
Joists and rafters: 1st floor. 2:26	, 2nd, 3rd	, roof
On centers: 1st floor 16"	, 2nd, 3rd_	, roof
Maximum span: 1st floor. 8*	, 2nd, 3rd_	, roof
If one story building with masonry walls, thickness	s of walls?	height?
	If a Garage	
No. cars now accommodated on same lot, to	he accommodatednumber co	mmercial cars to be accommodat 'd
Will automobile repairing be done other than mine	or repairs to cars habitually stored	d in the proposed building?
/	7 Mi	scellaneous
PROVED:	Will work require disturbing	of any tree on a public street?no_
		the above work a person competent t
		y requirements pertaining thereto a
		A Taurania
	observed? yos	
	1	

H.B.Arey

Signature of owner

INSPECTION COPY 1

,	•	
Permit No. 47/1468		Y.
Location 3/7-327 St. John Str.		
Owner Hany P. Leward		
Date of permit 6/24/47		1
Notif. closing-in		1 1 2 2
Inspn. closing-in		
Final Notif. 7/5/47	t	<u> </u>
Final Inspn 9/5/4/7		
Cert. of Occupancy issued 1/1/47		2 2 3 4
NOTES		2 3 3 3 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4
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	1	The state of the s
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•	L	•

0-33-81-I June 13, 1933 I'v. Henry J. Lessard 839 Congress Street Portland, Laine Upon examination of the building which you are reported to own at 325-327 St. John Street, so find that the windows and doors leading to the basement in the rear of this building are open, and that access to the accord story by may of an outside stairmay is free and open so that persons may enter the building at will on mischief bent, or so that combustible material, matches, or eigerettes may be thrown into the building easily. Such a condition is considered a dangerous and inflammable one as contemplated by the State law, Section 34 of Chapter 35, Revised Statutes of Maine, copy attached. In accordance with this law, you are hereby directed to have all openings in this building securely bearled up or otherwise tightly closed so that persons may not enter the building at will, and so that material may not be thrown freely into the building, this work to be accomplished on or before June 21, 1935. Very truly yours. · Inspector of Buildings. mi/HO



PERMIT ISSULD

APPLICATION FOR PERMIT

AUG 6 1931

Class of Building or Type of Structure First Class

			land, Maine <u>, Aurus</u>	
To the INSPECTOR OF	BUILDINGS, PORTLAN	D, MB.		• • •
The undersignd her accordance with the Laws my, submitted herewith a	reby applies for a perm of the State of Maine, and the following specij	nit to exect alter inst the Building Code o fications:	all the following bu of the City of Portla	ilding structure equipment in nd, plans and specifications, if
ocation 321 St. Job	n Street	Ward	-Within Fire Limits	2 Dist. No 8
)wner's or Lessee's name	and address Tico Na	ter Ctl Sales Co	rp. So.Port.	Telephone
ontractor's name and ad	dress Thomas Skinn	er Co., 127 Wein	St. So.Portler	d Telephone F 7788
Architect's name and addre	!ss			· 2 sazp
Proposed use of building.	Filling station	<u> </u>		No. families
Other buildings on same 1	lot			······································
Plans filed as part of this	application?		No. of sheets	
Estimated cost \$ 87				Fee \$
	Description of	Present Buildin	g to be Altered	, et ", b
Material motal No.			Company of the state of the sta	Roofing
Last use	Filling ot	etion		No. families
Mf.	General	Description of N	ew Work	REQUELED TO OCCUPANCE REQUELED TO BEFORE WANTER REPORT OF THE BEFORE WANTER RETTER REPORT OF THE BEFORE WANTER REPORT OF THE BEFORE WANTER R
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and were aft diller male	strenged from Antibir	MANAGE WARRING IN	ට වැටස සේ මිසිසිසිරි	KU WELLEN TO BE ON THE STATE OF
			_	RECO TON BUILTING
				NOTER CLOSE
it is understood Cast this norm	nit does not include install ti	ion of heating apparatus	which is to he taken or	it separately by and in the name of
	Ų	etails of New Wo	ork average grade to to	fi of plate
Size, front d	lepthNos	Height storiesHeight	average grade to hig	hest point of roof
Size, front d	depthNos	Height storiesHeight	average grade to to average grade to hig earth or rock?	hest point of roof
Size, front d To be erected on solid or f Material of foundation	lepthNos	Height Height	average grade to to average grade to hig _earth or rock?'	hest point of roof
Size, frontd To be exected on solid or f Material of foundation Material of underpinning	lepthNos	Height stories Height Thickness,, top Height	average grade to to average grade to hig earth or rock?	hest point of roof
Size, frontd To be exected on solid or f Material of foundation Material of underpinning Kind of Roof	depthNos	Height Stories Height Thickness,, top Height Roof cove	average grade to to average grade to hig _earth or rock?	hest point of roof
Size, front d To be exected on solid or f Material of foundation Material of underpinning Kind of Roof No. of chimney	lepthNos filled land? Rise per footMaterial of chirme	Height Thickness,, top Height Roof cove	average grade to to average grade to hig earth or rock?	hest point of roof
Size, front d To be exected on solid or f Material of foundation Material of underpinning Kind of Roof No. of chimney Kind of heat	filled land?	Thickness,, top Height Roof cove	average grade to to average grade to hig earth or rock? ering	to t plate. hest point of roof
Size, front d To be exected on solid or f Material of foundation Material of underpinning Kind of Roof No. of chimney Kind of heat Corner posts	lepthNos filled land? Rise per footMaterial of chimne	Thickness,, top Thickness,, top Height Roof cove	average grade to to average grade to hig	tot plate hest point of roof pottom Thickness of lining
Size, front d To be exected on solid or f Material of foundation Material of underpinning Kind of Roof No. of chimney Kind of heat Corner posts Material columns under g Studs (outside walls and o	Rise per foot Material of chirme Sills Girt or girders carrying partitions) 2.44	Thickness,, top Height Roof cove eys Type of fuel or ledger board? Size Late O. C. Girders	average grade to to average grade to hig	to t plate. hest point of roof
Size, front d To be exected on solid or f Material of foundation Material of underpinning Kind of Roof No. of chimney Kind of heat Corner posts Material columns under g Studs (outside walls and o	Rise per foot Material of chimne Sills Girt or girders carrying partitions) & to	Thickness,, top Height Roof cove eys Type of fuel Size 1416" O. C. Girders to the control of the cove Size Anger on cross section.	average grade to to average grade to hig earth or rock? ring ls gas fi Max was or larger. Bridg	to to plate hest point of roof pottom Thickness of lining
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Size, front d To be erected on solid or f Material of foundation Material of underpinning Kind of Roof No. of chimney Kind of heat Corner posts Material columns under g Studs (outside walls and o span over 8 feet. Sills an Joists and rafters: On centers:	Rise per foot Rise per foot Material of chimne Sills Girt of chimne arrying partitions) 2:44 d corner posts all one process all one proce	Height Thickness,, top Height Roof cove eys Type of fuel Size Size 146" O. C. Girders to the control of the cover	average grade to to average grade to hig earth or rock? ering Is gas fi Max	tot plate hest point of roof pottom Thickness of liming tting involved? on centers ing in every floor and flat roof , roof roof
Size, front d To be erected on solid or f Material of foundation Material of underpinning Kind of Roof No. of chimney Kind of heat Corner posts Material columns under g Studs (outside walls and o span over 8 feet. Sills an Joists and rafters: On centers:	Rise per foot Rise per foot Material of chimne Sills Girt of chimne arrying partitions) 2:44 d corner posts all one process all one proce	Thickness,, top Height Roof cove Eys Type of fuel Size Size 1-16" O. C. Girders to the cover of the co	average grade to to average grade to hig earth or rock? ering Is gas fi Max	to to plate hest point of roof pottom Thickness of lining
Size, front deficient from the content of t	Rise per foot Rise per foot Material of chimne Sills Girt of chimne activities partitions) & 4 d corner posts all one process all one pro	Height Thickness,, top Height Roof cove eys Type of fuel or ledger board? Size 116" O. C. Girders biece in cross section. 2nd 2nd 2nd 3nd 3nd 3nd 3nd 3nd	average grade to to average grade to hig earth or rock? ring Is gas fi San Max S	tot plate hest point of roof pottom Thickness of liming tting involved? on centers ing in every floor and flat roof , roof roof
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Size, front d To be exected on solid or f Material of foundation Material of underpinning Kind of Roof No. of chimney Kind of heat Corner posts Material columns under g Studs (outside walls and ospan over 8 feet. Sills an Joists and rafters: On centers: Maximum span: If one story building with No. cars now accommodat	Rise per foot Rise per foot Material of chirane Sills Girt of girders carrying partitions) 2 the distribution of the per foot 1st floor floor 1st floor floor and some jot cars to be accommodated	Height Thickness,, top Height Roof cove Size Type of fuel Size 146 O. C. Girders Size in cross section. 2nd 2nd 2nd 2nd 3s of walls? If a Garage	average grade to to average grade to hig earth or rock? ering	tot plate hest point of roof pottom Thickness of lining tting involved? on centers ting in every floor and flat roof
Size, front d To be exected on solid or f Material of foundation Material of underpinning Kind of Roof No: of chimney Kind of heat Corner posts Material columns under g Studs (outside walls and ospan over 8 feet. Sills an Joists and rafters: On centers: Maximum span: If one story building with No. cars now accommodat	Rise per foot Rise per foot Material of chirane Sills Girt of girders carrying partitions) 2 the distribution of the per foot 1st floor floor 1st floor floor and some jot cars to be accommodated	Height Thickness,, top Height Roof cove Size Type of fuel Size 146 O. C. Girders Size in cross section. 2nd 2nd 2nd 2nd 3s of walls? If a Garage	average grade to to average grade to hig earth or rock? ering	tot plate hest point of roof pottom Thickness of lining
Size, front	Rise per foot Rise per foot Material of chimne Sills Girt of chimne Sills Girt of chimne Sills Girt of chimne And corner posts all one process all one p	Height Thickness,, top Height Roof cove Type of fuel or ledger board? Size 1-16" O. C. Girders biece in cross section. 2nd 2nd 2nd 2nd 2nd 3ss of walls? If a Garage	average grade to to average grade to hig earth or rock? ering	tot plate hest point of roof pottom Thickness of lining tting involved? Size on centers ying in every floor and flat roof roof roof roof height?
Size, front	Rise per foot Rise per foot Material of chimne Sills Girt of girders carrying partitions) & to do corner posts all one of the foot 1st floor 1st floor ted on same lot cars to be accommodate, be done other than min	Thickness,, top Height Roof cove eys Type of fuel or ledger board? Size 116" O. C. Girders biece in cross section. 2nd 2nd 3nd 3nd 3nd Miscellaneous any shade tree on a	average grade to to average grade to hig earth or rock? ring Is gas fi	pot plate hest point of roof pottom Thickness of lining tting involved? on centers ting in every floor and flat roof roof roof height?
Size, front	Rise per foot Rise per foot Material of chimne Sills Girt of chimne 1st floor 1st fl	Thickness,, top Height Roof cove eys Type of fuel or ledger board? Size Life O. C. Girders to fice in cross section. 2nd six of walls? If a Garage or repairs to cars hal Miscellaneous any shade tree on a son competent to see the	average grade to to average grade to hig earth or rock? Is gas fi Max Max Bridger,	pot plate hest point of roof pottom Thickness of lining

Ward h Pamit No. 31/1462 Location 3.21 St Was St.

Owner Take Water Ril Sales

Date of permit 8 6 31 Notif, closing-in Inspu. closing-in Final Inspn. 9/16/31
Cert. of Occupancy issued None
NOTES
9/16/3/- Works done



APPLICATION FOR PERMIT Class of Building or Type of Shucture #1 to Class

STA DISTAN

11.42	-			
To the INSPECTOR O	F BUILDINGS, FORTLAND	Portla	nd, Maine, <u>De</u>	021tor 10, 1920
The undersignd is accordance with the Luany, submitted herewith	hereby applies for a permi ws of the State of Maine, t vant the following specific oho. Stroot	t to efect alter instain the Building Code of cations:		wilding sancture equipment is and specifications, is
owner's or Lessee's nar	ne and address	water Oil Co.,		<u></u>
Contractor's name and a	iddress A. W. Grant.	450 St. John S		Telephone * .1964
Architect's name and add	ress			Telephone 2.198%
Proposed use of buildin	g Villing station	office		No. families
Other buildings on same	lot			No. families
Plans filed as part of thi	s application?	no	M C . I	-
Estimated cost \$ 50.			. No. of sheets _	
	Description of F	Present Duiting		Fee \$.50
Material metal No	v stania – 7 mm.	Present Building		
Last use	filling st	tion office	of	Roofing
	C15			Roofing No. families
Me amort		escription of New	'Work	
an eracs one on!	gide brick chimny			w ^e
			,	, A ¹
			مرمهر	a si
It is understood that this permanent the heating contractor.	ait done wai to to to to a		6,	t separately by and in the name of
To be erected on solid or : Material of foundation	filed land? Conora	tie ear	th or rock?	of plate
Material of underpinning	I ſ	ickness,, top	b	ottom
				hickness
No. of chimneys1	Material of chimnen	Root covering		f lining
Kind of heat _oil heat	ter T.	oil	0	f lining
Corner posts	Sills Girt or le	e of ittel	Is gas fit	ting involved?
faterial columns rader e	SillsGirt or le	ager board?	S	ze
Studs (outside walls and c	arrying partitions) 2x4-16"	O.C. Girdon and		on centers
pan over a feet. Sills and	d corner posts all one piece	in cross section.	ır ıarger. Bridgi	on centersng in every floor and flat roof
yours such tarters.	1st nocr	, 2nd	3rd	
On centers:	150 11001	_, 2nd	_, 3rd	roof
Maximum span:	TOU 1101,1	, 2nd	_, 3rd	roof
r one story building with	- J	Mana:		height?
of cars now accommodate	ed on same lot	, to	be accommodate	f
otar namber commercial e	are to be accommodated			
on automobile-repairing b	e done other than minor re	pairs to cars habituall	y stored in the p	roposed building?
	141	iscellaneous		·
in above work require re	noval or disturbing of any	shade tree on a public	street?	no la
e observed?				quirements pertaining thereto
SPECTION COPY		- Gen		
#		••		

Location 292 C+00 C1 Date of permit 12/10/30 Notif. closing-in Inspn. closing-in Final Notif. Final Inspn. 1/7/3/ Cert. of Occupancy issued Nove NOTES: 12/16/30 - Chimney erected. But up against metal. sidewall of building; Amshepipe about 9 Orlow midal cyling

March 29, 1928

Mr. S. S. Boyd Committee on Roning and Building Ordinance Appeals.

Dear Sir:

The petition of H. P. Lessard seeking paraission to establish a gasoline-filling station on the property at 323 St. John Street-has been referred to your Committee by the City Council.

The permit for the establishment of this filling station was denied because the location is in a Limited Business Lone and such a use is a non-conforming one in this zone.

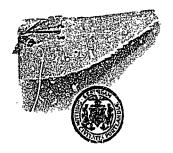
There is attached a gian and photograph illustrating the prop-

Respectfully submitted,

Inspector of Buildings

AN/ED

· tralessi.



City of Portland, Maine

IN THE BOARD OF MUNICIPA. OFFICERS

Ordered, that the appeal of

Henry P. Lessard

from the decision of the

Inspector of Buildings be

sustained

and that a building permit be

grant(said Henry P. Lessard

as prayed for in h is

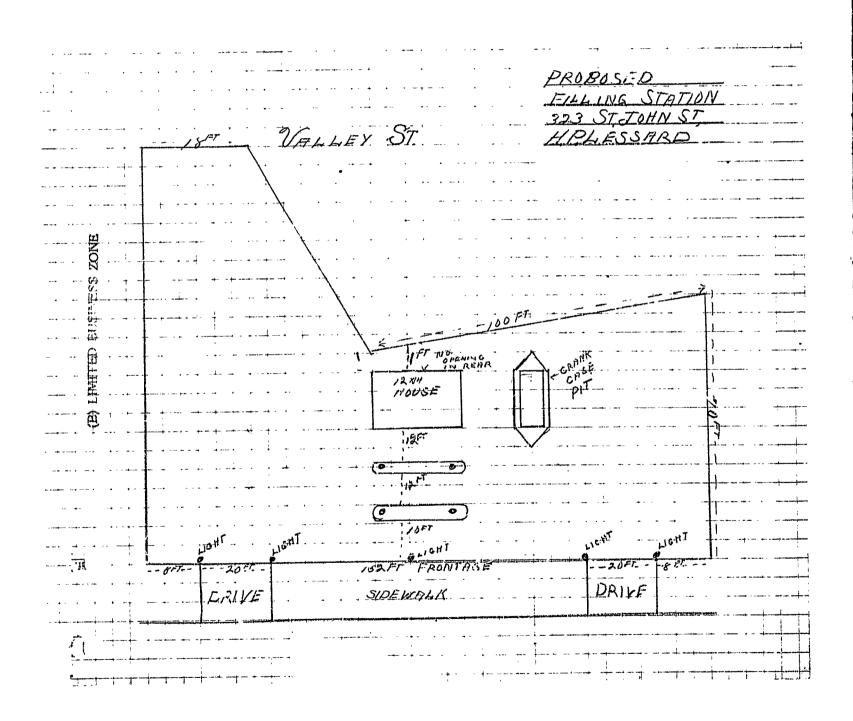
original appeal.

Read twice and passed. Yeas 5.

A true copy of record.

Attest:

Sdraw Smith - City Clerk.





APPLICATION FOR PERMIT

Class of Building or Tube of St

	Class of Dallal			Class 1929
To the INSPECTOR	R OF BUILDINGS, po			March 12, 1928
The undersign accordance with the any, submitted here:	nd heroby applies for a Laus of the State of N with and the following	a permit to rect after i	nstall the followin e of the City of Po	g building structure equipment in
Location	e John Street			
Owner's of Lessees	name and add	Ward 7	Within Fire Li	mits? Yes Dist. No. 5
Contractor's name an	nd address (b) P.	official and services are services and services and services and services and services are services and services and services and services and services are services are services and services are services and services are services are services and services are servi	St. John St.	mits? Yes Dist, No. 5 Telephone P 731
Architect's name and		erriting - Little &	Coffin	Telephone 7 751 Telephone
Proposed use of heir	address IM 15 fm a	74.44		
Other buildings on se	omy lot	ration		No. families
Material	Mo stories	1 of Present Buildi	ng to be Alter	ed
Last use	-tvo. storiesHe	atStyle	of roof	ed Roofing
2430 430				RoofingNo. families
Wo erect meta	Gene	eral Description of l	New Work	Third the state of
To install 2	**************************************	0 550		
Doblida Han	roos gerrougens	2-600 gallon tanks	for guilling.	4 5-gallon pumps,
-40110 086,	New installation.	Tanks to be bur	ind unione	a Common humba
Annon's makes			THE OTHER PROPERTY.	
.About granufe	d and permit gran	hed by Special Afran	triateion no sea	m (0m om d. d.
		Details of North	Milist of com	From 194 4 2 200 gal. 3
Size, front 14"	denth 121	Details of Mew W	OLK or out	From patition cal. 3/
To be erected on solid	- GU-1 : 12 #13304	No. stories Height	average grade to h	ighest point of roof 14'
Motorial of family	or niled land? 141100	1 Solid	_earth or rock?	ighest point of roof 14'
Material of foundation	COMPLETE	Tinickness,, top		_bottom
Material of underpinni	ng	Height		- DOLLOIN
Kind of roof	Pitch	Roof cover		_bottom _Thickness
No. of chimneys yes	Material of -1:	Koot cove	ring motal	
No. of chimneys yes	Material of -1:	Koot cove	ring motal	
No. of chimneys	Material of chir	mneys brick	ering motal	_of lining
No. of chimneys	Material of chir	mneys root coverage	Distance, he	_of lining
No. of chimneys	Material of chire model	mneys	Distance, he	_of lining tile cater to chimney
No. of chimneys	Material of chire model f oil tanks	mneys brisk Type of fuel coal	Distance, he	_of liningattention to chimney
No. of chimneys	Material of ching model f oil tanks Gir	mneys	Distance, he	_of lining
No. of chimneys	Material of ching model	mneys	Distance, he	_of lining _ater to chimney Size
No. of chimneys	Material of ching model	mneys	Distance, he	_of lining _ater to chimney Size
No. of chimneys	Material of ching model	mneys brick Type of fuel coal Size t or ledger board? Size Size cat-16" O. C. Girders 6 piece in cross section	Distance, he	
No. of chimneys	Material of ching model	Type of fuel coal Size t or ledger board? Size 2x4-16" O. C. Girders 6 e piece in cross section.	Distance, he of service Max x8 or larger. Brid	of liningtilesater to chimney Size c. on centers ging in every floor and flat roof
No. of chimneys	Material of ching model f oil tanks SillsGir girders d carrying partitions) 2 and corner posts all one 1st floor 1st floor	Type of fuel coal Size t or ledger board? Size Size 2x4-16" O. C. Girders 6 e piece in cross section. 2nd	Distance, he of service Max x8 or larger. Brid	of liningtate
No. of chimneys	Material of ching model f oil tanks Sills Gir girders d carrying partitions) 2 and corner posts all one 1st floor 1st floor 1st floor	Type of fuel coal Size To ledger board? Size Size Cat-16" O. C. Girders 6 e piece in cross section. 2nd 2nd	Distance, he of service Max x8 or larger. Brid , 3rd , 3rd	
No. of chimneys	Material of ching model f oil tanks Sills Gir girders d carrying partitions) 2 and corner posts all one 1st floor 1st floor 1st floor	Type of fuel coal Size To ledger board? Size Size Cat-16" O. C. Girders 6 e piece in cross section. 2nd 2nd	Distance, he of service Max x8 or larger. Brid , 3rd , 3rd	
No. of chimneys	Material of chin model f oil tanks Sills	Type of fuelSize Type of fuelSize To r ledger board?	Distance, he of service	
No. of chimneys	Material of ching model f oil tanks Sills Sills Gir girders d carrying partitions) 2 and corner posts all one 1st floor 1st floor 1st floor th masonry walls, thickr	Type of fuel coal Type of fuel coal Size To ledger board? Size Stat-16" O. C. Girders 6 piece in cross section. 2nd 2nd 2nd 2nd 3nd 3nd 3nd 3nd	Distance, he of service Max x8 or larger. Brid , 3rd , 3rd , 3rd	
No. of chimneys yes Kind of heat Stor If oil burner, name and Capacity and location o Is gas fitting involved? Corner posts Material columns under Studs (outside walls and span over 8 feet. Sills and rafters: On centers: Maximum span: If one story building with No. cars now accommoditation.	Material of ching model f oil tanks Sills Sills Gir girders d carrying partitions) 2 and corner posts all one 1st floor 1st floor 1st floor th masonry walls, thickr	Type of fuel coal Type of fuel coal Size To ledger board? Size Stat-16" O. C. Girders 6 piece in cross section. 2nd 2nd 2nd 2nd 3nd 3nd 3nd 3nd	Distance, he of service Max x8 or larger. Brid , 3rd , 3rd , 3rd	
No. of chimneys	Material of ching model f oil tanks Sills Gir girders d carrying partitions) 2 and corner posts all one 1st floor 1st floor 1st floor th masonry walls, thickr ated on same lot cars to be accommodated	Type of fuelSize t or ledger board?Size SizeStad, 2nd, 2nd	Distance, he of service Max x8 or larger. Brid , 3rd , 3rd , 3rd to be accommodal	Size
No. of chimneys	Material of ching model	mneys brick Type of fuel coal Size t or ledger board? Size cat of coxe of the coal Size Cat 16" O. C. Girders 6 piece in cross section. 2nd 2nd 2nd 1ess of walls? If a Garage If a Garage	Distance, he of service. Max as or larger. Brid., 3rd., 3rd., 3rd., and to be accommodal ually stored in the	Size
No. of chimneys	Material of ching model	mneys	Distance, he of service. Max as or larger. Brid., 3rd., 3rd., 3rd., 3rd., and to be accommodal ually stored in the	
No. of chimneys	Material of ching model	mneys	Distance, he of service. Max as or larger. Brid., 3rd., 3rd., 3rd., 3rd., and to be accommodal ually stored in the	
No. of chimneys	Material of ching model	mneys	Distance, he of service. Max as or larger. Brid., 3rd., 3rd., 3rd., 3rd., and to be accommodal ually stored in the	
Kind of heat Stor Kind of heat Stor If oil burner, name and Capacity and location o Is gas fitting involved? Corner posts Material columns under Studs (outside walls and span over 8 feet. Sills and rafters: On centers: Maximum span: If one story building with the story building with	Material of ching model	Size Type of fuel coal Size t or ledger board? Size cat of ledger board? Size cat or ledger board? Size Siz	Distance, he of service	