

61 CARLETON STREET



Full cut #920R - Half cut #920R - Third cut #920R - Fifth cut #920R



FILL IN COMPLETELY AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Permit No. 3394
OCT 9 1930

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, October 9, 1930

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 61 Carleton Street Use of Building dwelling house
Name and address of owner M. M. Pillsbury, Agent, 31 1/2 Exchange St. Ward 6
Contractor's name and address F. Z. Butterfield, 7 Granite St. Telephone 8463

General Description of Work

To install hot water heating system

IF HEATER, POWER BOILER OR COOKING DEVICE

Is heater or source of heat to be in cellar? yes If not, which story _____ Kind of Fuel coal
Material of supports of heater or equipment (concrete floor or what kind) concrete
Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, 3 1/2'
from top of smoke pipe 3 1/4', from front of heater 3' from sides or back of heater 4'

IF OIL BURNER

Name and type of burner _____ Approved by Underwriters' Laboratories? _____
Location oil storage _____ No. and capacity of tanks _____
Will all tanks be more than seven feet from any flame? _____ How many tanks fireproofed? _____
Amount of fee enclosed? 1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

INSPECTION COPY

Signature of contractor F. Z. Butterfield
3394A

NOTICE: THIS PERMIT IS VOID UNLESS THE WORK IS COMPLETED WITHIN THE TIME SPECIFIED THEREON.
P.C. 10/11/30

Ward 6 Permit No. 30/2284

Location 67 Carlton St

Owner M J Pillsbury Corp

Date of permit 10/9/30

Notif. closing-in _____

Inspn. closing-in _____

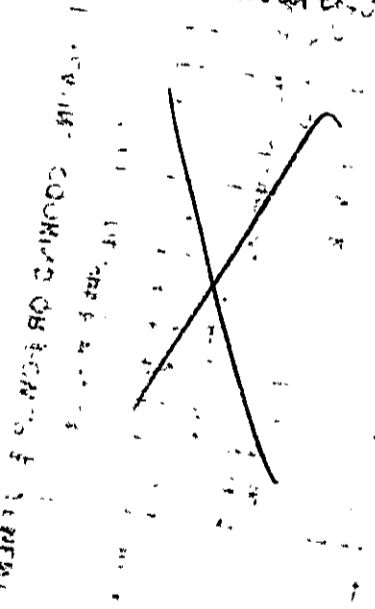
Final Notif. _____

Final Inspn. _____

Cert. of Occupancy issued _____

NOTES

11/7/30 - Installation
O.K. No clearance





APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, August 16, 1971

PERMIT ISSUED

AUG 18 1971
987

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 61 Carleton Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address James Fortin, 61 Carleton St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Suburban Propane Gas, Thompson's Point Telephone _____
 Architect _____ Specifications _____ Plans _____ No. of sheets _____
 Proposed use of building Dwelling No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ _____ Fee \$ 3.00

General Description of New Work

To install 1-100 gal. propane gas tank
 To set on 4x4x16 concrete blocks

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Installer sent to Fire Dept. 8/16/71

Details of New Work

Rec'd from Fire Dept. _____

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Has septic tank notice been sent? _____ Form notice sent? _____
 Height average grade to top of plate _____ Height average grade to highest point of roof _____
 Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Kind of roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing Lumber-Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
 Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
 Joists (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and roof span over 8 feet.
 Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

John C. O'Neill 8-17-71

Miscellaneous

Will work require disturbing of any tree on a public street? _____
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Suburban Propane Gas

CS 301

INSPECTION COPY

Signature of owner BY: L. Keith

Permit No. 71957

Location 11 Cullendale

Owner James Hunter

Date of permit 5/18/71

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

NOTES

8/23/71 installed - 7/

Large grid area with horizontal lines, mostly crossed out with a large X.

CITY OF PORTLAND
HEALTH DEPARTMENT
HOUSING DIVISION



Loc. 61 Carleton Street
Loc w/1 S
Bldg Fire Elec Other
Issued July 11, 1936
Expires August 11, 1936

Mr. Ralph Hamlin
78 Pleasant Avenue
Portland, Maine

Dear Sir: On May 9, 1936 an examination was made of the premises located at 61 Carleton Street, Portland, Maine.

Non-compliance with the ordinances relating to housing conditions was found as detailed below. In accordance with the provisions of the above ordinance, you are hereby ordered to correct these defects according to specifications within the time limits allowed. Failure to comply with this notice will necessitate legal action.

Some repairs or improvements required will necessitate permits which are to be obtained from the Building Inspector, Health, Fire or other City Departments. These must be obtained before the work is started. If any additional information is desired, visit or telephone the Housing Supervisor at this Office, telephone 4-1431, extension 226. kindly notify this office as soon as all corrections have been completed.

Very truly yours,
Edward W. Colby, M.D.
Health Director

By Edmund C. Hamilton
Housing Supervisor

VIOLATIONS & SPECIFICATIONS

Responsibility of Owner or Agent ** Responsibility of Occupant

- ## Plumbing
Check and have repaired all defective plumbing and plumbing fixtures throughout the structure.
 - a) Install windows to the outside air in the bathrooms on the first and second floors, or install approved mechanical ventilation systems.
- ## Electrical Equipment
Check and have repaired all defective electric wiring and electrical equipment throughout the structure.
 - a) Repair or replace the loose fixture in the bedroom of the second floor apartment.
 - b) Repair or replace the open fixture in the bedroom of the second floor apartment.
- ## Heating
 - a) Repair or replace the defective parts of the furnace.
- ## Structural Repairs
Repair and put in good order all dilapidated and hazardous parts of the structure as follows:
 - a) Install a window to the outside air in the bedroom of the first floor apartment with a total sash area at least 1/12 of the floor area and so constructed that at least 1/2 of the sash area can be opened, or install an approved mechanical ventilation system.
 - b) Replace the missing door in the bedroom of the first floor apartment.
 - c) Determine the reason and remedy the condition which now causes the floor to sag near the sink in the kitchen of the first floor apartment.
 - d) Repair or replace the loose, cracked or missing plaster on the walls and ceilings of the bedroom in the second floor apartment.
 - e) Replace the broken window pane in the bedroom window in the second floor apartment.
 - f) Replace the missing bedroom doors in the second floor apartment.
 - g) Repair or replace the cracked and warped floor boards in the bedrooms of the second floor apartment.
 - h) Repair or replace the loose, cracked or missing plaster on the walls (over) of the second floor hallway.

To Housing Division, Health Department Date May 9, 1936
From _____

This is to inform you that deficiencies of which this Department has been notified, have been corrected to our satisfaction.

Remarks: _____

Signature _____

(Please return to Housing Division of Health Department when corrections have been COMPLETED)

Loc. 61 Carleton St.
Loc w/1 S
Bldg Fire Elec Other
Issued July 11, 1936
Expires August 11, 1936

Structural Repairs Continued
1) Replace the missing knob on the door in the front hallway.

The above mentioned conditions are in violation of the City Ordinance "Minimum Standards for Continued Occupancy" and "Authority to Revoke Privileges" and must be corrected on or before August 11, 1956.

RECEIVED
JUL 24 1956
DEPT. OF BLDG. INSP.
CITY OF PORTLAND

CITY OF PORTLAND
HEALTH DEPARTMENT
HOUSING DIVISION



Loc. 61 Carleton Street
Loc w/i S S
Bldg X Fire X Elec X Other
Issued October 26, 1954
Expires November 26, 1954

Mr. Christian Kraglund
463 Congress Street
Portland, Maine

Dear Sir: On August 2, 1954 an examination was made of the premises located at 61 Carleton Street

Non-compliance with the ordinances relating to housing conditions was found as detailed below. In accordance with the provisions of the above ordinance, you are hereby ordered to correct these defects according to specifications within the time limits allowed. Failure to comply with this notice will necessitate legal action.

Some repairs or improvements required will necessitate permits which are to be obtained from the Building Inspector, Health, Fire or other City Departments. These must be obtained before the work is started. If any additional information is desired, visit or telephone the Housing Supervisor at this Office, telephone 4-1431, extension 226. Kindly notify this office as soon as all corrections have been completed.

Very truly yours,
Edward W. Colby, M.D.
Health Director

By _____
Housing Supervisor

VIOLATIONS & SPECIFICATIONS

Responsibility of Owner or Agent ** Responsibility of Occupant

- | | | | |
|--|--|--|---|
| | | | <p>Plumbing
Check and have repaired all defective plumbing and plumbing fixtures throughout the structure.</p> <ul style="list-style-type: none"> a) Repair or replace the defective faucet at the kitchen sink in the second floor apartment. b) Repair or replace the defective trappipe under the bathtub, and repair or replace the cracked and leaking lavatory in the second floor apartment. c) Provide adequate ventilation to the bathroom in the first and second floor by installing a window to the outside air or by means of an approved ventilation system. <p>Ventilation
a) Install a collar on the pipe at the chimney in the second floor apartment.</p> <p>Electrical
Check and have repaired all defective electric wiring and electrical equipment throughout the structure.</p> <ul style="list-style-type: none"> a) Repair or replace the hazardous fixtures and wiring in the bathroom of the second floor apartment. <p>Structural
Repair and put in good order all dilapidated and hazardous parts of the structure as follows:</p> <ul style="list-style-type: none"> a) Repair or replace the loose or missing plaster on the walls and ceiling in the kitchen, and ceiling in the bathroom of the first floor apartment; the walls and ceilings of the kitchen and bathroom, ceiling of the living room, and walls of the bedrooms in the second floor apartment. b) Repair or replace the loose or missing plaster on the walls and ceilings of the hallways. c) Replace the missing door to the entrance in the first floor apartment. d) Install a window to the outside air to provide adequate ventilation to the bedroom in the second floor apartment. e) Replace the broken window and potty the loose window in the living room of the second floor apartment. |
|--|--|--|---|

To: Housing Division, Health Department

From _____ Date _____

This is to inform you that deficiencies of which this Department has been notified, have been corrected to our satisfaction.

Remarks: _____

Loc. 61 Carleton Street
Loc w/i S S
Bldg X Fire X Elec X Other
Issued October 26, 1954
Expires November 26, 1954

Signature _____

(Please return to Housing Division of Health Department when corrections have been COMPLETED)

Structural Repair - Continued

- f) Replace the sliding door to the balcony in the second floor apartment.
- g) Replace the electric balustrade on the front hall stairway.
- h) Repair or replace the dilapidated and hazardous parts of the cellar stairs and stairway.
- i) Repair or replace the defective concrete on the structure.
- j) Repair or replace the loose, worn, dilapidated and hazardous parts of the inside steps and stairway.
- k) Replace the sliding glass doors on the rear of the structure.
- l) Replace the broken windows in the shed.
- m) Repair or replace the defective gutter on the structure.
- n) Either close off the attic or repair or replace the dilapidated and hazardous parts of the walls, ceiling and floor.

Sanitation and Sanitary Conditions

- a) All the portions of all infestation and vermin. It is required that you procure the services of some qualified persons to do the work.

The above mentioned conditions are in violation of the City Ordinance "Minimum Standards for Continued Occupancy" and "Authority to Vacate Buildings" and must be corrected on or before November 25, 1954.

RECEIVED
OCT 28 1954
DEPT. OF BLD'G. INST.
CITY OF PORTLAND



adh

(A) APARTMENT HOUSE ZONE

(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT

PERMIT ISSUED

01812

SEP 21 1951

Class of Building or Type of Structure Third Class

Portland, Maine, September 20, 1951

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~or~~ ~~reconstruct~~ the following building ~~structure~~ ~~work~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 61 Carleton Street Within Fire Limits? yes Dist. No. _____
Owner's name and address C. G. Kragelund, 463 Congress Street Telephone _____
Lesse's name and address _____ Telephone 3-3963
Contractor's name and address Ansel Hamlin, 17 Deering Street Telephone 3-3325
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building dwelling ~~apartment~~ house No. families 2
Last use " " No. families 2
Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 300. Fee \$ 2.00

General Description of New Work

To cut 2-story shed down 2' 6", rebuilding stairway and outside wall.
8 1/2" risers, 8 1/2" treads, 3' wide stairway

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Ansel Hamlin

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate 18' Height average grade to highest point of roof 20'
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation Concrete piers at least 4' below grade in diameter _____ Thickness, top 9" bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof shed Rise per foot _____ Roof covering Asphalt Class C Und Lab
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind hemlock Dressed or full size? dressed
Corner posts 1x4 Sills 6x6 Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x6, 2nd existing, 3rd _____, roof existing
On centers: 1st floor 16", 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor 6', 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED: _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

C. G. Kragelund

Signature of owner by:

A. P. Hamlin

INSPECTION COPY

NOTES

~~10-9-51 Work on [unclear] slowly etc~~

~~[Faded handwritten notes, mostly illegible]~~

[Large section of blank lined paper for notes]

Permit No. 511812

Location 61 Carlisle St

by C. P. [unclear]

Date of permit 9/21/51

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 10-2-51

Cert. of Occupancy issued

11 Carlton Street-I

September 31, 1951

Mr. Ansel Swain
17 Leaning Street
Mr. C. J. Engelund
16 Congress Street

Copies to: Health Director

Oliver P. Sathorn
Chief of the Fire Department

Conditions

Building permit for reroofing in size and practically rebuild the rear shed and stairway in it at 11 Carlton Street is issued to Mr. Health, but subject to the following conditions. If for any reason you are unable to comply with these conditions, or, if this letter is not fully understood, it is important that you refrain from starting the work and contact this office immediately for the best adjustment that can be made.

1. Concrete foundation piers, if built 5' in diameter no pier will require a concrete footing under each no less than 10" square and no less than 6" deep. Since the sill under the rear wall will have to support half of first and second floors and half of the roof, the piers under the shed will have to extend no more than 5' from center to center. It is not known whether it is your intention to extend the concrete piers up to the underside of the sill which will be directly beneath the first floor joists, or not, but whatever method is used on these piers should be approved by means of metal bracing or equivalent.

The Health Department is interested in conditions in and about this building and it would be well to consult the Health Department as to whether or not the space beneath the first floor should be closed off from the outside atmosphere for health or sanitary reasons. If so, it will be necessary to construct this closure so that it will not be in contact with the ground in such a way as to allow seeping by frost and thus defeat the purpose of extending the concrete piers below the surface of the ground. Thresholds are required to extend at least 4" above the surface of the ground.

2. The exterior walls of the shed are to be framed in the usual manner with 4x6 corner posts (instead of the 4x4 indicated) all over length from sill to roof all covered with 16" lap siding; 2x4 studs no more than 16" from center to center; double 2x4 girt beneath second floor; double 2x4 plate under roof framing.

The rear wall is to be completely rebuilt, set in three feet from the rear party line with the usual wooden sheathing on the outside and weather resistive covering of a permanent nature (no material which can be rolled up is acceptable) and window or door provided in the rear wall so that access can be gained to the small rear yard for maintaining the building.

3. Proposal as to exterior wall of shed on the left, as one faces the building from the street, is not clear. It is my impression that there is not a fully finished wall there now, but that there is, is directly against the brick wall of the building on the adjoining lot. The sketch indicates some space between the brick wall and the exterior wall. If this is the exterior wall is not to be against the brick wall it should be framed and covered in the same manner as described for the rear wall. It should be set far enough from the brick wall so that a man could get in to maintain it. If the owner has the right to build this work directly against the brick wall so that the brick wall would really serve as a closure of the shed, a concrete framework may be provided, but the owner should get the right from the owner of the brick wall to suitably "flash" the roof and front and rear walls of the shed with brick wall so that moisture will not enter and rapidly deteriorate the wood. Of course enter the shed eventually.

Mr. Ansel Hamlin
Mr. G. J. Kragelund

September 21, 1951

If these details are in any doubt, the proposal should be explained fully to this office before proceeding with that part of the work.

4. The roof of the shed will pitch toward the open space to be left between the rear wall and the rear line. Appropriate measures should be taken to care for the water and melting snow from this roof and dispose of it in such a manner that unhealthful conditions will not develop between the two buildings and the foundations and superstructure of both buildings will not be damaged by the water.

5. The application indicates that the treads of the new stairs will be 8 1/2". The Code requires a minimum of 9", and the width must be measured from riser to riser not from riser to nosing. A handrail full length of the stairs is required on at least one side.

6. We have a report that some of the ceilings in the main building are in danger of falling. These ceilings should be examined immediately and made permanently safe.

7. The new shed is to be carried over to join the wall of the other side of this duplex building and rear wall and roof of this existing shed, so that this existing wall will serve to make the shed tight. Of course the foundations of this existing wall must be made permanently substantial.

8. I am told that there are four apartments in this duplex building, so that it is classified as an apartment house and comes under the control of the Safety Ordinance enforced by the Chief of the Fire Department. If the building has not been registered at Fire Headquarters, as required by the Safety Ordinance since 1946, it should be immediately, and the attention of the Fire Department should be called to the fact that alterations and improvements are now underway so that they may check any deficiencies in the work of egress and get the entire problem cleared up now.

Very truly yours,

Warren McDonald
Inspector of Buildings

WCD/G



(A) APARTMENT HOUSE ZONE
 CITY OF PORTLAND, MAINE
 (B) LIMITED LIABILITY CO.
 DEPARTMENT OF BUILDING INSPECTION

COMPLAINT

COMPLAINT NO. C-51-138

INSPECTION COPY

Location 61 Carleton Street Date Received 9/14/51
 Owner's name and address Christian Kraglund, 365 Danforth St., Use of Building 2-story frame building
 Tenant's name and address _____ Telephone 2-5984
 Complainant's name and address Health Dept. Telephone _____
 Description: 2 story rear ell in dangarous condition beyond repair. Telephone _____

9-14-51. Went over this location with Mr. Bunting of Health Dept. This ell is frame construction with no ceiling. Because of closeness to other buildings could not see type of foundation. Both floors and walls are beyond repair. Notified tenant not to use this ell which has storage shelves, as well as stairs. Called Mr. Kraglund and told him this ell not to be used in its present condition. He said he had small hammer saw to look it over. Told him it was beyond repair and that a permit was needed to demolish it. Several ceilings, both first and second floors appear to be in danger of falling off. 9/19/51 - Mr. Kraglund to see owner and if he approve ell shed down to 7ft wide and re-rod including new plans, having first approved for permit work.

Complaint No. **(B) LIMITED DISTRICT (A) APARTMENT HOUSE ZONE**
C-51-138

Location: **61 Carleton St.**

Date Received: **9/14/51**

Date Disposed of: **9/20/51**

NOTES

plan and secured permit

9/20/51 Application for building permit filed

CONSTRUCTION
PERMITS
DIVISION
CITY OF CHICAGO

4-20-51
4-20-51



(A) APARTMENT HOUSE ZONE
APPLICATION FOR PERMIT PERMIT ISSUED

Class of Building or Type of Structure: Third Class

Portland, Maine, April 2, 1940

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure-equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 61 Carleton Street Within Fire Limits? Yes Dist. No. 3
 Owner's or Lessee's name and address E. G. Vail, 18 Exchange St. Telephone _____
 Contractor's name and address G. A. Morland & Sons, 10 Everett St. Telephone 3-0617
 Architect _____ Plans filed no No. of sheets _____
 Proposed use of building dwelling house No. families 2
 Other buildings on same lot _____ Fee \$.50
 Estimated cost \$ 35.

Description of Present Building to be Altered

Material wood No. stories 2 1/2 Heat stove Style of roof _____ Roofing _____
 Last use dwelling house No. families 2

General Description of New Work

To rebuild front chimney from attic floor up

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.**

Details of New Work

Is any plumbing work involved in this work? _____
 Is any electrical work involved in this work? _____ Height average grade to top of plate _____
 Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
 To be erected on solid or filled land? _____ earth or rock? _____
 Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of Roof _____ Rise per foot _____ Roof covering _____
 No. of chimneys _____ Material of chimneys brick of lining existing chimney has no lining
 Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
 Framing Lumber—Kind _____ Dressed or Full Size? _____
 Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
 Material columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-10' O. C. Girders 6x8 or larger. Bridging in every floor and flat roof
 Joists and rafters _____ Sills and corner posts all one piece in cross section:
 On centers: 1st floor _____ 2nd _____ 3rd _____ roof _____
 Maximum span: 1st floor _____ 2nd _____ 3rd _____ roof _____
 If one story building with masonry walls, thickness of walls? _____ height? _____
 If a Garage _____ to be accommodated _____
 No. cars now accommodated on same lot _____
 Total number commercial cars to be accommodated _____
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
 Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
 Signature of owner By E. G. Vail

INSTRUCTION COPY

Permit No. 402003

Location: 2000 1st St. N.W.

Date of permit: 11/1/77

Notif. closing in: 11/1/77

Final Notif. 11/1/77

Final Insp. 11/1/77

Cert. of Occupancy issued: 11/1/77

Notes: 1. The above work is to be done in accordance with the specifications of the contract documents.

2. The contractor shall be responsible for obtaining all necessary permits and licenses.

3. The contractor shall maintain access to all adjacent properties at all times.

4. The contractor shall be responsible for the safety of all workers and the public.

5. The contractor shall be responsible for the cleanup of the work area.

6. The contractor shall be responsible for the protection of all existing utilities.

7. The contractor shall be responsible for the protection of all existing structures.

8. The contractor shall be responsible for the protection of all existing landscaping.

9. The contractor shall be responsible for the protection of all existing trees.

10. The contractor shall be responsible for the protection of all existing monuments.

11. The contractor shall be responsible for the protection of all existing easements.

12. The contractor shall be responsible for the protection of all existing rights of way.

13. The contractor shall be responsible for the protection of all existing public utilities.

14. The contractor shall be responsible for the protection of all existing private utilities.

15. The contractor shall be responsible for the protection of all existing underground utilities.

16. The contractor shall be responsible for the protection of all existing overhead utilities.

17. The contractor shall be responsible for the protection of all existing traffic.

18. The contractor shall be responsible for the protection of all existing pedestrians.

19. The contractor shall be responsible for the protection of all existing bicycles.

20. The contractor shall be responsible for the protection of all existing vehicles.

21. The contractor shall be responsible for the protection of all existing animals.

22. The contractor shall be responsible for the protection of all existing plants.

23. The contractor shall be responsible for the protection of all existing structures.

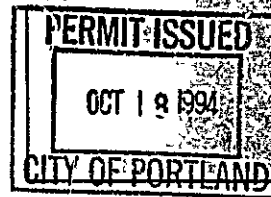
No.	Description of Work	Start Date	End Date	Inspector	Remarks
1	Excavation for foundation	11/1/77	11/1/77	J. Smith	Work completed
2	Foundation pour	11/1/77	11/1/77	J. Smith	Work completed
3	Foundation curing	11/1/77	11/1/77	J. Smith	Work completed
4	Foundation inspection	11/1/77	11/1/77	J. Smith	Work completed
5	Foundation repair	11/1/77	11/1/77	J. Smith	Work completed
6	Foundation backfill	11/1/77	11/1/77	J. Smith	Work completed
7	Foundation inspection	11/1/77	11/1/77	J. Smith	Work completed
8	Foundation repair	11/1/77	11/1/77	J. Smith	Work completed
9	Foundation backfill	11/1/77	11/1/77	J. Smith	Work completed
10	Foundation inspection	11/1/77	11/1/77	J. Smith	Work completed
11	Foundation repair	11/1/77	11/1/77	J. Smith	Work completed
12	Foundation backfill	11/1/77	11/1/77	J. Smith	Work completed
13	Foundation inspection	11/1/77	11/1/77	J. Smith	Work completed
14	Foundation repair	11/1/77	11/1/77	J. Smith	Work completed
15	Foundation backfill	11/1/77	11/1/77	J. Smith	Work completed
16	Foundation inspection	11/1/77	11/1/77	J. Smith	Work completed
17	Foundation repair	11/1/77	11/1/77	J. Smith	Work completed
18	Foundation backfill	11/1/77	11/1/77	J. Smith	Work completed
19	Foundation inspection	11/1/77	11/1/77	J. Smith	Work completed
20	Foundation repair	11/1/77	11/1/77	J. Smith	Work completed
21	Foundation backfill	11/1/77	11/1/77	J. Smith	Work completed
22	Foundation inspection	11/1/77	11/1/77	J. Smith	Work completed
23	Foundation repair	11/1/77	11/1/77	J. Smith	Work completed
24	Foundation backfill	11/1/77	11/1/77	J. Smith	Work completed
25	Foundation inspection	11/1/77	11/1/77	J. Smith	Work completed
26	Foundation repair	11/1/77	11/1/77	J. Smith	Work completed
27	Foundation backfill	11/1/77	11/1/77	J. Smith	Work completed
28	Foundation inspection	11/1/77	11/1/77	J. Smith	Work completed
29	Foundation repair	11/1/77	11/1/77	J. Smith	Work completed
30	Foundation backfill	11/1/77	11/1/77	J. Smith	Work completed

941130

APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. _____
Portland, Maine, _____
17 Oct 94



To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 94-0923 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 59-61 Carleton St Within Fire Limits? _____ Dist. No. _____
Owner's name and address M. raston, Brenton & Sandra Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Bill Maxfield Telephone 821-3323 numeric
Architect _____ Plans filed _____ No. of sheets _____
Proposed use of building 4-fam w/expanded deck No. families _____
Last use 4-fam No. families _____
Increased cost of work -0- Additional fee 25.00

Description of Proposed Work

Amend permit as per plans

10/18/94 Historic Preservation OK. [Signature]

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Framing lumber -- Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.
Joints and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

Approved: _____

Signature of Owner _____
Approved: [Signature] Inspector of Buildings

INSPECTION COPY -- WHITE
APPLICANT'S COPY -- YELLOW

FILE COPY -- PINK
ASSESSOR'S COPY -- GOLDEN

Ms Simpson

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 59-61 Carleton St		Owner: Marston, Kventon & Sandra		Phone:		Permit No: 040923	
Owner Address:		Leasee/Buyer's Name:		Phone:		Business Name: Mary Cresik	
Contractor Name: W.A. Hazfield Co.		Address: 17 Deering St Portland, ME 04101		Phone: 826-4071		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED AUG 30 1994 CITY OF PORTLAND </div>	
Past Use: Multi fam		Proposed Use: Multi fam 4 DU w/rebuild fire escape		COST OF WORK: \$ 6,000.		PERMIT FEE: \$ 50.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:	
Proposed Project Description: Rebuild fire escape - not to exceed existing footprint		Signature:		Signature:		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Call Bill on beeper 24 #145

710 X145

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: Bill Hazfield ADDRESS: _____ DATE: 25 August 1994 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT

COMMENTS

8/30/94

4 sonar tubes poured, no one around, site roped off.

9.8.94

Framing done for 1st floor porch, 2nd floor framing started, appears adequate.

11.1.94 all framing done, plywood on all exterior walls. 3rd fl has half wall, 2nd floor is studded up, 1st floor, a light has been relocated or added. Need Electrical Permit. No insulation, no exterior siding.

12.22.94. Porch handrails and kickplates on per code, still no exterior siding. Don't believe they intend to put any on this winter. Will suggest Tyvek wrap. Amendment was filed to extend size of deck.

Type	Inspection Record	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

Inspection Services
Samuel P. Hoffes
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

August 29, 1994

RE 59-61 Carleton St.

W. A. Maxfield Co.
17 Deering St.
Portland, ME 04101

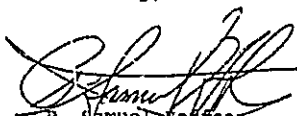
Dear Sir

Your application to rebuild fire escape has been reviewed and a permit is herewith issued subject to the following requirement: This permit does not preclude the applicant from meeting applicable State and Federal laws.

1. Please read and implement attached building code requirements.

If you have any questions regarding this requirement, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffes
Chief of Inspection Services

/el

SECTION 1025.0 FIRE ESCAPES

1025.1 Where permitted: Fire escapes shall be permitted only as provided for in Sections 1025.1.1 through 1025.1.4.

1025.1.1 New buildings: Fire escapes shall not constitute any part of the required means of egress in new buildings.

1025.1.2 Existing fire escapes: Existing fire escapes shall be continued to be accepted as a component in the means of egress in existing buildings only.

1025.1.3 New fire escapes: New fire escapes for existing buildings shall be permitted only where exterior stairs cannot be utilized due to lot lines limiting stair size or due to the sidewalks, alleys or roads at grade level. New fire escapes shall not incorporate ladders or access by windows.

1025.1.4 Limitations: Fire escapes shall comply with this section and shall not constitute more than 50 percent of the required number of exits nor more than 50 percent of the required exit capacity.

1025.2 Location: Where located on the front of the building and where projecting beyond the building line, the lowest landing shall not be less than 7 feet (2134 mm) or more than 12 feet (3658 mm) above grade, and shall be equipped with a counterbalanced stairway to the street. In alleyways and thoroughfares less than 30 feet (9144 mm) wide, the clearance under the lowest landing shall not be less than 12 feet (3658 mm).

1025.3 Construction: The fire escape shall be designed to support a live load of 100 pounds per square foot (4.8.20 kg/ m²) and shall be constructed of steel or other approved noncombustible materials. Fire escapes constructed of wood not less than nominal 2 inches thick are permitted on buildings of Type 5 construction. Walkways and railings located over or supported by combustible roofs in buildings of Types 3 and 4 construction are permitted to be of wood not less than nominal 2 inches thick.

1025.3.1 Dimensions: Stairs shall be at least 22 inches (559 mm) wide with risers not more than, and treads not less than, 8 inches (203 mm) and landings at the foot of stairs not less than 40 inches (1016 mm) wide by 36 inches (914 mm) long, located not more than 8 inches (203 mm) below the door.

1025.3.2 Opening protective: Doors and windows along the fire escape shall be protected with 3/4-hour opening protectives.

SECTION 1021.0 GUARDS

1021.1 General: Where required by the provisions of Sections 406.5, 408.3.2, 1005.5, 1014.7, 1016.5 and 1825.5, guards shall be designed and constructed in accordance with the requirements of this section and Section 1615.8. A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.

1021.2 Height: The guards shall be at least 42 inches (1067 mm) in height measured vertically above the leading edge of the guard or adjacent walking surface.

Exceptions

1. In other than occupancies in Use Group E, guards shall not be less than 34 inches (864 mm) in height above the leading edge of the tread along stairs which are not more than 20 feet (6096 mm) in height or which reverse direction at an intermediate landing with 12 inches (305 mm) or less measured horizontally between successive flights.
2. Guards along open-sided floor areas, mezzanines and landings in occupancies in Use Group R-3 shall not be less than 36 inches (914 mm) in height.

1021.3 Opening limitations: In occupancies in Use Groups A, B, E, H-4, I-1, I-2, M and R, and in public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4 inches (102 mm) cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.

Exception: The triangular openings formed by the riser, tread and bottom rail at the open side of a stairway shall be of a maximum size such that a sphere 6 inches (152 mm) in diameter cannot pass through the opening.

In occupancies in Use Groups I-3, F, H-1, I-2, H-3 and S, other than public garages and open parking structures, balusters, horizontal intermediate rails or other construction shall not permit a sphere with a diameter of 21 inches (533 mm) to pass through any opening.

1021.4 Railings: Metal or other approved noncombustible railings shall be provided on balconies and galleries as prescribed in Sections 1021.4.1 through 1021.4.3.

1021.4.1 At fascia: Railings shall be provided: at the fascia of boxes, balconies and galleries and shall not be less than 26 inches (660 mm) in height; at the end of aisles

extending to the fascia for the full width of the aisle and shall not be less than 36 inches (914 mm) in height; and at the foot of steps for the full width of the steps and shall not be less than 42 inches (1067 mm) in height.

1021.4.2 At cross aisles: Railings shall be provided along cross aisles, and shall not be less than 26 inches (660 mm) in height except that railings are not required where the backs of the seats along the front of the aisles project 24 inches (610 mm) or more above the floor of the aisle.

1021.4.3 Successive tiers: Where seatings are arranged in successive tiers, and where the height of rise between platforms exceeds 18 inches (457 mm), railings not less than 26 inches (660 mm) in height shall be provided along the entire row of seats at the edge of the platform.

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 59-61 Carleton St		Owner: Marston, Brenton & Sandra		Phone:		Permit No: 940923	
Owner Address:		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: W.A. Maxfield Co.		Address: 17 Deering St Pctd, ME 04101		Phone: 828-4071		Permit Issued: PERMIT ISSUED AUG 30 1994	
Past Use: Multi fam 4 DU		Proposed Use: Multi fam 4 DU w/rebuilt fire escape		COST OF WORK: \$ 6,000.		PERMIT FEE: \$ 50.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:	
Proposed Project Description: Rebuild fire escape - not to exceed existing footprint				Signature:		Signature:	
				PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Zoning Approval: W.A. Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	

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3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

8990 X145

Call Bill on beeyer #X #145

PERMIT ISSUED WITH LETTER

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: *William A. Maxfield* ADDRESS: Bill Maxfield DATE: 25 August 1994 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: 8/26/94

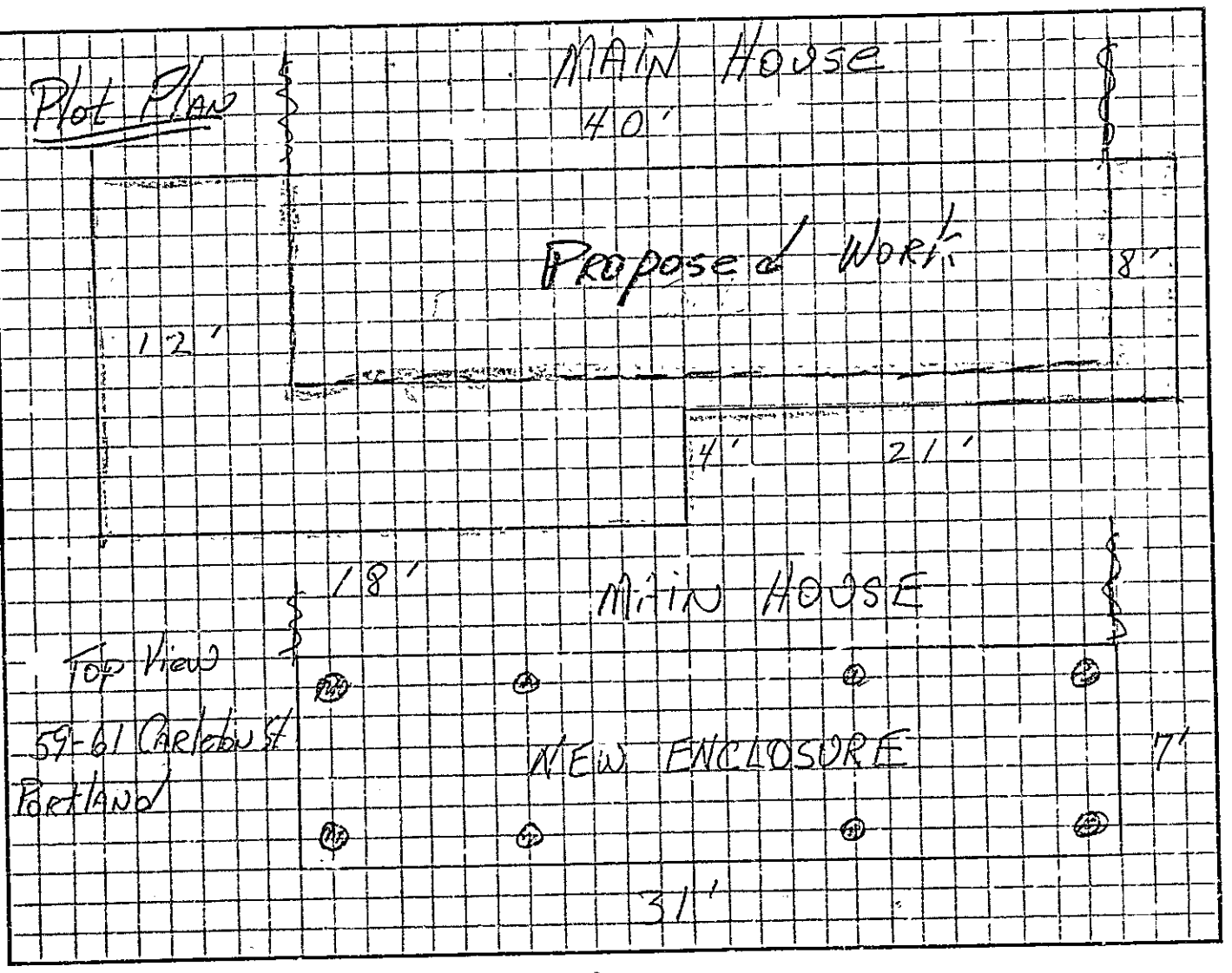
Deborah G. Andrus

CEO DISTRICT

TEMPORARY FIRE Ladders will
be located on building during
CONSTRUCTION for emergency
Egress.

William A. Huff

Existing plot plan of
 Proposed plot plan of
 Proposed fire-escape
 Proposed plot plan of fire escape
 JOB SHEET # _____ OF _____ DATE _____
 CALCULATED BY _____ DATE _____
 CHECKED BY _____
 SCALE _____
 CITY OF PORTLAND, MAINE FIRE-escape
 DEPARTMENT OF PARKS & PUBLIC WORKS
 TRAFFIC DIVISION
 65 HANOVER STREET
 PORTLAND, MAINE 04101
 874-8891



Joe Foley

Ronald McDonald House

STAND BY ME, Inc.
Non Profit Organization
P.O. Box 3928
Portland, ME 04104
(207) 780-6282

August 15, 1994

*The Thaxter Co.
55 Bell St.
P, M-04103*

RECEIVED

AUG 16 1994

PUBLIC WORKS

Board of Directors
Officers:

- President:
Joseph R. Foley
- Vice President:
Meredith S. Burgess
- Treasurer:
Trevor H. Vickers, CPA
- Secretary:
Elizabeth M. Karasopoulos
- Directors:
- Hon. Jane Amero*
- Donna Cook*
- Michael R. Curtis, MD*
- Steve Gable*
- Kathleen Hansen*
- Janet Houghton, RN*
- Maribeth Hourihan, MD*
- Polly Larned, RN*
- Bruce E. Leddy, Esa*
- Betty Lewis*
- Eddie Lydick*
- Thomas R. Newman, CPA*
- Margaret Nygren*
- Sheila Peabody*
- Kim Regan*
- Joan Roux*
- Julie A. Russem, MPH*
- Susan B. Soule, L.C.S.W*
- Paul Stern, MD*
- John Thaxter*
- Patricia Todorich, RN, M.S*

Mr. William Bray
Deputy Director
55 Portland St.
Portland, ME 04101

Dear Mr. Bray:

Previous to the new city management change, I had been dealing with George Flaherty concerning help on the Ronald McDonald House on Brackett and Carleton St. This is a house to board parents and other close family members of children in need of hospital care that do not have local means of residency.

We have contracted with Pochbit company of Portland to build it depending on our budget goal. Mr. Flaherty was so kind to ask for the cities help on the cost of demolition of the two buildings that were to make way for the "green space" that the planning board wanted. With Groundin and the Cities' help we were able to complete that portion of the work.

Now we have the real construction of an existing garage into the residential flavor of a house. We need interior demolition of "non-hazardous waste" The hazardous waste of minimal asbestos will be removed by licensed abatement people.

We need your help with the items listed below that Bruce Bell and I have discussed.

1. Tipping fees at landfill approved value \$5,000 - \$3,500. Possible addition of demolition on neighbors property being negotiated. \$800 - \$1,200.
2. Street opening permit value unknown; \$300 allowed.
3. Site plan performance guarantee inspection fee of 1.7%. See attached value \$662.74.

Note: We are rebuilding sidewalk and curbing per planning board requests, which will add value to the cities walks and streets. I'm asking that you help the building committee bring the project in on budget by waiving these fees. This is a great project that we see a community building together. Thanks for your cooperation.

Sincerely,

John Thaxter

John Thaxter

874-8822
The House that love built....

*OKay for Dumpster
Per Bill Bray
Steve Dumping
Paul Roberts*

778-5553

CITY OF PORTLAND
 DIVISION OF INSPECTION SERVICES
 DEMOLITION CALL LIST

Site Address: 59-61 Carleton St. Corner: Sandra Marston
 Structure Type: Wood Frame Contractor: William Maxfield

UTILITY APPROVALS	NUMBERS	CONTACT NAME AND DATE
Central Maine Power	878-1411 X5000	N/A
Nynex	878-7000	N/A
Northern Utilities	797-8002 X6243	N/A
Portland Water District	761-8310	N/A
Public Cable Co.	775-2381 X257	N/A
Dig Safe	1-800-225-4977	N/A

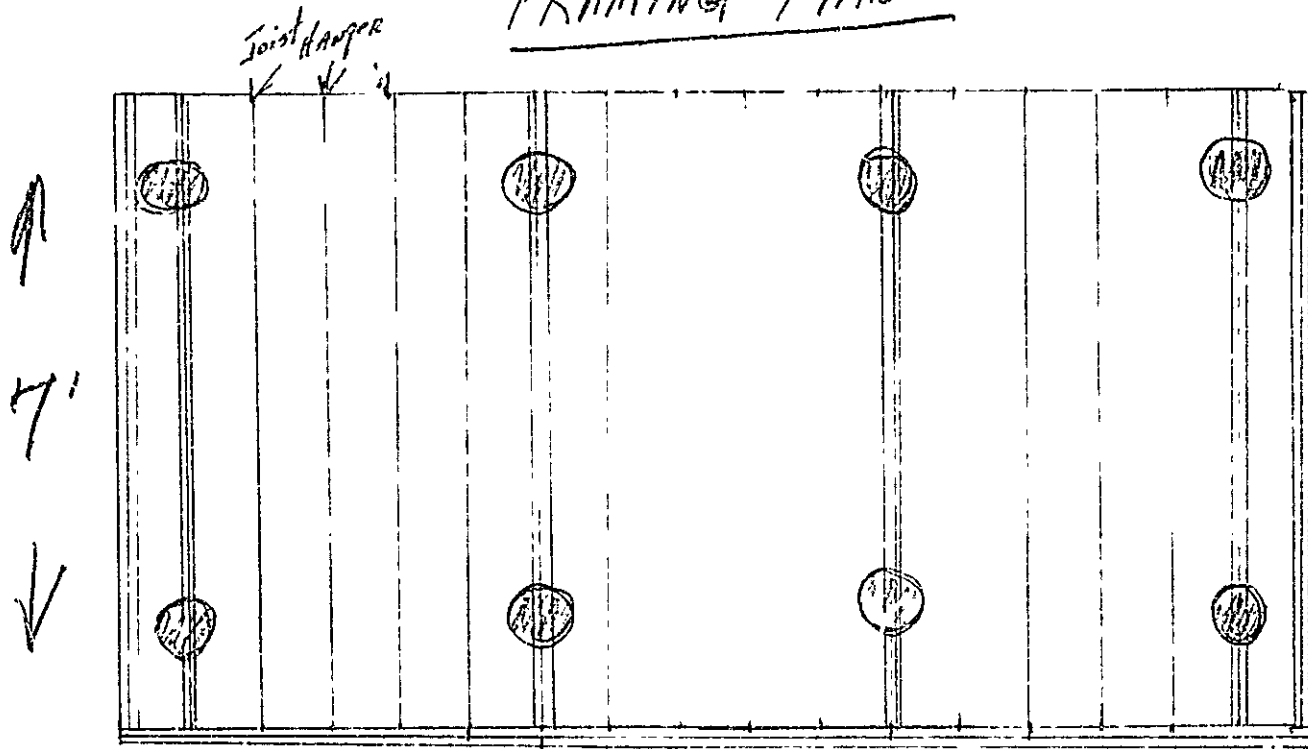
CITY APPROVALS	NUMBERS	CONTACT NAME AND DATE
DPW/Sewer Division	874-6300 X8871	N/A
DPW/Traffic Division	874-8300 X8891	N/A
DPW/Forestry Division	874-8300 X8820	N/A
DPW/Sealed Drain Permit	874-8300 X6822	N/A
Building Inspections	874-8300 X8703	
Historic Preservation	874-8300 X8699	
Fire Dispatcher	874-6300 X8576	N/A

ASBESTOS	NUMBERS	CONTACT NAME AND DATE
U.S. EPA REGION 1	617-567-3219	N/A
DEP - Environmental	822-5300	N/A

I have contacted all of the necessary companies and departments.

Signed: William Maxfield Date: 8/22/94

59-61 Carteton St.
FRAMING PLAN



Decks

2x8 FRAME 16" O.C.
5/8" x 1/2" Spruce Decking

Walls

2x4 16 O.C.
5/8" CDX Plywood
Siding

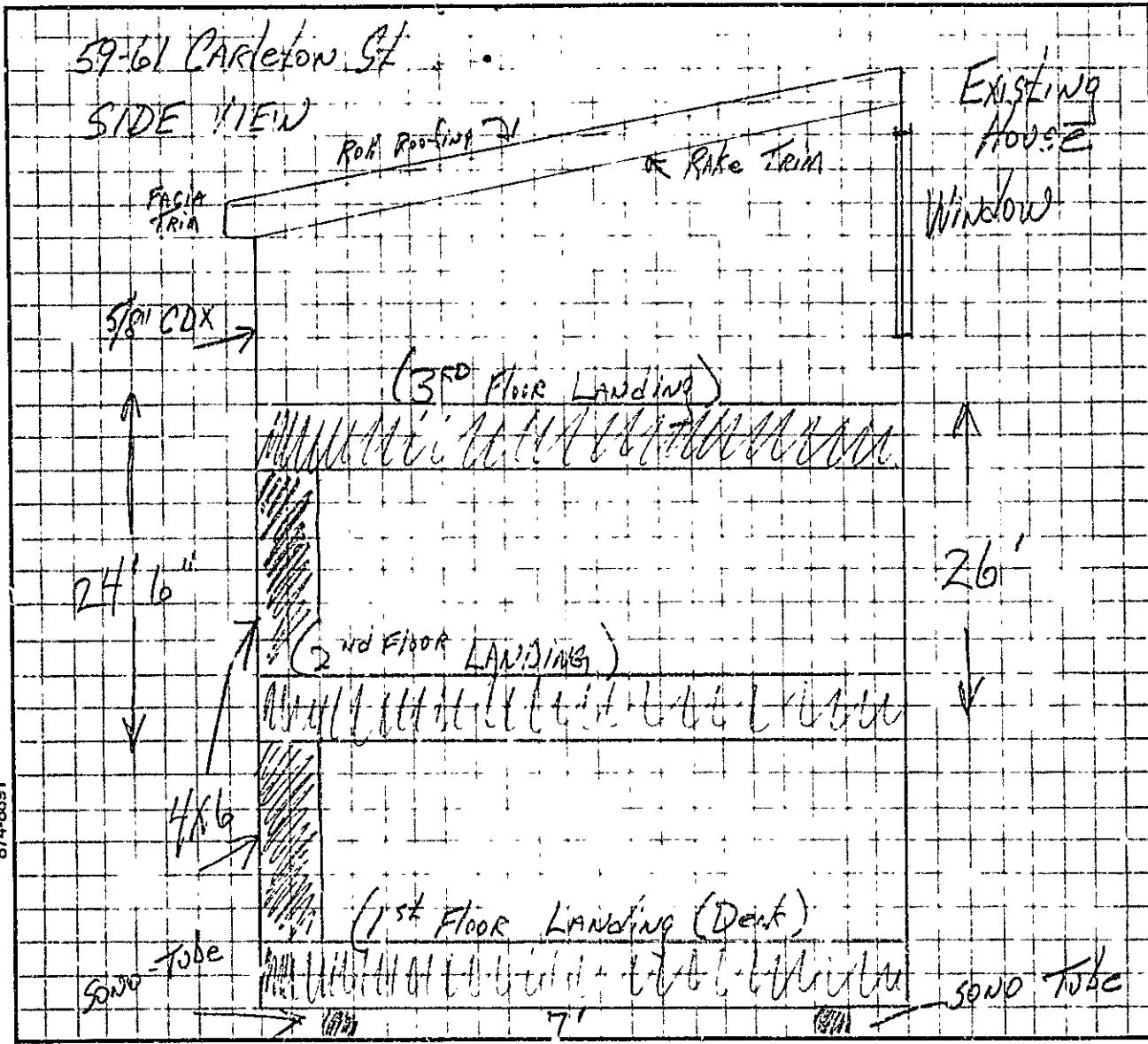
Full Coverage Vinyl Siding

Roof

2x8 Rafters
5/8" CDX Plywood
Double Coverage Roll Roof
RAKE + EAVE TRIM
(Plus)

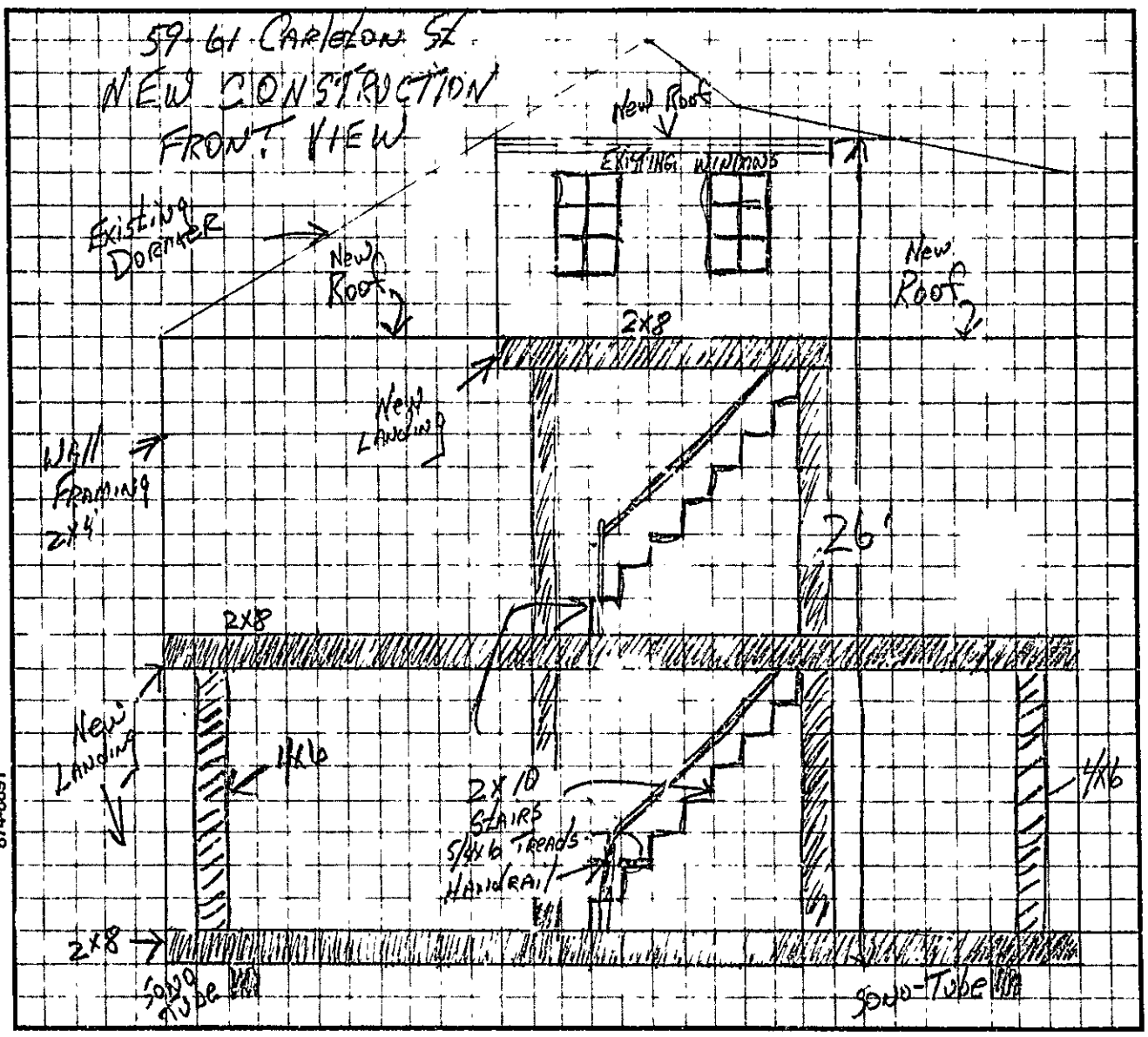
CITY OF PORTLAND, MAINE
DEPARTMENT OF PARKS & PUBLIC WORKS
TRAFFIC DIVISION
65 HANOVER STREET
PORTLAND, MAINE 04101
874-8891

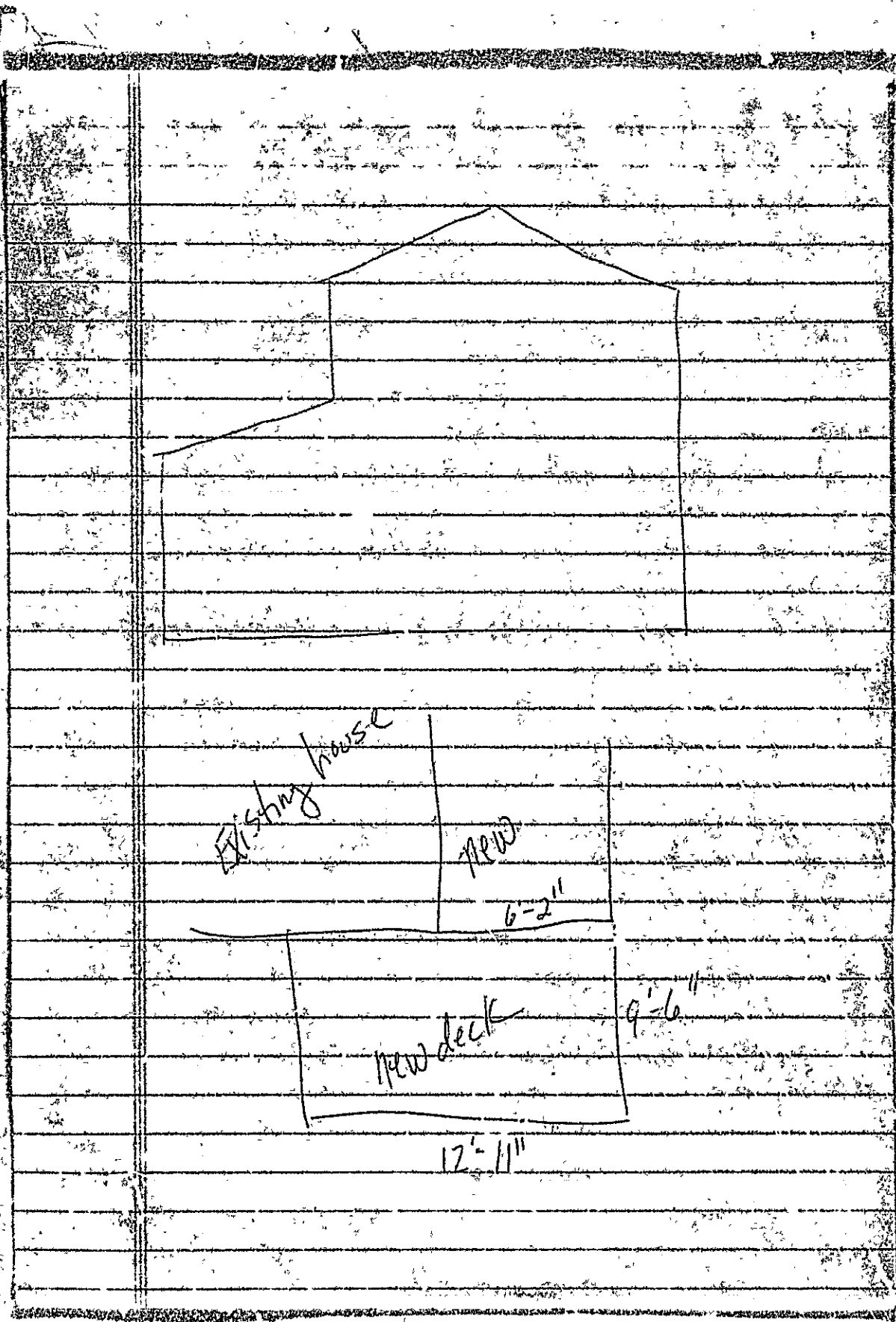
JOB _____
SHEET # _____
CALCULATED BY _____
CHECKED BY _____
SCALE _____
OF _____
DATE _____
DATE _____



JOB _____
 SHEET # _____
 CALCULATED BY _____
 CHECKED BY _____
 OF _____
 DATE _____
 DATE _____
 SCALE _____

CITY OF PORTLAND, MAINE
 DEPARTMENT OF PARKS & PUBLIC WORKS
 TRAFFIC DIVISION
 65 HANOVER STREET
 PORTLAND, MAINE 04101
 874-8891





941130

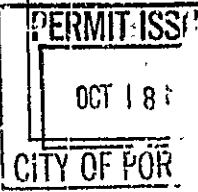
APPLICATION FOR AMENDMENT TO PERMIT



Amendment No. _____

Portland, Maine, _____

17 Oct 94



To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 94-0923 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

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Owner's name and address Marston, Brenton & Sandra Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address Bill Maxfield Telephone 821-3323 numeric beeper
Architect _____ Plans filed _____ No. of sheets _____
Proposed use of building 4-fam w/expanded deck No. families _____
Last use 4-fam No. families _____
Increased cost of work -0- Additional fee 25.00

Description of Proposed Work

Amend permit as per plans

Handwritten notes: 10/18/94 Historic Preservation OK. [Signature]

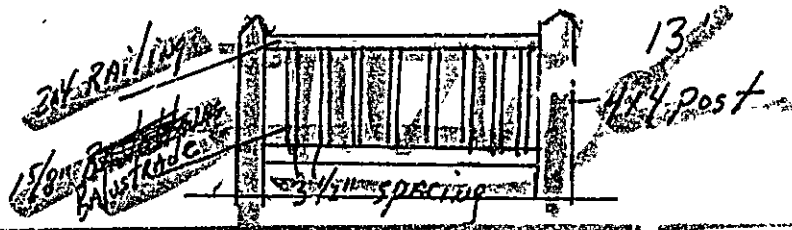
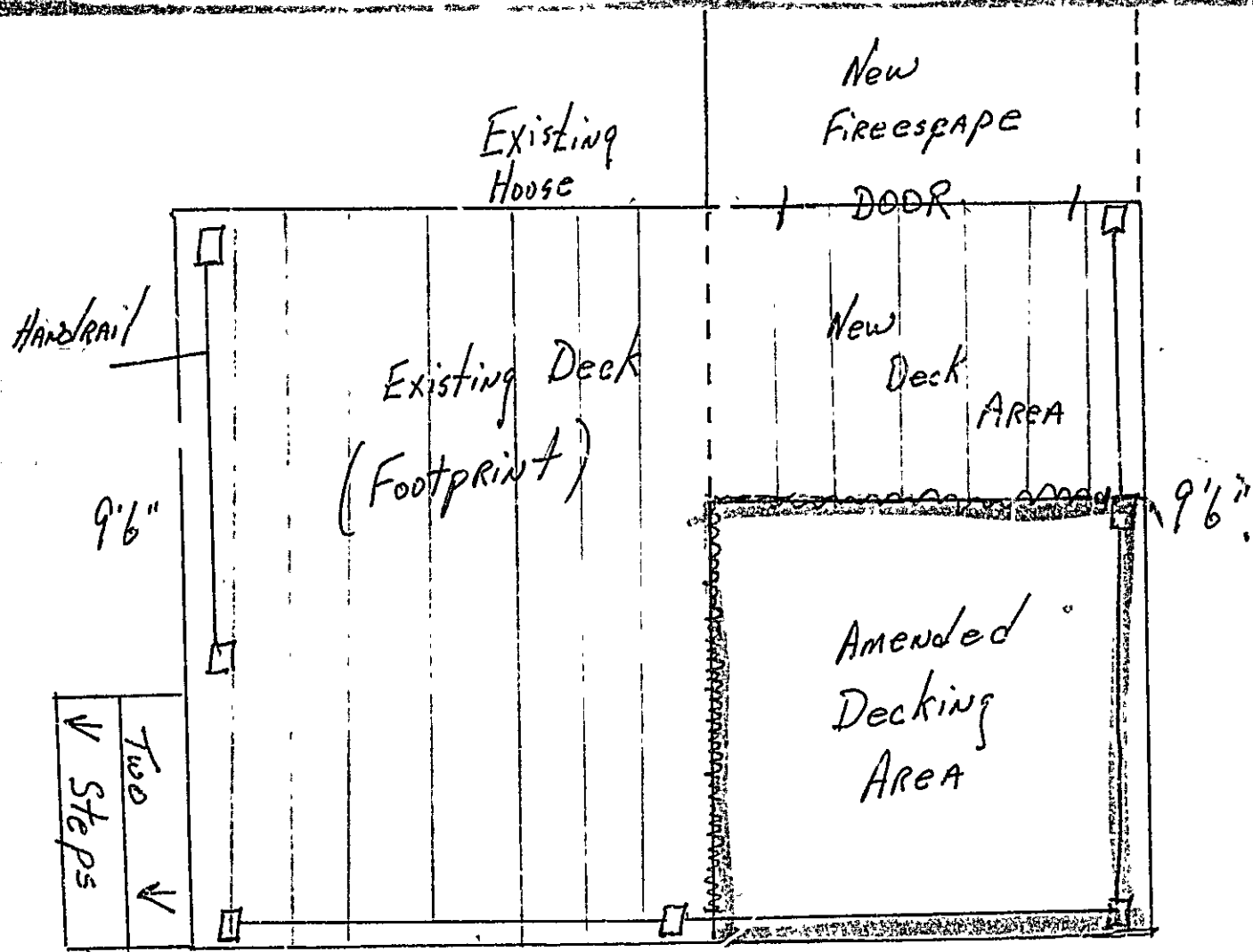
Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Framing lumber - Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.

Approved: _____ Signature of Owner _____

INSPECTION COPY - WHITE FILE COPY - PINK
APPLICANT'S COPY - YELLOW ASSESSOR'S COPY - GOLDEN
Approved: [Signature] Inspector of Buildings

Handwritten note: [?] 11/2 1994



59-61 Carleton St.
Portland, Maine