It has come to the attention of this pt that some very dilapidated located 787 Congress St. The street entrance was found to the West side are rotted and your come trase & are hanging langero Chaptrards in some areas are loose. The corner on the tubance is rotter and The landing flow to achie e yesen ar moth row the date of this teller



CITY OF PORTLAND, MAINE DEPARTMENT OF BUILDING INSPECTION

COMPLAINT

Use of Building__

INSPECTION COPY

COMPLAINT NO. 71/52

Location 791 Congress Street

Date Received August 18, 1971

Owner's name and address Maurice Prees, 599 Congr. s St.	Telephone
Tenant's name and address	Telephone
Complainant's name and address Rush, 791 Congress St.	Telephone
Description: Awming over public sidewalk dangerous.	
•	
NOTES: Says awning all rusted out and hanging over sidew	elk.
SENT LUTTER. AUG 18,71 R.L	.8.
8/1/	
1/15/14, No offange in the	e, conditions
The auguing fort fit	100 77 July
appear to lie and	Printed la la
and garage to live of the	Sollow Times
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11/3/71 Huning Senjorces	3
1/10/72 Letter about brache	to
P.	<u>C</u>
1-13-72 Heinpected of	found one of the
from bracketo hanging ouch	The Side Strak R-
will send a letter , Lette	es sent Jan 10,73
Efil mapact an 2014, Torone	ar if its secured,

791 Congress Street

August 18, 1971

Maurice Drees 599 Congress Street

Dear Mr. Dreas:

It has come to the attention of this department that an awning at the above address is in bad condition and is in need of replacement or repair. Inasmuch as this is hanging over the sidewalk it can affect the well being of passersby.

Please be advised by this letter that it should be taken care of immediately and no later than August 25,1971.

Very truly yours,

R. Lovell Brown Director

RLB:m

Re: 791 Congress St.

January 10, 1972

Mr. Maurice Drees, 599 Congress Stract

Dear Mr. Drees:

We checked but the dangerous awning on the building at 791 Congress Street, owned by you, and found that it has been removed but the iron brackets are still there and hanging over the public sideralk. These should be removed at once.

We will make further inspection of this dangerous condition on or before January 20, 1972.

Yery truly yours,

R. Lovell Brown Director

harch 1, 1966

Mr. Morris Drees, Snyder's Men's Store 599 Congress Street

Deer Mr. Dress:

On a recent manitation inspection of the Bramhall Spa, 791 Congress Street it was reported that there is an illegal ballcock installed in the toilet tank. Your tenant at this establishment informed us that you are responsible for this required replacement.

You are hereby directed to have this ballcock replaced with an anti-miphon ballcock. We will make another inspection of this property on Monday, March 7, 1966 before action is taken by this department.

Very truly yours,

EG/h

Ernola Goodwin Flumbing Inspector A.P.-787-789 Congress St., and 3-5 Deering Ave.

Sept. 20, 1965

John Donnelly & Sons 172 Hain Street South Portland, Mains

Your appeal under the Zoning Ordinance involving the erection of poster panels on the roofs of the two buildings at the Gentlemen: above mened locations has been denied. We are therefore unable to iscue porrits for erection of such structures.

Under these circumstances, if you will return to this office that the days the receipts for fees paid at time of filing applications for permits, we will be able to authorize return to you by voucher of the amounts paid.

Albert J. Stars Unilding Inspection Director

ajsi=

Technical Sign Review Committee Report

Donnelly and Sons Sign Request September 15, 1965

Request: Approval for erection of two poster panels 12 feet by 25 feet on building roofs

Lication: 787-789 Congress Street and 345 Deering Avenue

Structures

The structure is designed to pact the Building Code and is structurally sound. The roofs supporting the proposed sign are also structurally sound thereby precluding any structural hazard.

Traffict

The proposed location faces a complex and heavily traveled interasection. Cumberland Avenue, Deering Avenue, Congress Street and Branhall Hill all interconnect in this area. Increased traffic on Congress Street and from the Maine Medical Center necessitates driver concentration within this complex intersection. Further distraction created by the erection of a billboard could create a serious traffic hazard. There tave been 14 accidents at this intersection since January 1; 1965.

Land-Uner

St. **

The West End neighborhood which borders on this area, in now being atudied for possible upgrading. The Branhall Fire Station way also provide an impetus for improving the area. A billboard in this location would not be beneficial to a neighborhood improvement and in fact may be detrimental to it.

Recommendation: The Donnelly and Son sign request be dested?

Technical Sign Review Committee Report

Donnelly and Sons Sign Request September 15, 1965

Request: Approval for erection of two poster panels 12 feet by 25 feet on

building roofs

Location: 787-789 Congress Street and 3-5 Peoring Avenue

Structure:

The structure is designed to meet the Building Code and is structurally sound. The roofs supporting the proposed sign are also structurally sound thereby precluding any structural hosserd.

Traffic:

The proposed location faces a complex and heavily craveled intersection. Cumberland Avenue, Deering Avenue, Congress Street and Branhall Hill all interconnect in this area. Increased traffic on Congress Street and from the Haine Medical Center necessitates driver concentration within this complex intersection. Further distraction created by the erection of a billboard could create a serious traffic hazard. There have been 14 accidents at this intersection since January 1, 1965.

Land Use:

The West End neighborhood which borders on this area, is now being studied for rossible upgrading. The Brankall Fire Station may also provide an impetus for improving the area. A billboard in this location would not be beneficial to a neighborhood improvement and in fact may be detrimental to it.

Recommendation: The Donnelly a 1 Con sign request be denied.

Sign Review Committue

and and the second seco

ويؤفر أرياد

September 13, 1965

Wm. Bruce Dalton, Planning Director

TECHNICAL REVIEW OF DORNELLY & SONS SIGN REQUEST

Applications for permits have been filed by John Donnally and Sons for erection of two poster panels 12 feet by 25 feet on building roofs located at 3-5 Deering (venue and 787-75) Congress Street.

The Sign Review Committee will review these requests on Mednesday September 15 at 9:00 A.M. in the Building Inspectors Office. Please notify se if the time and date is not acceptable.

Details of the request way be obtained from Albert Sears and it is suggested that each of us be sufficiently informed on this matter that we may prepare our recommendations at this meeting.

The state of the s Worman Dollar

Acres & Mark Commence

wm. Bruce Dalton Plauming Director

ranking pirecto. cc: Thomas Griffin, Public Works Albert Scars, Building Inspector The state of the second second

RECEIVED

The second second

والمتعلق المصفي المعالية والمهاي والمعاسم والمعادل المادان العاس بماضا والمادون

SEP 1 3 1965

DEPT. OF BLDG. INSP. CITY OF PORTLAND

AP - 767-709 Congress Street and 3-5 Deswing Avenue

September 1, 1965

John Dormally & Sora 172 Main Street, South Fortherd, Maine

cor Corporation Coursel

Fr. Maurice irees 599 Congress Street;

Centleries

Building paraito for erection of two poster penals 12 feet high by 25 feet long, one on the roof of each of the two one-story buildings located on the property at the above exact location, are not isosable under the Zening Unitables for the following reasons:

- 1. The property is located in a f-2 Dusiness Fore where a billboard on a roof is forbidgen by Section 16-5-2.
- 2. The roof of the building fronting on temprose threat is only about 12 feet above the grade, and the roof of that fronting on bearing Avenue is only about 14 feet above the grade, afterese Section 16-5-4 fertides the erection of a billboard on any roof that is less than 20 feet above the grade of the midwalk in front of a building.

He universished that you would like to emercise your appeal rights in this natter. Accordingly an authorized representative chould cone to this office in Reca 110, Sity Hall, to file the appeal on forces that are available beso.

Very truly yours,

AJO/h

Albert v. Burn Exector of Emilding Inspection

APPLICATION FOR PERMIT

Glass of Building or Type of Structure ...

Sign August 31, 1965

To the INSPECTOR	OF	BUILDINGS,	PORTLAND,	MAINE
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To the INSPECTOR OF BUILDINGS, PORILLED, RE	MAG
in accordance with the Laws of the State of Maine, the Di	t alter repair demelish install the following building structure equipment uilding Code and Zoning Ordinance of the City of Portland, plans and a specifications:
Drees Realty, 597	Congress St. (Snyder's Men's Stor Perphone
A CONTRACT NO.	1 elephone
A _1.0A	Specifications Plans
n a fhuilding	I' V. IGHILLO
•	No. lamines
Last use	Style of roof Roofing
Other buildings on same lot	The second secon
	ree S
Estiraated cost \$ General Des	cription of New Work fee facility 813, 165
To erect 25' x 12' all metal roof s	ign as per plan(steady lighting)
_	erroal denies Z/16/65
Ω /	7
Kenned. 10.27-65	Property Institutes of the first
·	
It's understood that fais permit does not include install the name of the heating contractor. PERAUT TO BE	lation of heating appore. is which is to be taken out separately by and in
Deus	ils of New Work
Is any plumbing involved in this work?	's any electrical work ir volved in this work?
was a second to public exper?	If not, what is proposed for sevenge.
Has septie tank notice been sent?	Form notice sent?
Height average grade to top of plate	Height average grade to highest point of roof
Size, front depth No. stories	solid or filled land?earth or rock?
Thi	ickness, ton bottom cellar
ne	Height Inckness
Pica per foot	Roof covering
	of lining Kind of heat tuer
Dressed or ful	ll size? Orner posts bins
Columns inder girden	Size. Max. on centers
Kind and thickness of outside sheathing of exterio	or walls?
Carida (outside walls and carrying partitions) 2x4-16	6" O. C. Bridging in every floor and flat root span over 8 feet.
and the Comme	2rd, 3rd, root
in the state of th	, 2nd, roof
Maximum span: 1st floor	o' walls? height?
If one story building with masoury walls, thickness	O Wallstander
	If a Garage
No cars now accommodated on same lot, to be	accommodatednumber commercial cars to be accomme
Will automobile repairing be done other than minor	r repairs to cars habitually stored in the proposed building?
Atm admir onne reherring an	Miscellaneous
PPROVED:	Will work require disturbing of any tree on a public street?
, p. mente e - t	Will work require disturbing or any tree on a public section and the share of the share works a parent competent to
	Will there be in charge of the above work a person competent to
	see that the State and City requirements pertaining thereto are
	observed? <u>yes</u> John Donnelly & Sons
***************************************	a offit pariticantly or pour

by:

Signature of owner _ DISPECTION COPY

Permit No. 65 Location 793 Cregers the Owner Owner Date of Fermit 9 657 Notif. closing-in Final Notif. Final Inspn.	,	
Cert. of Occurancy issued Staking Out Notice Form Check Notice		
NOTES TO SERVICE STATES AND SERV		



CITY OF PORTLAND, MAINE Department of Building Inspection

Certificate of Occupancy

LOCATION

#789 Congress St.

Issued to West Side Weighborhood Center

This is in the control of the building, premises, or part thereof, at the above location, built—altered -changed as to use under Building Permit No. 70/1090, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

APPROVED OCCUPANCY

First Floor

Limiting Conditions:

Reighborhood Center

This certificate supersedes certificate issued

Nelson F Cartur, it

Notice: This cortificate identifies lawful use of building or premises, and ought to be transferred from Notice: This cornings is a substituted of pulling or premises, and ong as to be transcribed from the property changes hands. Copy will be furnished to owner or lessee for one dollar.

789 Congress St.

July 2, 1970

Neal Chapman c/o Model Cities City Hall

Dear Mr. Chapman:

Upon checking the vacant store at 789 Congress Street, we note the following discrepancies:

- 1. Hardware on front door must be changed to vestibule lockset, i.e. one that can always be opened from inside.
- New rear door and vestibule latchest needed.
- No use cf basement for lack of ventilation and open
- Cellar stairs to be enclosed for one hour fire resistance.

The hot air floor ducts, although not desirable, are allowed for the limited number of persons to use the facility.

A permit will be required from this department to change the use of the building to a "Neighborhood Center/"

Very truly yours,

Nelson F. Cartwright Field Inspector Building & Inspection Services

NFC:m

B2 BUSINESS ZONE



APPLICATION FOR PERMIT

Portland, Maine, ...

Class of Building or Type of Structure Third Class

September 9, 1970

PERMIT IS \$EP 22 1970

SITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE The undersigned hereby applies for a permit to erect after repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and Location 789 Congress St. Owner's name and address ________ Haurice Drees, 599 Congress St. ______ Telephone ______ Within Fire Limits? _____ Dist. No.____

Lessee's name and address ____West_Side_Neighborhood_Center, 793_Congress St. ____ Telephone_____ Proposed use of building _______ Neighborhood Center ______ No. families ______ Material frame No. stories 1 Heat Style of roof Roofing No. families Extimated cost \$____

General Description of New Work

TO CHANGE USE OF FIRST FLOOR AREA FROM OFFICE TO NEIGHBORHOOD CENTER.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Neal Chapman, 793 Congress St. Is any plumbing involved in this work? ______Is any electrical work involved in this work? _______Is any electrical work involved in this work? ________Is any electrical work involved in this work? Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____ Has septic tank notice been sent? _____Form notice sent? ____ Material of foundation ______ Thickness, top _____ bottom ____ cellar _____ Kind of roof _____Rise per foot _____Roof covering _____ No. of chimneys ______ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____ Framing Lumber-Kind_______ Dressed or full size?_____ Corner posts ______ Sills ______ Size Girder _____ Columns under girders _____ Size _____ Max. on centers ______ Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. 1st floor....., 2nd...., 3rd, roof, On centers: 1st floor....., 2nd....., 3rd, roof Maximum span: 1st floor, 2nd....., 3rd, roof If one story building with masonry walls, thickness of walls?_____ height?_____height? No. cars now accommodated on same lot......, to be accommodated.....number commercial cars to be accommodated...... If a Garage Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? APPROVED: Miscellaneous Will work require disturbing of any tree on a public street? ____no Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? __yes West Side Neighborhood Center CS 30 1 West Side NEIGH GORLOW CINTER IN INSPECTION COPY Signature of owner by:

NOTES Staking Out Notice Cert. of Occupancy issued Final Notif. Inspn. closing-in Notif. closing-in

J. 18

CITY OF PORTLAND, MAINE **MEMORANDUM**

To: Lyle Noyes, Housing Inspector Supervisor, Health Dept.

DATE: 4-4-72

FROM: R. Lovell Brown, Director Building & Inspection Services

SUBJECT: In ref. to 797-789 Congress Street

Aysrecent inspection of the above premises indicates that this structure is in exteemely poor structural condition and I feel that it should be applied to a demolition list. It is my feeling that a demolition of this structure will probably have to be a so-called "hand-picked" demolition because of the nature of the nearby buildings and the better structures on the fown hill side. In reviewing this building the basic foundations in the basement are deteriorating building the basic foundations in the basement are deteriorating substantially landing to the structural decay of the building.

R. Lovell Brown, Directom

· RLB:m

Date 5-11-72	Address 5 Desizing Trees Installation For: Owner of Bidg: Trees Congress St.	ERMIT NUMB	ER 3 931
I-aved	Owner's Address: Utilities	Date.	FEE
Portland Plumbing Inspector By ERNOLD R. GOODWIN	Plumber: NEW REPL 5 TEMPLE St.	NO.	
App. First Insp.	LAVATORIES TOILETS BATH TUBS		
Date By	SHOWERS FLOOR S	SURFACE	2.00
App. Final Insp.	HOT WATER TANKS TANKLESS WATER HEATE GARBAGE DISPOSALS	RS	
and white or ming the	SEPTIC TANKS WOUSE SEWERS		
Commercial Residential	ROOF LEADERS AUTOMATIC WASHERS DISHWASHERS		
☐ Sir.gle ☐ Multi Family ☐ New Construction ☐ Remodeling	OTHER	TOTAL	2.00

Building and Inspection Services Dept.; Plumbing Inspection

PERMIT TO INSTA	LL PL	UMBI	NG			1.562	27
()te	Addr	ess	100 Canarana Separa]	PERMIT NU	MBER
rssued S/26/65 Portland Plumbing	Owne	rof	tion For: - Profiper To. Bldg. Address:			·	
Inspector By E. R. Goodwin	Plus	ker:	George Boyd	Date	No:	ic.e Fee	
App. First Insp. Date \(\sqrt{3000} \)			SINKS LAVATORIES TO'LETS BATH TUBS			ree	
By <u>ERNOLD R. GOCいW</u> App ^{CHI} THATP HISPECTO Date 0/26/64		7	SHOWERS DRAINS HOT WATER TANKS		1	90 /20	
By ERNOLD R. GOOF Type powers and days Commercial	Z03 MIM		TANKLESS WATER HEATERS GARBAGE GRINKERS SEPTIC TANKS HOUSE SEWERS				
Residential Single Multi Family New Construction			ROOF LEAKERS OTHER				
Remodeling		-		Тот	AL	\$2 . 00	

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

8/5.00 fee paid- 9-3-65 111 65/100 Demed 9/16/65

CITY OF PORTLAND, MAINE IN THE BOARD OF APPEALS

VARIANCE APPEAL

3-5 Jeering Ave. 789-798 Congress St. and under the provisions of Section 24 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals for a voriance from the provisions of said Ordi respectfully petitions the Board of Appeals for a vortance from the provisions of said ordinance to permit: erection of two poster panels 12 feet high by 25 feet long, one on the roof of each of the two one-story buildings located on the property. These permits are presently of each of the two one-story buildings located on the property is located in a 3-2 onto issuable under the Zoning Ordinance because: (1) The property is located in a 3-2 of the roof of the two one-story buildings located by Social 14 P. 2. (2) The roof of the social state of the social sta Business Zone where a billboard on a roof is forbidden by Section 16-8-2; (2) The roof of business zone where a biliboard on a roof is forbidden by section to-be, (2) the total the building fronting on Congress street is only about 12 feet above the grade, and the roof of that fronting on Deering Avenue is only about 14 feet above the grade, whereas Section 16-B-4 forbids the erection of a billboard on any roof that is less than 20 feet above the grade of the sidewalk in front of a building.

LEGAL BASIS OF APPEAL: Such variance may be granted only if the Board of Appeals finds that the strict application of the provisions of the Ordinance would result in undue hardship in the development of property which is incumsistent with the intent and purpose of the Ordinance; that there are exceptional or unique circumstances relating to the property that do not generally apply to other property in the same zone or neighborhood, which have not arisen as a result of action of the applicant subsequent to the adoption of this Ordinance whether in violation of the provisions of the Ordinance or not; that property in the same zone or neighborhood will not be adversely affected by the granting of the variance; and that the granting of the variance will not be contrary to the intent and purpose of the Ordinance.

maurice Ore

APPELLANT

DECISION

After public hearing held September 16, 1965 , the Board of Appeals finds that all of the above conditions do not exist with respect to this property and that a variance should not

It is, therefore, determined that a variance from the provisions of the Zoning Ordinance

should not be granted in this case.

BOARD OF APPEAL

259 Vaughan Street Portland, Maine. September 14, 1965.

Franklin G. Hinckley, Chairman Board of Appeals City Hall Portland, Maine.

Dear Sir: RE: Request of Maurice Dress to erect two poster panels in Bramhall Square section.

I cannot attend the hearing scheduled for Thursday, September 16, 1965 at 4:00 p. m. regarding the above subject, but through this letter I wish to state that I am opposed to any change in the Zoning Ordinance to permit these poster panels.

Bramhall Square will be upgraded by the new fire station and nothing should be done to detract from this area.

Very truly yours,

Mrs. Frances H. Loveitt

owner of property at 259 Vaughan Street.



Donnelly and Sons Sign Request September 15, 1965

Request; Approval for erection of two poster panels 12 feet by 25 feet on building roofs

Location: 787-789 Congress Street and 345 Deering Avenue

*Structure:

The structure is designed to meet the Building Code and is structurally sound. The roofs supporting the proposed sign are also structurally sound thereby precluding any structural hazard.

Traffici

1.13

The proposed location faces a complex and heavily traveled inter-The proposed location laces a complex venue, Congress Street and section. Cumberland Avenue, Decring Avenue, Congress Street and Bramhall Hill all interconnect in this area. Increased traffic on . . . Congress Street and from the Maine Medical Center necessitates driver concentration within this complex intersection. Further 17. distruction-created by the erection of a billboard could create ***** asserious traffic hazard. There have been 14 accidents at this intersection with the fince January 17/1965.

Land Use:

S 107 2 175

Su5 6

The West End neighborhood which borders on this area, is now being studied for possible upgrading. The Bramhall Fire Station may also provide an impetus for improving the area. A billboard in this location would not be beneficial to a neighborhood improvement and in fact may be detrimental to it.

Recommendation: .. The Donnelly and Son sign request be denied.

CITY OF PORTLAND, MAINE MEMORANDUM

To: W. Bruce Dalton, Planning Director

DATE: Sept. 7, 1965

FROM: Albert J. Sears, Building Imerection Director

Permits for poster panels on roofs of buildings at 3-5 Dearing Avenue and 787-789 Congress Street

Applications for permits have been filed by John Donnelly & Sons for erection of two poster panels 12 feet by 25 feet on roofs of the buildings at the above named locations, both buildings being on one piece of property.

A zoning appeal is necessary because the property is located in a B-2 Business Zone where a billboard on a roof is not allowable and because each of the roofs are less than 20 feet above the grade of the sidewalk in front of them. The appeal is scheduled for hearing on Thursday, Sept. 16th.

Because the signs are to be more than 8 feet in least dimension, the Technical Sign Review Committee will need to consider the situation and make a report to the City Council. I have discussed the matter with Mrs. Mealley and, while the City Council will not need to consider approval of the permit if the zoning appeal is denied, she suggests that the Sign Review Coumittee hold a meeting and prepare a report to the City Council before the scheduled hearing of the Appeal Board, so that that Board may have the benefit of the feelings of the Review Committee in arriving at a decision on the appeal.

Will you therefor call a meeting of the Sign Review Committee at your earliest convenience so that such a report can be made? I will have available for the meeting such information as has been furnished by the sign company.

Albert J. Sears Building Inspection Director

AJSım

cc to: Corporation Counsel

AF - 787-789 Congross Street and 3-5 Decring Avenue

September 1, 1965

Company R. Gris

John Donnelly & Cons 172 Main Street South Portland, Maine

cor Corporation Counsel

Mr. Haurine Irosp 599 Congress Street

Gentlement . . .

February Say Comp. P.G. Common Streets Combination (1995)

Building permits for erection of two poster panels 12 feet high by 25 feet tong, one on the roof of each of the two one-story buildings lossted on the property at the above mined location, are not issuable under the scring ordinance for the following reasons:

- 1. The property is lossted in a B-2 Business 7one where a billboard on a roof is forbidden by Section 16-B-2.
- 2. The roof of the building fronting on Congress Street is only about 12 feet above the grade, and the roof of that fronting on Beering Avenue is only about 14 feet above the grade, whereas Section 16-B-4 forbids the errection of a billboard on any roof that is less than 20 feet above the grade of the sidewalk in front of a building.

We understand that you would like to exercise your appeal rights in this matter. Accordingly an authorized representative should come to this office in Roca 110, City Hall, to file the appeal on forms that are available here.

Very truly yours,

AJS/h

Albert J. Seers Edrector of Building Inspection

September 13, 1965

Mr. Maurice Drees 599 Congress St.

Dear Mr. Dress:

cc: John Donnelly & Sons 172 Main Street So. Portland, Kaine

September 16, 1965

erigh North de le hair an anni

Drees

DATE: September 16, 1965

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF Maurice Dress
AT 787-793 Congress Street and 3-5 Deering Avenue
Public Hearing on the above appeal was held before the Board of Appeals.

BOARD OF	APPEALS		VOTE
Franklin Ralph L. Karry M.		() ()	NO (x) (x)

Record of Hearing

OPPOSED: Mrs. Mary E. Fiore, 562 Cumberland Avenue Hrs. Francis D. Kilton, 1 Russell Street

t.

CITY OF PORTLAND, MAINE IN THE BOARD OF APPEALS

September 3, 1965

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Haine, on Thursday, September 16, 1965, at 4:00 p.m to hear the appeal of Haurice Drees requesting an exception to the Zoning Ord'nance to permit erection of two poster panels 12 feet high by 25 feet long, one on the roof of each of the two one-story buildings located on the property at 787-798 Congress Street and 3-5 Deering Avenue.

These permits are presently not issuable under the Zoning Ordinance because: (1) The property is located in a B-2 Business Zone where a billboard on a roof is forbidden by Section 16-B-2; (2) The roof of the building fronting on Jengress Street is only about 12 feet above the grade, and the roof of that fronting on Deering Avenue is only about 14 feet above the grade, whereas Section 16-B-4 forbids the erection of a billboard on any roof that is less than 26 feet above the grade of the sidewalk in front of a building.

This appeal is taken under Section 24 of the Zoning Ordinance which provides such variance may be granted only if the Board of Appeals finds that the strict application of the provisions of the Ordinance would result in undue hardship in the development of property which is inconsistent with the intent and purpose of the Ordinance; that there are exceptional or unique circumstances relating to the property that do not generally apply to other property in the same zone or neighborhood, which have not arisen as a result of action of the applicant subsequent to the adoption of this Ordinance whether in violation of the provisions of the Ordinance or not; that property in the same zone or neighborhood will not be adversely affected by the granting of the variance; and that the granting of the variance will not be contrary to the intent and purpose of the Ordinance.

All persons interested either for or against this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the property in question as required by Ordinance.

BOARD OF APPEALS

Franklin G. Hinckley

Chairman

h

CITY OF PORTLAND, MAINE DEPARTMENT OF BUILDING INSPECTION

COMPLAINT

INSPECTION COPY

Date Received October 29, 1957

ation 197-789 Congress Street Use of Building tailor shop Telephone Teleph		Date Received October 29, 1957		0.9.9
ation 187.789 Congress Street Use of Building tailor shop Telephone 2 1785 Telephone 7 1785 Teleph	PLAINT 1.0. 57/120	Date Received		
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CS-66

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To the INSPEC	TOR OF BUILDINGS, LORTLAND, MI	Portland, Maine		TI ULI UNITAL
The unde	ersigned hereby aboling, lortland, MI	Ε.	,	19
walk or street in	accordance with the Building Code	to erect the following desc	ribed sion extending	
Location 789	rok OF BUILDINGS, LORTLAND, MI ersigned hereby applies for a permit accordance with the Building Code of Congress Street	of the City of Portland, as	nd the following speci	ver a public side-
Owner of building	no to militar	Within Fire	Limits? D	
Nama and the	ng to which sign is to be attached	Percival P. Banter		SL No.
The actual	33 UL OWNER of ciam Homball o.			1 1 1 1 1 1 1
Contractor's nam	ne and address <u>United Neon Disp</u> actor's bond expire? <u>January 195</u>	lar 71 F2		
When does contr	actor's bond expire? January 195	A 14 BIM St.	Teler	phone 2-0695
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EE ERECTED PROJECTING OVER A PUBLIC SIDEVALK FROM THE PROPOSED TO

AT 789 CONCRETE IN PORTLAND, MAINE

premises at 789 Contress Street in Portland, Maine hereby gives consent to the erection of a certain sign owned by Probables projecting over the public sidewalk from said premises as described in application to the Inspector of Buildings of Portland, Maine for a permit to cover erection of said sign;

In Witness whereof the owner of said premises has signed this consent

V Corre

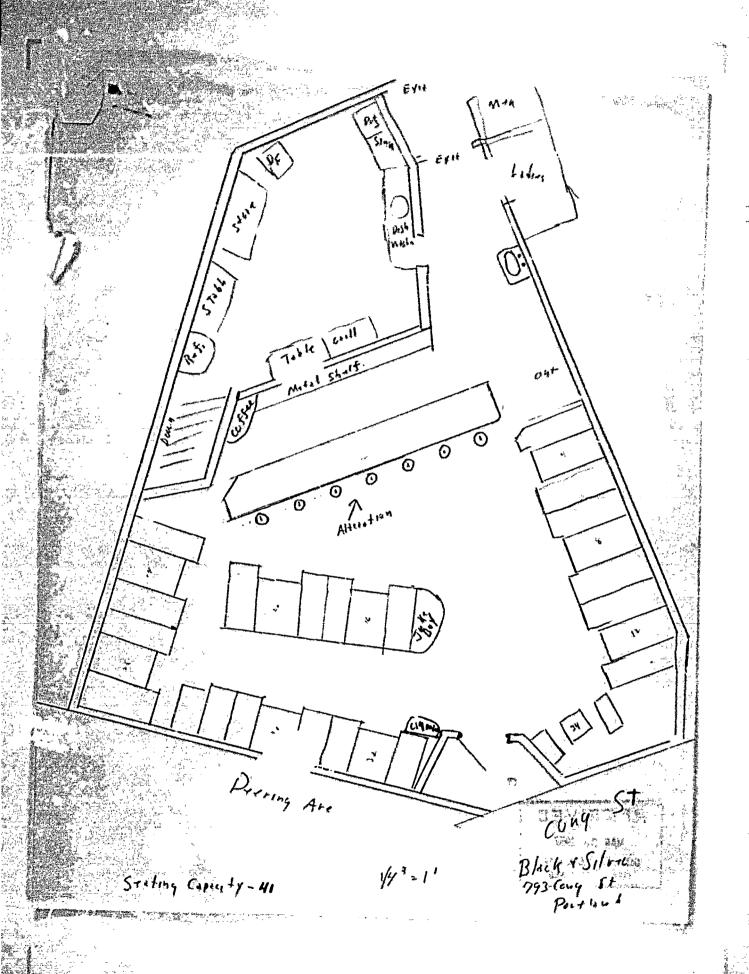
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JUL 17 1957

DEPT. OF BLC'G. IKSP.

CITY OF PERTLAND



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PERMIT TO INSTALL PLUMBING

Date ssued war 13 1000	Owner c	on Ferry Congress St. ! Ridg Dream Realty			
Portland Plumbing Inspector	£ 1977 3-27	8820	D	ate:	/mr
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Type of Bldg.		SEPTIC TANKS			
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☐ Resid attal		ROOF LEADERS			
☐ Single		AUTOMATIC '/ASHERS	<u> </u>		
Multi Family		DISHWASHERS			
New Construction	` 	OTHER			
Remodeling					
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	\ <u></u>		T	OTAL	i .

AP - 793 Congress Street

March 27, 1957

Mr. William Ingraham, 7 Church Street Westbrook, Maine Copy to: Hon. Percival P. Baxter 655 Congress Street

Cear hir. Ingraham:

Building permit for alterations in restaurant at the above location is issued herewith based on plan filed with application for permit but subject to the following conditions:

- 1. Care is to be taken to make sure that there is at least 30 inches clear passage may leading to rear exit between corner of bar and booth.
- 2. A new bulb is to be provided for light outside rear exit
- 3. Dead tolts in locks on rear exit door and door to vestibule of men's toilut through which one must pass to reach rear exit are to be removed or made inopyrative. Hook and eye fastening is to be removed from rear exit door.

Very truly yours,

AJ3/H

Albert J. Sears Deputy Inspector of Buildings

June 10, 1957

Location-793 Congress St.

Owner-William Ingraham

Job-Alterations

Mr. William Ingraham 7 Church St. mestbrook, Mo.

Copy to Hon. Percival P. Eaxter 655 Congress St.

Dear Er. Ingraham:

Upon inspection of the above job on June 6 our inspector finds that the rear exit door still has a dead bolt in the lockest. (See our letter to you of Earch 27, paragraph 3.) This dead bolt must be removed so that this lockest or a new one is a vestibule latchest. (See Section 212-e-2.5 of the Building Code). This section states that your rear exit door to comply must be equipped with such locks or latches, and only such, that all fastenings which would keep the door from opening will be instantly released, without special knowledge or ability, merely by turning the customary knob or by pressure on a plate or lever from the inside.

It is important that correction of this condition be made before June 21, and notification be given this office of readiness for another inspection.

If additional information relative to the above is desired, please phone Inspector Allan Soule at 4-1431, extension 234, any week day but Saturday between 8:00 and 8:30 A. H.

Very truly yours,

AAS/B

Alian Soule Field Inspector

789 Congress Street

Feb. 6, 1970

cc to: Maurice Drees 599 Congress Street

Marine Corp League c/o Arthur Matthews 43 Hodgins Street

Dear Mr. Matthews:

Permit to change the use of the first floor area from office to "Veterans Club" as per plan is being issued subject to compliance with the following Fire Department requirements:

1. The first partition leading to the rear exit shall have an opening of at least 3 feet wide. The second partition, just before you reach the exit door is to be removed entirely. A vestibule latchest is required on the rear exit door. A vestibule latchest is one that a door so equipped that all fastenings which would keep the door from opening will be released instantly, without special knowledge or ability, merely by turning the customary knob or by pressure on a plate or lever.

Very truly yours,

A. Allan Soule Assistant Director Building Inspection Dept.

AAS :m

CELLAR FLOOR B DRAIN HEATING UNIT (GAS) PROPOSED BAR Wild Strain 翢 23' CEILINGS 8'6" HOT AIR 囲

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APPLICATION FOR PERMIT

00368

Portland, Maine, Harch 25, 1957 To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE	
10 the INSPECTOR OF Decree	- WALL TO STATE
BUILDINGS, PORTLAND, MAINE	- ित्ति है विक्या
in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of Location (102). Comments of the State of Location (102). Comments of the State of Maine, the Building Code and Zoning Ordinance of Location (102).	wing building stoom or committee of the City of Portland, plans or
Owner's name and address Percival Pl Baxter, 655 Congress St. Lessee's name and address William Ingraham, 7 Church St., Westbrook	ves Dist. No.
Architect	Telephone UL 4-5412
Proposed use of building restaurant Last use Material wood	8 No. of sheets 2
Other buildings on same lotStyle of roof Estimated cost \$ 250.	Roofing
General Description	Fee \$ 2.00
To relocate door to the	
To cut in 8' x 3' wide window in wall between dining space and kitch Seating capacity 41 and three employees at one time.	
Permit Issued with L	والمرابعة
Is any plumbing involved in this work? Is connection to be made to public sewer? If not, what is proposed for sewag Height are sent? Details of New Work Is any electrical work involved in the sent of the s	
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INSPECTION COPY Signature

Signature of owner by:

NOTES Cert. of Occupancy issued Form Check Notice Staking Out Notice Notif. closing-in Date of permit State Bull State 5/4/57 - Dead hell much <u>เกรอ ล้า</u>รรับโดยสาราเอสร The first of the different of have on a common of the source property of ीन्द्रकारी रे**ल**कान्य Section 18 Material of forces our denough a de la constitue ும் வரு R 16. 1 2 Principalitată. the smooth distribution are a consequent of the contraction of the design of the desig n W .. 23. Sport relation of or APPROVED: ut dividence coming a street azeria. have to include and the are obsessioù : liesser are will the state and thing ... 8 9 C 300 Section 1 र्वतकर्ग हैं INSPECTION COPY



APPLICATION FOR PERMIT Third Class

PERMIT ISSUED 15 FEB 6 1970

ATICA	Portland, Maine,	February 2, 1970	CITY of PORTLA
To the INSPECTOR OF BUILDING	GS, PORTLAND, MAINE		
The undersigned hereby applies j in accordance with the Laws of the State specifications, if any, submitted herewith	for a permit to erect alte e of Maine, the Buildi	er repair demolish install the fo ng Code and Zoning Ordinan	ollowing building structure equipmen ce of the City of Portland, plans and
Incation 709 Congress it.		, ,	ite?
Owner's name and address Maurice Lessre's name and address Marine Contractor's name and address Architect	e Drees, 599 Con	igress St.	Tolunha-
Lessre's name and address Marine	Corp League, c/	o Arthur Matthews 43	Hedgins St. 772/256
Contractor's name and address	77:5 H		Tologham
Architect	Spec	ifications Plans	yes No of these 1
Proposed use of building	Veteran's	Club	No familia
Last use	Office		No families
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Is any plumbing involved in this work? Is connection to be made to public sewer that septic tank notice been sent? Height average grade to top of plate	Details of I	New Work Is any electrical work involved in not, what as proposed for Form notice sent? That average grade to highest solid or filled land? The proposed for Form notice sent? The proposed for sent. The proposed for se	ed in this work? sewage? point of roof earth or rock? cellar of heat Sills Max. on centers lat roof span over 8 feet. , roof , roof height? al cars to be accommodated e proposed building? neous no tree on a public street?
Is any plumbing involved in this work? Is connection to be made to public sewer that septic tank notice been sent? Height average grade to top of plate	Details of I	New Work Is any electrical work involved in not, what is proposed for form notice sent? Is at average grade to highest solid or filled land? Op bottom Roof covering Kind Corner posts Size Bridging in every floor and form	ed in this work? sewage? point of roof earth or rock? cellar of heat Sills Max. on centers lat roof span over 8 feet. roof neight? al cars to be accommodated e proposed building? neous ree on a public street? we work a person competent to
Is any plumbing involved in this work? Is connection to be made to public sewer that septic tank notice been sent? Height average grade to top of plate	Details of I	New Work Is any electrical work involved in not, what as proposed for form notice sent? Is the average grade to highest solid or filled land? Op bottom Roof covering Kind Corner posts Size Bridging in every floor and form of the sent of th	ed in this work? sewage? point of roof earth or rock? cellar of heat Sills Max. on centers lat roof span over 8 feet. roof neight? al cars to be accommodated e proposed building? neous ree on a public street? we work a person competent to
Is any plumbing involved in this work? Is connection to be made to public sewer that septic tank notice been sent? Height average grade to top of plate	Details of I	New Work Is any electrical work involved in not, what as proposed for form notice sent? Is the average grade to highest solid or filled land? Op bottom Roof covering Kind Corner posts Size Bridging in every floor and form of the sent of th	ed in this work? sewage? point of roof earth or rock? cellar of heat Sills Max. on centers lat roof span over 8 feet. , roof height? al cars to be accommodated as proposed building? neous no tree on a public street?
Is any plumbing involved in this work? Is connection to be made to public sewer that septic tank notice been sent? Height average grade to top of plate	Details of I	New Work Is any electrical work involved in not, what as proposed for form notice sent? Is the average grade to highest solid or filled land? Op bottom Roof covering Kind Corner posts Size Bridging in every floor and form of the sent of th	ed in this work? sewage? point of roof earth or rock? cellar of heat fuel Sills Max. on centers lat roof span over 8 feet. , roof , roof height? al cars to be accommodated e proposed building? reous ree on a public street? re work a person competent to rements pertaining thereto are
Is any plumbing involved in this work? Is connection to be made to public sewer that septic tank notice been sent? Height average grade to top of plate	Details of I	New Work Is any electrical work involved in not, what as proposed for Form notice sent? Is the average grade to highest solid or filled land? Op bottom Roof covering Kind Corner posts Size Size Aridging in every floor and for severy	ed in this work? sewage? point of roof earth or rock? cellar of heat fuel Sills Max. on centers lat roof span over 8 feet. , roof , roof height? al cars to be accommodated proposed building? reous ree on a public street? re work a person competent to rements pertaining thereto are

Plastic face contains 24 square feet. Each piece of plastic is marked plexiglas.

APPLICATION FOR PERMIT TO ERECT

SIGN-OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

	-,, robric, sir	FMA	.—(5)	-002-
To the INSPECTOR OF BUIL walk or street in accordance	- N. PUBLIC SIL	WALK OR	STOCK	FEB 27 1936
" INSPECTOR OF PLAN		· , •	STREET	
walk or an undersigned heart	DINGS, PORTLAND	Portland M.	1 1 1 H	JULY of puting at
in accordance with	applies for a permit	in in int	Feb. 24.	NII TOTAL NII
789 Congression	the Building Code of the	of the following,		19 56
Owner of built	of the	City of Portland	ribed sign extendi.	上 下 经公司 等的数数
Name of the which sign	is to 1	With	a the following st	g over a public side
walk or street in accordance with Location - 789 Congress St Owner of building to which sign Name and address of owner of si	be attached Perci	Tire .	Limits	culcations:
Owner of building to which sign Name and address of owner of si Contractor's name and address II When does contractor's b.	gn Bramhall s	Baxter_	100	Dist. No.
When I and address I	hited w	Congress St		
does contractor's bond	Display.	7/ Ri-		To the second
Contractor's name and address II When does contractor's bond expir	e? Dev. 31: 1054	TALL SE		
No. stories 3	Informati		Te Te	lephone 2-0695
No stories 3 Material of Material of Building owner's consent and	Information Conce	rning R.	1 1 1 1 1 1 1 1 1	
	wall to which sign is to	and the second		
building owner's consensation	Details of C	be attached	Wood	4 类性多类数键
Electrical and agreer	Details of Sign and	d Connections	1. N. T. V. X. V. X. X.	
Building owner's consent and agreer Electric:	application		CERTIFICATE OF	
145	dinension after erection	yes	THE REAL PARTY.	CUPANCE
Material of frame channels irro	lere be any hollow spaces?	4.13"	The Late of the Late of	B MAIVED
No channell in	on spaces	yes	Horizontal	61
No. rigid connections 2	No advertising fac	90 13	Any rigid frame?	
No through bolts 7 Size	Are they'r	ma ma	erial	
No. guys 2 material	astened	directly to frame of	plas	tle*
material	Lo	Ocario	sign? yes	
Clear boings	angle iron	cation, top or botto	m top	
Minimum clear height above sidewalk of Maximum projection into street 6160	or street 1112		The Assessment of the Party of	
fiction into street 616"			ze 11x1x1x1x3	16
INSPE	United Neon	The Mark to Kenney		
INSPECTION COPY Signature	of contractor by:	Prebrah	STANGED AVIOR	
		- may	Fee \$	2.00
			4	
•	1、15世、15、15、15、15年度		ッグ・バボ	
	- te e 2 4 4 1		一言使用的数	
			一里地上门中的	

Permit No. Location Owner Date of permit... Final Inspn. NOTES ģ 3 2 ž 五 ,ř 7 2 70 247 ٠ ير٠ 3. 3 ; • 'n,

WRITTEN CONSENT AND AGREEMENT RELATING TO A CARTAIN SIGN PROPOSED TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES AT 789 Congress Street IN FORTLAND, MAINE

premises at
consent to the erection of a certain sign owned by Bramhall Spa
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, haine for a permit
to cover erection of said sign;
And in consideration of the issuance of said permit P. BAXTER
, owner of said premises, in event said sign shall
cease to serve the prupose for which it was erected or shall become dangerous
and in event the owner of said sign shall fail to remove said sign or make
it permanently safe in case the sign still serves the purpose for which it
was erected, hereby agrees for himself or itself, for his heirs, its
successors, and his or its assigns, to completely remove said sign within
ten days of notice from said Inspector of Buildings that said sign is in
such condition and of order from him to remove it.
In Witness whereof the owner of said premises has signed this consent
and agreement this 24- day of 72hua. 1954
Pma
Witness Comer

RECEIVED

FEB 24 1956

CITY OF BED'S, HISP.



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APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Signature of contractor Bx:

19 Telephone

Portland, Maine, June 3 To the INSPECTOR OF BUILDINGS, PORTLAND, ME. The undersigned hereby applies for a permit to erect the following described sign extending over a public side-walk of street in accordance with the Building Code of the City of Portland, and the following specifications: Location 789 Congress Street Within Fire Limits? _____ Dist. No. Owner of building to which sign is to be attached Percival P. Baxter Name and address of owner of sign Bramhall Spa. 789 Congress St. Contractor's name and address United Neon Display, 74 Elm Street When does contractor's bond expire? January 1956 Information Concerning Building Material of wall to which sign is to be attached Details of Sign and Connections Building wer's consent and agreement filed with application Vertical dimension after erection Horizontal 4 lbs.. Will there be any hollow spaces? Any rigid frame?" Material of frame _ angle iron ... No. advertising faces No. rigid connections ____2 .. Are they fastened directly to frame of sign? No. through bolts none Location, top or bottom No. guys 2 angle iron material. Minimum clear height above sidewalk or street 101 Maximum projection into street 7,191LF 2,00

INSPECTION COPY

to the second se
The state of the s
Permit No 75
S COLUMN MACHINE TO THE STATE OF THE STATE O
Location 789 Congress St.
Owner Branch St.
- Cancerov A
Date of permit
() () () () ()
Sign Contractor 7/2: 1
Final Line Franklish
CAL TO THOU A
POOLE
6/37 43
Taring and the same of the sam
6/22/5- 10
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WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES AT 144 Consent Statement of the Premises of the Portland, Maine

There was the same with	_, being the owner of the
premises at 74 a commune of in Port	
consent to the erection of a certain sign owned	by
projecting over the public sidewalk from said pr	emises as described in
application to the Inspector of Buildings of Pow	tl.nd, Maine for a permit
to cover erection of said sign;	_
And in consideration of the issuance of sa	id permit
, owner of said premises,	
cease to serve the purpose for which it was erec	ted or shall become dangerou
and in event the owner of said sign shall fail to	remove said sign or make
it permanently safe in case the sign still serve	the purpose for which it
was erected, hereby agrees for himself or itself,	
successors, and his or its assigns, to completely	remove said sign within
ten days of notice from said Inspector of Buildin	gs that said sign is in
such condition and of order from him to remove it	•
In Witness whereof the owner of said premise	s has signed this consent
and agreement this day of	1955.
	1
Witness WA	mat Marty
	Owner

RECEIVED

JUN 3 1985

DEPT. OF BLD'G. INSP. CITY OF PORTLAND



FILL IN AND SIGN WITH THE

APPLICATION FOR PERMIT FOR HEATING. COOKING OR POWER EQUIPMENT

PERMIT ISSUED

O1301

AUG 27 1954

OTY of PORTLAN

Portland, Maine,August...18,...1954.......

10 me INSPECTOR OF BUILDINGS, PORTLAND, ME.	·
The undersigned hereby applies for a permit to install the following heat ance with the Laws of Maine, the Building Code of the City of Portland, and the	ing, cooking or power equipment in accord- e following specifications:
Location 7=9 Deering Ave. Use of Building dwelling	No. Stories Kex Building
Name and address of owner of appliance P. P. Baxter,	St. Existing "
Installer's name and address Portland Gas Light Co., 5 Cemple St.	Telephone 2-8321
General Description of Work	
To install 2-40-80 D. F. A. C. Niagara Winter Air condition	hers replacing 2 unit heaters,
IF HEATER, OR POWER BOILE	
Location of appliance	ce or beneath? wood
If so, how protected? Kind of the Minimum distance to harms the same of t	fuel?gas
Minimum distance to burnable material, from top of appliance or casing top of fu	irnace 31
From top of smoke pipe15." From front of appliance .over. 4! From front of appliance .over. 4! From front of appliance .over. 4!	om sides or back of appliance .over3!
Size of chimney flue	
Will sufficient fresh air be supplied to the appliance to insure proper and safe combi	aximum demand per hour
	ustion ryes
IF OIL BURNER	
Name and type of burner	by underwriters' laboratories?
Will operator be always in attendance? Does oil supply line feed from	m top or bottom of tank?
Type of floor beneath burner	
Location of oil storage	ity of tanks
ow water shut off	No
Will all tanks be more than five feet from any flame? How many tank Fotal capacity of any existing storage tanks for furnace burners	s enclosed?
total capacity of any existing storage tanks for furnace numbers	
IF COOKING APPLIANCE	Permit Issued with Letter
ocation of appliance Any burnable material in fl	loor surface or beneath?
f so, how protected?	of Legs, if any
Skirting at bottom of appliance?	rom top of appliance?
From front of appliance From sides and back	From top of smokepipe
Size of chimney flue	D
s hood to be provided?	Forced or gravity?
MISCELLANEOUS EQUIPMENT OR SPECIAL	
Gas-fired appliances are equipped with device which will	automaticallyshutoff
gas supply in case pilot flame is extinguished.	
BURNOR 12" FAMILEINA INCLUSIONELLI	
0211101101101101101101101101101101101101	275,
Oct Line thru FLOOR WITH I'CLEAR	Date
Mr. Morgan says appliance will set on 4" hollor tile (RMT	
Amount of fee enclosed?2.50	11.19 Ja Molly Signast U. U.C.
uilding at same time.)	all for each additional heater, etc., in same
which is the state of the first way and the state of the	
VED:	
	of the above work a person competent to
	City requirements pertaining thereto are
observed? .yes	
	Co.
observed? yes	Go.
Portland gas Light (Co.
	Co.

NOTES celebra air The same of the sa . · · ,w.c.: .. . _ سويا وترواع المراجع المراجع

August 27, 1954

AP 7-9 Deering Ave. -- Installation of two heating furnaces

Portland Gas Light Co., Att: Mr. Carl Horgan 5 Temple St.

Copy to: Hon. Percival P. Baxter 655 Congress St.

Gentlemen:

Building petrait for installation of two gas-fired heating furnaces is issued, herewith, subject to the following conditions which have been talked over and agreed to between your Mr. Morgan and Inspector Thurlow. If these conditions are not understood, or, if you find yourselves unable to comply with them, please contact is office with additional information before starting the installations.

Because the floor on which the furnaces are to be supported are of wood construction and because American Gas Association lists the furnaces as approved on non-burnable floors only, resort is to be made to the regulations of National Board of Fire Underwriters and a layer of load-bearing 4-inch hollow tile is to be placed on the floor. This layer to be covered with a sheet of not less than 24 U. S. gauge sheet metal and the legs of the furnace to be set upon the metal.

One of the important stipulations of this NEFU regulation is that the hollow tile .- laid with ends unsealed and joints matched in such a way as to provide a free circulation of air through the masonry insulation from side to mide.

These installations, however, are unusual in that this type of furnace is understood to have the warm air duct passing straight down from the bottom of the furnace and down through the floor, and there to branch out to supply heat for the space above the floor to be heated. Obviously the tile insulation cannot pass through the warm air duct. On the sides where there is the greatest width between the sides of the duct and the casing of the furnace the hollow tile is to be laid with voids continuous from outside edge to outside edge of the insulation. Between these two strips of tile the hollow tile is to be laid in such a way that the open emis of the hollow tile will be in contact with the warm air duct, thus to afford the best circulation of hot air striking downwards which seems possible.

Of course, the usual protection is to be supplied where the warm air duct passes through the floor and for the branch ducts and the warm air registers. The floor is to be properly framed out where the duct passes through.

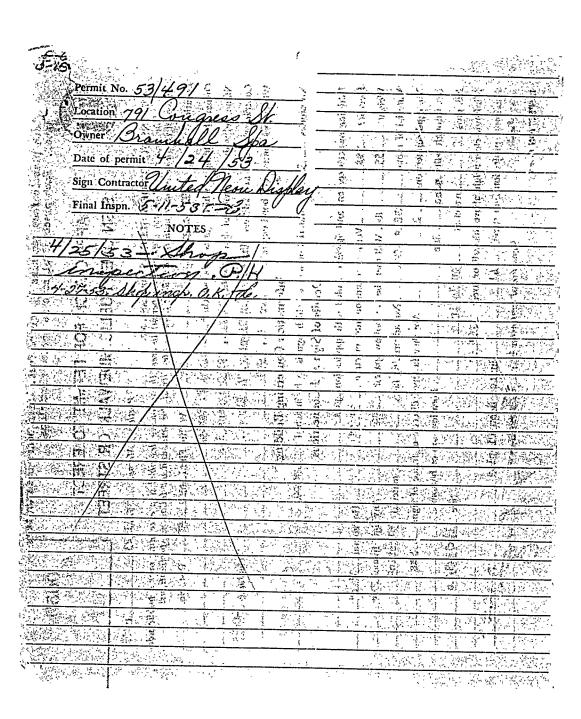
Very truly yours,

WMcD/B

Warren McDonald Inspector of Buildings Each plastic face contains 15 square feet. Mign bears Underwriters label. Each piece of plastic is marked Plexiglass ZONE APPLICATION FOR PERMIT TO ERECT

005 APR 24

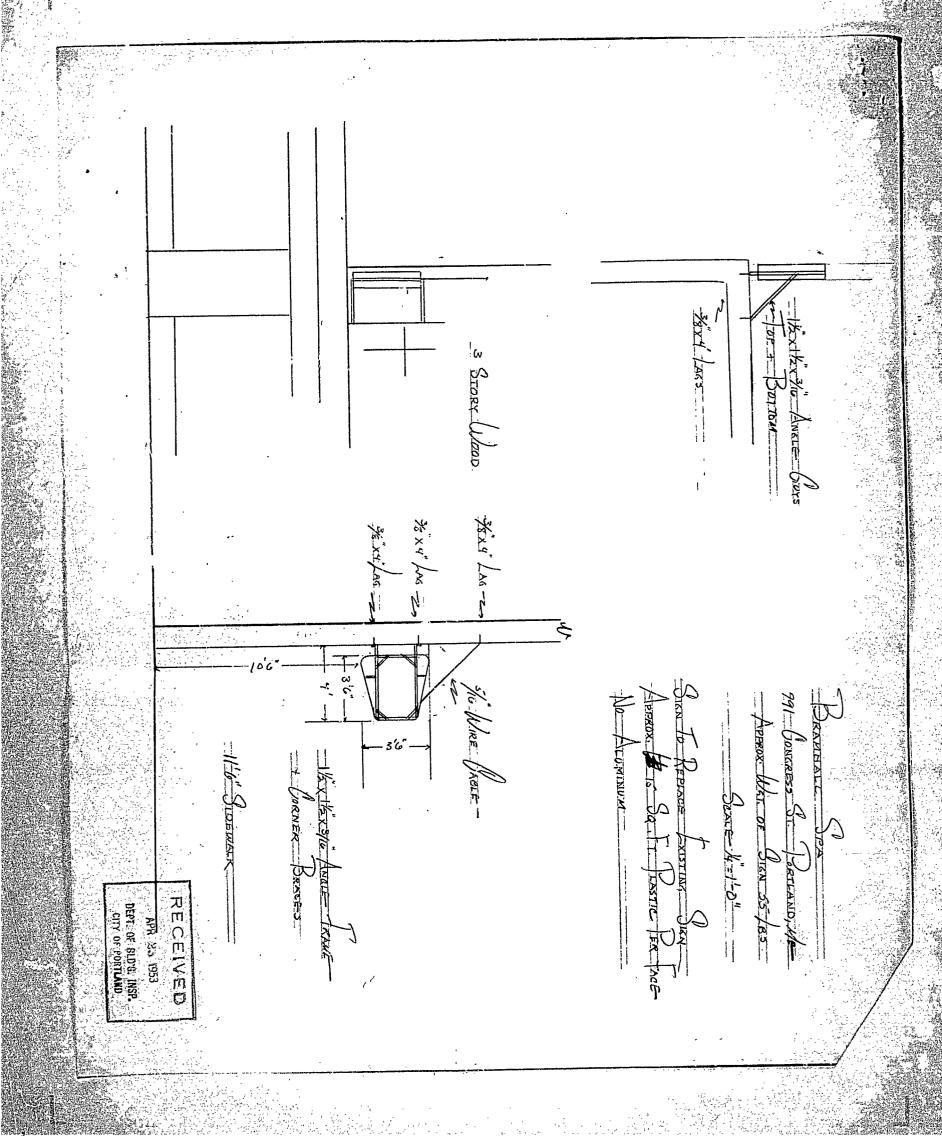
	SIGN OVER PUBL	IC SIDEWALK OF	R STREET 1	c of Portland is
		Portland,	Maine, April 23	19 53
To the INSPECTOR	OF BUILDINGS, PORTLAND, 1 ed hereby applies for a permit	ME. t to erect the following de	escribed sign extending	g over a public side
walk or street in acco	ed hereby applies for a permit rdance with the Building Code	e of the City of Portland,	and the following spe	cifications:
	79a CongressSt			_ Dist. No.
Owner of building to	which sign is to be attached	no 701 Congress St.	- • • • • • • • • • • • • • • • • • • •	
Name and address of	owner of sign Bramhall S	ienlev: 71 Elm St.	T	elephone 2-0695
	r's bond expire? Dec		v	
國語经統領 取造 一門 一時代		- C Daildie	ng	nontra MCV
No. stories3_	Material of wall to which	sign is to be attached		ECA CCCOLYUNA
	Details o	f Sign and Connection	1S RELATIVE	HETCHARD
Building owner's cor	nsent and agreement filed with	h applicationxes		
	Vertical dimension af			
Weight55	lbs, Will there be any ho	ollow spaces? <u>Yes</u>	Any rigid fr	ime? V68
Material of frame	angle iron No. a	dvertising faces2	material D ast	oles
No. rigid connection	s Are	they fastened directly to	frame of sign	
No. through bolts .n	one , Size angle iron	Location, top		w3/16
			Size	nstif with
Minimum clear heigi	nt above sidewalk or street	United Neon Dis	play	Fee \$ 2.00
23-53	Signature of contra	ctor by: Think	u) Kami	
INSPECTION COPY			0	3
				1. 1 · 1. 1 · 1 · 1 · 1 · 1 · 1 · 1 · 1



WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES AT 791 Congress St. IN PONTLAND, MAINE
Percival P. Baxter , being the owner of the
premises at791 Congress St. in Portland, Maine hereby gives
consent to the erection of a cortain sign owned by Pramhall Spa
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;
And in consideration of the issuance of said permit
Percival P. Baxter, owner of said premises, in event said sign shall
cease to serve the purpose for which it was erected or shall become dangerous
and in event the owner of said sign shall fail to remove said sign or make
it permanently safe in case the sign still serves the purpose for which it
was erected, hereby agrees for himself or itself, for his heirs, its
successors, and his or its assigns, to completely remove said sign within
ten days of notice from said Inspector of Buildings that said sign is in
such condition and of order from him to remove it.
In Witness whereof the owner of said premises, has signed this consent
and agreement this 22nd day of April 1953.
Joseph Some Grant Owner

RECEIVED

APR 23 1953 DEPT. OF BLD'G. INSP. CITY OF PORTLAND





APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

ally of Purishme

	24	- 0111111111111111111111111111111111111
	Portland, Maine, December 8, 1952	W 1 - W 1 -
To the INSPECTOR OF BUILDINGS,	PORTLAND, MAINE	
The undersigned hereby applies for	or a permit to install the following heating, cooking or Tode of the City of Portland, and the following specific	anons:
gen Command Street	tree of Duitting Stores & apts. No Sto	ories 3 New Building
Name and address of owner of appliance	Percival P. Baxter, 562 Congress St. Cunningham Co., 363 Cumberland Ave. Tele	D11012
Installer's name and address E. N.	Cunningham Co., 363 Cumberland Ave. Tele	phone
Land of the state	General Description of Work	
To install steam boiler (replace	ment)	
***************************************	IF HEATER, OR POWER BOILER	,
hasement	Any burnable material in floor surface or beneath	no
Location of appliance	Kind of fuel?O	<u>i1</u>
It so, now protecteur	, from top of appliance or casing top of furnace	22"
Minimum distance to but habit material	n front of appliance Over 41 From sides or back o	of appliance - Over - 31
From top of smoke pipe	her connections to same fluegas-fired water	heater
Size of chimney flue TOXIO	Rated maximum demand	per hour
If gas fired, how vented?	the appliance to insure proper and safe combustion?	Yes
Will sufficient fresh air be supplied to	•	
	IF OIL BURNER	
Name and type of burner	Labelled by underwriter's	s laboratories?
13711 The star be always in attendance?	Does oil supply line feed from top or botto	om of tank?
Type of floor beneath burner		
Location of oil storage	Number and capacity of tanks	***************************************
If two 275-gallon tanks, will three-way	valve be provided?	
Will all tanks be more than five feet fr	rom any flame? How many tanks fire proof	ied?
Total capacity of any existing storage	tanks for furnace burners	
	IF COOKING APPLIANCE	
Location of appliance	Any burnable material in floor surface of	or beneath?
If so how protected?	Kind of fuel?	
assistance to wood or combusti	ible material from top of appliance	***************************************
To indicate and	From sides and back From top o	f smokepipe
	the managerions to come flue	
in the state of the state of the second and the state of	If so, how vented? Forced C	n gravity,
If gas fired, how vented?	Rated maximum deman	d per hour-
RATECULE AND	OUS EQUIPMENT OR SPECIAL INFORMA	TION
MISCELLATION	00,, 202	
A CONTRACTOR OF THE PROPERTY O	-	***************************************
The Court of the C		
12.20		
The state of the s		
	,	***************************************
2 - A		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
4 of for anglored? 2.00 (S	2.00 for one heater, etc., 50 cents additional for each a	dditional heater, etc., in same
building at same time.)		y es we
କୁନ୍ଦିର୍କ ଅନ୍ତେଖି ଖିଟ୍ରିଟ ଖିଟ୍ରିଟ । ବ୍ୟୁନ୍ଦିର୍କ ଅନ୍ତେଖି ଖିଟ୍ରିଟ । କୁନ୍ଦିର ଅନ୍ତେଖି		· · · · · · · · · · · · · · · · · · ·
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	see that the State and City requir	ements pertaining thereto are
	observed? yes	nningham Co.
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Side	ature of Installer By:	المناسلات المناسلات
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1.36 "B", b " o ASTOR OF A TOTAL CONTROL 0,171 1, 1, 1 3 A STATE OF THE 1 11 1 Date of permit Section of The state and the Approved 17. 22. . د پ 97 1 1 1 ٠. 3 ŗ, NOTES PRACTICE FOR MOTTED 1998 The strict of the strict = 1 STANIO S 37. jÇ; Mar the state British Warner 101 : 10 6 1 10 12 5 + 5, 15 LL 174 × 13 (1) C. (2) \$1.0000 1. 1. 1. 1. 1. . 7 ()) (H •: 1 14 ju :Mi ÷. Pregram counts do 弘 大田 古見 明年 代 3 17.0 1 4 4 4 5 1 £17.7.18 * :: 清からかれ 37.16. ÷ ٠. 11 11 6 3 71 1 . The state of the s , MG 2017 1134570 ÷ 1. With Property of ž., ~ Profes 136 74 1411 771 101 101 11 7.0 % 20.00 100 1.5.4.3.4 , 12 y 31.4 37-17-4 Bits Secretarial 173.1 -; (4 -

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		TO ERFCT	Permit No.	DOTE ARTON
SUPER TO A	TION FOR PERMIT	I IO LICE	CITY of PO	KILAND
APPLICA	TION TO SIDE WA	IK OR STREE	. 1	
意 自 建制 GIGNIOVER	TION FOR PERMINER PUBLIC SIDEWAL	May 2	2	_19 50
SIGNOVE	P	ortland, Maine, May		ublic side
	ICS PORTLAND, ME	lowing described sign ex	tending over a r	s:
INSPECTOR OF BUILDIN	lies for a permit to erect the for	Portland, and the journ	man Dist	No.
The undersigned hereby the	he Building Code of the	Within Fire Limits?.	yesDist	
To the INSPECTOR OF BUILDING The undersigned hereby approvals or street in accordance with the Location 789 Congress Street Owner of building to which sign is	et	Baxter		* * *
Location 789. Congress	to be attached Percival F.	street	٠	
which sign is	0 789 Cone	ress July	Telephone	2-0695
Owner of building to which sign is Name and address of owner of sig Contractor's name and address	n _ Display, 74 F	Ilm Street	•	3313
Name and address	United New 1950	5-/32-1	2:10:15 FG	STIPANCY
Contractor's name and expi	rei Dec. 31, 1770	ing Building	REQUINEMENT	IS WAIVED
Contractor's name and address When does contractor's bond expi	Information Concerni	wood		
	of to De	attached		
			izontai12"	- 10 A A
	stor erection -			yes
VCS	Vertical dimension after electronics, Will there be any hollow spaces iron	?yesAr	Tre Learn Digit 1:	
Electric?lbs	Will there be any honow speeds	aces 2, materi	al_porcuire	
Weight 75	28 angle No. advertising I	accounts to frame of sig	n?yes	12.1
Material of frame Cakunda	Vertical dimension after the vertical dimension after the spaces of the vertical dimension and vertising for the vertical dimension after the vertical dimension	d directly to the bottom-		200 (20)
Me rigid connections		Location,	ze <u>5/16</u> 1½x	13x3/16
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Maximum projection into stre	Un		1-01	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
	by:	4	7	
	Signature of contractor by:		, , , , , , , , , , , , , , , , , , , ,	
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Permit No.	50/67.3			Constitution of the second	
1 Location	100 0	near Il	75		
√ Owner €	3 auli	Page XIV.			
Date of perm	11 5 /5/6	3/1/20	数整法门		
Sign Contract	or E	3/2/0		孙学家 为	
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		建筑的基本设置	Walking Street		
				THE PROPERTY OF THE PARTY OF TH	MATERIA.

AP 789 Congress Street-I

Nay 10, 1950

United Meon Display
74 Elm Street
Bramhall Spa
789 Congress Street

Gentlemen:

There will be considerable delay in handling the application for a permit to cover erection of a projecting sign at 789 Congress Street because the frame of the sign is indicated as structural aluminum angles for which the Fulldim Code has no rules for design at present.

There is no intent to discourage the use of structural aluminum, but it is sufficiently new so that practices for its design have not been clearly set out in the Building Code.

We will do the best we can to get standards established so that we can handle this and similar applications.

I note from the application that the guys are evidently rolled steel, angles. Such steel work wherever it comes in contact with aluminum will have to be protected and at corresion setting up chemically between the two metals, and that will be true of course of bolts or scraws. At no point should in the steel be in contact with aluminum without suitable and reasonably presument protection by way of coatings or the like.

Very truly yours,

Warren McDonald Inspector of Buildings

WHeD/G