

It has come to the attention of this dept that some very dilapidated conditions exist at the property located 787 Congress St.

The street entrance was found to be in a poor condition. Gutters on the west side are rotted and have come loose & are hanging dangerously. Clapboards in some areas are loose. The corner on the congress St entrance is rotten and its support in question. The landing floor entering the building is in need of repair.

Now that these conditions ^{have} been brought to your attention it is advised that a complete inspection be made by a competent authority ~~of~~ throughout the building inside and out ~~that~~ ^{immediately} any further action by this dept will not be necessary. Further inspection will be made ~~in~~ within 30 days from the date of this letter.



CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION
COMPLAINT

Location:
791 Congress St.

INSPECTION COPY

COMPLAINT NO. 71/52

Date Received August 18, 1971

Location 791 Congress Street Use of Building _____

Owner's name and address Maurice Drees, 599 Congress St. Telephone _____

Tenant's name and address _____ Telephone _____

Complainant's name and address Rush, 791 Congress St. Telephone _____

Description: Awing over public sidewalk dangerous.

NOTES: Says awning all rusted out and hanging over sidewalk.

SENT LETTER AUG 18, 71 R.L.B.

~~8/15/71 No change in the condition of the awning but it does not appear to be any immediate danger to any one; it should be given immediate attention.~~

~~8/15/71 No change in the condition of the awning but it does not appear to be any immediate danger to any one; it should be given immediate attention.~~ 7/6
The above is correct of the report. 7/6

11/3/71 Awning removed. 7/6

1/10/72 Letter about brackets. PC

1-13-72 Reinspected & found one of the iron brackets hanging over the sidewalk. Will send a letter 1/16/72 letter sent Jan 10, 72. Will inspect Jan 20th, to see if it's secured.

791 Congress Street

August 18, 1971

Maurice Drees
599 Congress Street

Dear Mr. Drees:

It has come to the attention of this department that an awning at the above address is in bad condition and is in need of replacement or repair. Inasmuch as this is hanging over the sidewalk it can affect the well being of passersby.

Please be advised by this letter that it should be taken care of immediately and no later than August 25, 1971.

Very truly yours,

R. Lovell Brown
Director

RLB:m

Re: 791 Congress St.

January 10, 1972

Mr. Maurice Drees,
599 Congress Street

Dear Mr. Drees:

We checked out the dangerous awning on the building at 791 Congress Street, owned by you, and found that it has been removed but the iron brackets are still there and hanging over the public sidewalk. These should be removed at once.

We will make further inspection of this dangerous condition on or before January 20, 1972.

Very truly yours,

R. Lovell Brown
Director

March 1, 1966

Mr. Morris Drees,
Snyder's Men's Store
599 Congress Street

Dear Mr. Drees:

On a recent sanitation inspection of the Bramhall Spa, 791 Congress Street it was reported that there is an illegal ballcock installed in the toilet tank. Your tenant at this establishment informed us that you are responsible for this required replacement.

You are hereby directed to have this ballcock replaced with an anti-siphon ballcock. We will make another inspection of this property on Monday, March 7, 1966 before action is taken by this department.

Very truly yours,

Errols Goodwin
Plumbing Inspector

EG/h

A.P.-787-789 Congress St., and 3-5 Deering Ave.

Sept. 20, 1965

John Donnelly & Sons
172 Main Street
South Portland, Maine

Gentlemen:

Your appeal under the Zoning Ordinance involving the erection of poster panels on the roofs of the two buildings at the above named locations has been denied. We are therefore unable to issue permits for erection of such structures.

Under these circumstances, if you will return to this office within ten days the receipts for fees paid at time of filing applications for permits, we will be able to authorize return to you by voucher of the amounts paid.

Very truly yours,

Albert J. Jara
Building Inspection Director

AJS:u

Technical Sign Review Committee Report

**Donnelly and Sons Sign Request
September 15, 1965**

Request: Approval for erection of two poster panels 12 feet by 25 feet on building roofs

Location: 787-789 Congress Street and 3rd Deering Avenue

Structure:

The structure is designed to meet the Building Code and is structurally sound. The roofs supporting the proposed sign are also structurally sound thereby precluding any structural hazard.

Traffic:

The proposed location faces a complex and heavily traveled intersection. Cumberland Avenue, Deering Avenue, Congress Street and Bramhall Hill all interconnect in this area. Increased traffic on Congress Street and from the Maine Medical Center necessitates driver concentration within this complex intersection. Further distraction created by the erection of a billboard could create a serious traffic hazard. There have been 14 accidents at this intersection since January 1, 1965.

Land Use:

The West End neighborhood which borders on this area, is now being studied for possible upgrading. The Bramhall Fire Station may also provide an impetus for improving the area. A billboard in this location would not be beneficial to a neighborhood improvement and in fact may be detrimental to it.

Recommendation: The Donnelly and Son sign request be denied.

Technical Sign Review Committee Report

Donnelly and Sons Sign Request
September 15, 1965

Request: Approval for erection of two poster panels 12 feet by 25 feet on building roofs

Location: 787-789 Congress Street and 3-5 Deering Avenue

Structure:

The structure is designed to meet the Building Code and is structurally sound. The roofs supporting the proposed sign are also structurally sound thereby precluding any structural hazard.

Traffic:

The proposed location faces a complex and heavily traveled intersection. Cumberland Avenue, Deering Avenue, Congress Street and Bramhall Hill all interconnect in this area. Increased traffic on Congress Street and from the Maine Medical Center necessitates driver concentration within this complex intersection. Further distraction created by the erection of a billboard could create a serious traffic hazard. There have been 14 accidents at this intersection since January 1, 1965.

Land Use:

The West End neighborhood which borders on this area, is now being studied for possible upgrading. The Bramhall Fire Station may also provide an impetus for improving the area. A billboard in this location would not be beneficial to a neighborhood improvement and in fact may be detrimental to it.

Recommendation: The Donnelly and Sons sign request be denied.

Sign Review Committee

September 13, 1965

Wm. Bruce Dalton, Planning Director

TECHNICAL REVIEW OF DONNELLY & SONS SIGN REQUEST

Applications for permits have been filed by John Donnelly and Sons for erection of two poster panels 12 feet by 20 feet on building roofs located at 3-5 Deering Avenue and 787-789 Congress Street.

The Sign Review Committee will review these requests on Wednesday September 15 at 9:00 A.M. in the Building Inspectors Office. Please notify me if the time and date is not acceptable.

Details of the request may be obtained from Albert Sears and it is suggested that each of us be sufficiently informed on this matter that we may prepare our recommendations at this meeting.

Wm. Bruce Dalton

Wm. Bruce Dalton
Planning Director

cc: Thomas Griffin, Public Works ✓
Albert Sears, Building Inspector

RECEIVED

SEP 13 1965

DEPT. OF BLDG. INSP.
CITY OF PORTLAND

AP - 787-709 Congress Street
and 3-5 Deering Avenue

September 1, 1965

John Dornally & Sons
272 Main Street,
South Portland, Maine

cc: Corporation Council

Mr. Maurice Lrees
599 Congress Street

Gentlemen:

Building permits for erection of two poster panels 12 feet high by 25 feet long, one on the roof of each of the two one-story buildings located on the property at the above named location, are not issuable under the Zoning Ordinance for the following reasons:

1. The property is located in a B-2 Business Zone where a billboard on a roof is forbidden by Section 16-3-2.
2. The roof of the building fronting on Congress Street is only about 12 feet above the grade, and the roof of that fronting on Deering Avenue is only about 14 feet above the grade, whereas Section 16-3-4 forbids the erection of a billboard on any roof that is less than 20 feet above the grade of the sidewalk in front of a building.

We understand that you would like to exercise your appeal rights in this matter. Accordingly an authorized representative should come to this office in Room 110, City Hall, to file the appeal on forms that are available here.

Very truly yours,

AJS/h

Albert J. Sears
Director of Building Inspection



B2 BUSINESS ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure

Sign

Portland, Maine

August 31, 1965

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 793 Congress St. (787-89) Within Fire Limits? _____ Dist. No. _____
Owner's name and address Dress Realty, 593 Congress St. (Snyder's Men's Store) Telephone _____
Lessee's name and address John Donnelly & Sons, 172 Main St. So. Portland Tel. phone 773-4768
Contractor's name and address " " " " " Telephone _____
Architect _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building _____ No. families _____
Last use _____ No. families _____
Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ 2.00

General Description of New Work

fee paid 8/13/65

To erect 25' x 12' all metal roof sign as per plan (steady lighting)

Approval denied 7/16/65

Reopened 10-27-65

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Kind and thickness of outside sheathing, of exterior walls? _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? _____ no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

John Donnelly & Sons

by:

Signature of owner

John Donnelly

INSPECTION COPY

Permit No. 651

Location

793 Eng. on the

Owner

James J. O'Connell & Son

Date of Permit

9/1/51

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notice

Form Check Notice

SECTION

(COPY)



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION

#789 Congress St.

Date of Issue September 22, 1970

Issued to

West Side Neighborhood Center
793 Congress St.

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 70/1090, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

First Floor

APPROVED OCCUPANCY

Neighborhood Center

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Nelson F. Carter
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

789 Congress St.

July 2, 1970

Neal Chapman
c/o Model Cities
City Hall

Dear Mr. Chapman:

Upon checking the vacant store at 789 Congress Street,
we note the following discrepancies:

1. Hardware on front door must be changed to vestibule lockset, i.e. one that can always be opened from inside.
2. New rear door and vestibule latchset needed.
3. No use of basement for lack of ventilation and open furnace room.
4. Cellar stairs to be enclosed for one hour fire resistance.

The hot air floor ducts, although not desirable, are allowed for the limited number of persons to use the facility.

A permit will be required from this department to change the use of the building to a "Neighborhood Center."

Very truly yours,

Nelson F. Cartwright
Field Inspector
Building & Inspection Services

NFC:m



B2 BUSINESS ZONE

APPLICATION FOR PERMIT

Class of Building or Type of Structure

Third Class

Portland, Maine,

September 9, 1970

PERMIT ISSUED

SEP 22 1970

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 789 Congress St. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Maurice Drees, 599 Congress St. Telephone _____
Lessee's name and address West Side Neighborhood Center, 793 Congress St. Telephone _____
Contractor's name and address _____ Telephone _____
Architect, _____ Specifications _____ Plans no No. of sheets _____
Proposed use of building Neighborhood Center No. families _____
Last use Store No. families _____
Material frame No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ _____

General Description of New Work

TO CHANGE USE OF FIRST FLOOR AREA FROM OFFICE TO NEIGHBORHOOD CENTER.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO Neal Chapman, 793 Congress St.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

West Side Neighborhood Center

West Side Neighborhood Center, Inc.

Signature of owner by: Neal Chapman

APPROVED:

INSPECTION COPY

CS 301

NOTES

9-21-70

Completed

Permit No. 701 1090
Location 289 Grogan St.
Owner West & McMichael Co.
Date of permit 9/21/70
Notif. closing-in 9/21/70
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued 9/21/70
Sinking Out Notice 9/21/70
Form Check Notice _____

X

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Lyle Moyes, Housing Inspector Supervisor, Health Dept.
FROM: R. Lovell Brown, Director Building & Inspection Services
SUBJECT: In ref. to 797-789 Congress Street

DATE: 4-4-72

My recent inspection of the above premises indicates that this structure is in extremely poor structural condition and I feel that it should be applied to a demolition list. It is my feeling that a demolition of this structure will probably have to be a so-called "hand-picked" demolition because of the nature of the nearby buildings and the better structures on the town hill side. In reviewing this building the basic foundations in the basement are deteriorating substantially leading to the structural decay of the building.

RLB:m

R. Lovell Brown, Director

Date Issued **5-11-72**
Portland Plumbing Inspector
By **ERNOLD R. GOODWIN**
App. First Insp.

Date
By

App. Final Insp.

Date

By

- Don't mind it.*
- ☐ Commercial
 - ☐ Residential
 - ☐ Single
 - ☐ Multi Family
 - ☐ New Construction
 - ☐ Remodeling

PERMIT TO INSTALL PLUMBING

Address **5 Deering Ave.**

PERMIT NUMBER **392**

Installation For:

Owner of Bldg.: **M. Dress**

Owner's Address: **599 Congress St.**

Plumber: **Northern Utilities**

Date: **5-11-72**

5 Temple St.

NEW	REPL		NO.	FEE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS FLOOR SURFACE		2.00
1		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE DISPOSALS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS		
		AUTOMATIC WASHERS		
		DISHWASHERS		
		OTHER		
TOTAL			1	2.00

Building and Inspection Services Dept.: Plumbing Inspection

15627

Address you Complain to:

PERMIT NUMBER

Installation For:

Owner of Bldg.

Owner's Address:

Plumber: George Boyd

Date: 1/24/2000

App. First Insp.

New Rep II

No.	Ref
-----	-----

Date 8/30/68

STINKS

LAVATORIES

TO' LETS

By ERNOLD R. GOLUBWITZ

BATH TUBS

CHIEF PLUMBER & INSPECTOR

SHOWERS

1999: 110-111, 113-114.

DRATNS

Date 0/20/64

3

HOT WATER TANKS

17

521

By ERNOLD R. GOO

WIRE

TANKLESS WATER HEATERS

GARBAGE GRINKERS

SEPTIC TANKS

HOUSE SEWERS

ROOF LEAKERS

OTHER

Type of Bldg. _____

☐ Commercial

☐ Residential

☐ Single

New Construction

☐ Remodeling

TOTAL	\$2.00
-------	--------

PORTLAND HEALTH DEPT. PLUMBING INSPECTION

\$15.00 fee paid - 9-3-65
65/100 Deneid
9/16/65

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

VARIANCE APPEAL

Maurice Drees, owner of property at 789 3-5 Deering Ave.
787-774 Congress St. and
under the provisions of Section 24 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals for a variance from the provisions of said Ordinance to permit: erection of two poster panels 12 feet high by 25 feet long, one on the roof of each of the two one-story buildings located on the property. These permits are presently not issuable under the Zoning Ordinance because: (1) The property is located in a B-2 Business Zone where a billboard on a roof is forbidden by Section 16-B-2; (2) The roof of the building fronting on Congress Street is only about 12 feet above the grade, and the roof of that fronting on Deering Avenue is only about 14 feet above the grade, whereas Section 16-B-4 forbids the erection of a billboard on any roof that is less than 20 feet above the grade of the sidewalk in front of a building.

LEGAL BASIS OF APPEAL: Such variance may be granted only if the Board of Appeals finds that the strict application of the provisions of the Ordinance would result in undue hardship in the development of property which is inconsistent with the intent and purpose of the Ordinance; that there are exceptional or unique circumstances relating to the property that do not generally apply to other property in the same zone or neighborhood, which have not arisen as a result of action of the applicant subsequent to the adoption of this Ordinance whether in violation of the provisions of the Ordinance or not; that property in the same zone or neighborhood will not be adversely affected by the granting of the variance; and that the granting of the variance will not be contrary to the intent and purpose of the Ordinance.

Maurice Drees

APPELLANT

DECISION

After public hearing held September 16, 1965, the Board of Appeals finds that all of the above conditions do not exist with respect to this property and that a variance should not be granted in this case.

It is, therefore, determined that a variance from the provisions of the Zoning Ordinance should not be granted in this case.

William G. Hill
Harold W. Smith
Edith B. Smith
BOARD OF APPEALS

259 Vaughan Street
Portland, Maine.
September 14, 1965.

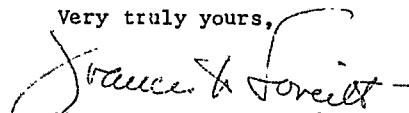
Franklin G. Hinckley, Chairman
Board of Appeals
City Hall
Portland, Maine.

Dear Sir: RE: Request of Maurice Dress to erect two poster
panels in Bramhall Square section.

I cannot attend the hearing scheduled for Thursday, September 16, 1965
at 4:00 p. m. regarding the above subject, but through this letter I
wish to state that I am opposed to any change in the Zoning Ordinance
to permit these poster panels.

Bramhall Square will be upgraded by the new fire station and nothing
should be done to detract from this area.

Very truly yours,



Mrs. Frances H. Loveitt
owner of property at 259 Vaughan Street.

Technical Sign Review Committee Report

Donnelly and Sons Sign Request
September 15, 1965

Request: Approval for erection of two poster panels 12 feet by 25 feet on building roofs

Location: 787-789 Congress Street and 345 Deering Avenue

Structure:

The structure is designed to meet the Building Code and is structurally sound. The roofs supporting the proposed sign are also structurally sound thereby precluding any structural hazard.

Traffic:

The proposed location faces a complex and heavily traveled intersection. Cumberland Avenue, Deering Avenue, Congress Street and Bramhall Hill all interconnect in this area. Increased traffic on Congress Street and from the Maine Medical Center necessitates driver concentration within this complex intersection. Further distraction created by the erection of a billboard could create a serious traffic hazard. There have been 14 accidents at this intersection since January 1, 1965.

Land Use:

The West End neighborhood which borders on this area, is now being studied for possible upgrading. The Bramhall Wire Station may also provide an impetus for improving the area. A billboard in this location would not be beneficial to a neighborhood improvement and in fact may be detrimental to it.

Recommendation: The Donnelly and Son sign request be denied.

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: W. Bruce Dalton, Planning Director
DATE: Sept. 7, 1963
FROM: Albert J. Sears, Building Inspection Director
SUBJECT: Permits for poster panels on roofs of buildings at 3-5 Deering Avenue
and 787-789 Congress Street

Applications for permits have been filed by John Donnelly & Sons for erection of two poster panels 12 feet by 25 feet on roofs of the buildings at the above named locations, both buildings being on one piece of property.

A zoning appeal is necessary because the property is located in a B-2 Business Zone where a billboard on a roof is not allowable and because each of the roofs are less than 20 feet above the grade of the sidewalk in front of them. The appeal is scheduled for hearing on Thursday, Sept. 16th.

Because the signs are to be more than 8 feet in least dimension, the Technical Sign Review Committee will need to consider the situation and make a report to the City Council. I have discussed the matter with Mrs. Kealley and, while the City Council will not need to consider approval of the permit if the zoning appeal is denied, she suggests that the Sign Review Committee hold a meeting and prepare a report to the City Council before the scheduled hearing of the Appeal Board, so that that Board may have the benefit of the feelings of the Review Committee in arriving at a decision on the appeal.

Will you therefor call a meeting of the Sign Review Committee at your earliest convenience so that such a report can be made? I will have available for the meeting such information as has been furnished by the sign company.

Albert J. Sears
Building Inspection Director

AJS:m

cc to: Corporation Counsel

AP - 787-789 Congress Street
and 3-5 Deering Avenue

September 1, 1965

John Donnelly & Sons
172 Main Street
South Portland, Maine

cc: Corporation Council

Mr. Maurice L. L. L.
599 Congress Street

Gentlemen:

John Donnelly & Sons
172 Main Street
South Portland, Maine

Building permits for erection of two poster panels 12 feet high by 25 feet long, one on the roof of each of the two one-story buildings located on the property at the above named location, are not issuable under the zoning Ordinance for the following reasons:

1. The property is located in a B-2 Business Zone where a billboard on a roof is forbidden by Section 16-B-2.
2. The roof of the building fronting on Congress Street is only about 12 feet above the grade, and the roof of that fronting on Deering Avenue is only about 14 feet above the grade, whereas Section 16-B-4 forbids the erection of a billboard on any roof that is less than 20 feet above the grade of the sidewalk in front of a building.

We understand that you would like to exercise your appeal rights in this matter. Accordingly an authorized representative should come to this office in Room 110, City Hall, to file the appeal on forms that are available here.

Very truly yours,

AJS/h

Albert J. Sears
Director of Building Inspection

September 13, 1965

Mr. Maurice Drees
599 Congress St.

cc: John Donnelly & Sons
172 Main Street
So. Portland, Maine

Dear Mr. Drees:

September 16, 1965

Drees

DATE: September 16, 1965

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF Maurice Drees

AT 787-793 Congress Street and 3-5 Deering Avenue

Public Hearing on the above appeal was held before the Board of Appeals.

BOARD OF APPEALS

	YES	VOTE	NO
Franklin G. Hinckley	()		(x)
Ralph L. Young	()		(x)
Harry M. Schwartz	()		(x)

Record of Hearing

OPPOSED: Mrs. Mary E. Fiore, 562 Cumberland Avenue
Mrs. Francis D. Kilton, 1 Russell Street

CITY OF PORTLAND, MAINE
IN THE BOARD OF APPEALS

September 3, 1965

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine, on Thursday, September 16, 1965, at 4:00 p.m. to hear the appeal of Maurice Drees requesting an exception to the Zoning Ordinance to permit erection of two poster panels 12 feet high by 25 feet long, one on the roof of each of the two one-story buildings located on the property at 767-798 Congress Street and 3-5 Deering Avenue.

These permits are presently not issuable under the Zoning Ordinance because: (1) The property is located in a B-2 Business Zone where a billboard on a roof is forbidden by Section 16-B-2; (2) The roof of the building fronting on Congress Street is only about 12 feet above the grade, and the roof of that fronting on Deering Avenue is only about 14 feet above the grade, whereas Section 16-B-4 forbids the erection of a billboard on any roof that is less than 20 feet above the grade of the sidewalk in front of a building.

This appeal is taken under Section 24 of the Zoning Ordinance which provides such variance may be granted only if the Board of Appeals finds that the strict application of the provisions of the Ordinance would result in undue hardship in the development of property which is inconsistent with the intent and purpose of the Ordinance; that there are exceptional or unique circumstances relating to the property that do not generally apply to other property in the same zone or neighborhood, which have not arisen as a result of action of the applicant subsequent to the adoption of this Ordinance whether in violation of the provisions of the Ordinance or not; that property in the same zone or neighborhood will not be adversely affected by the granting of the variance; and that the granting of the variance will not be contrary to the intent and purpose of the Ordinance.

All persons interested either for or against this appeal will be heard at the above time and place, this notice of required public hearing having been sent to the owners of property within 500 feet of the property in question as required by Ordinance.

BOARD OF APPEALS

Franklin G. Hinckley

Chairman

h



CITY OF PORTLAND, MAINE
DEPARTMENT OF BUILDING INSPECTION
COMPLAINT

CS-66

Location

787-789 Congress St.

INSPECTION COPY

COMPLAINT NO. 57/120

Date Received October 29, 1957

Location 787-789 Congress Street Use of Building tailor shop
Owner's name and address Percival P. Baxter, 92 West St. Telephone 2 4788
Tenant's name and address _____ Telephone _____
Complainant's name and address Earl Griffin, 553 Cumberland Ave. Telephone _____

Description: Pane of glass in top story dangerously hanging. Complainant says it could very easily fall to the sidewalk at any moment. He considers it urgently dangerous.

HB

NOTES:

phone police Dept 1:30 PM to stand by.

10-29-57 Glass removed by 3:30 PM.
Boarded up M.Z.C.

X

15 sq. feet of face - Plexiglass stamped on face
Und. Lab.



APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

112 BUSINESS ZONE PERMIT ISSUED

01007
JUL 19 1957

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, July 17, 1957

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 789 Congress Street Within Fire Limits? _____ Dist. No. _____
Owner of building to which sign is to be attached Percival P. Baxter
Name and address of owner of sign Bramhall Spa, 789 Congress St.
Contractor's name and address United Neon Display, 74 Elm St. Telephone 2-0695
When does contractor's bond expire? January 1958

Information Concerning Building

No. stories 3 1/2 Material of wall to which sign is to be attached wood

Details of Sign and Connections

Building owner's consent and agreement filed with application yes
Electric? yes Vertical dimension after erection 3' Horizontal 5'
Weight 95 lbs., Will there be any hollow spaces? yes Any rigid frame? yes
Material of frame angle iron No. advertising faces 2 material plastic
No. rigid connections 2 Are they fastened directly to frame of sign? yes
No. through bolts yes 1, Size 3/4" Location, top or bottom top
No. guys 3 material cable & angle iron Size 5/16" - 1 1/2 x 3/16"
Minimum clear height above sidewalk or street 11'3"
Maximum projection into street 5'6"

Signature of contractor By: United Neon Display Fee \$ 2.00

INSPECTION COPY

PH

Permit No. 57/1007

Location 789 Cong St

Owner Bramhall Spa

Date of permit 7/19/57

Sign Contractor

Final Inspn.

NOTES

7/29/57

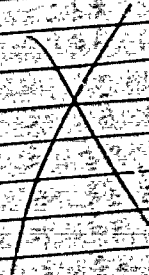
Have stop inspection

ADP

8/2/57

All in place

SIDEWALK
OF
CONG ST
TO
EXEC
OF
CITY



WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 789 Congress Street IN PORTLAND, MAINE

Perennial T. Boyles, being the owner of the
premises at 789 Congress Street in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Brabbell Spa
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit Perennial T. Boyles
owner of said premises, in event said sign shall
cease to serve the purpose for which it was erected or shall become dangerous
and in event the owner of said sign shall fail to remove said sign or make
it permanently safe in case the sign still serves the purpose for which it
was erected, hereby agrees for himself or itself, for his heirs, its
successors, and his or its assigns, to completely remove said sign within
ten days of notice from said Inspector of Buildings that said sign is in
such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this consent
and agreement this 16 day of July 1947

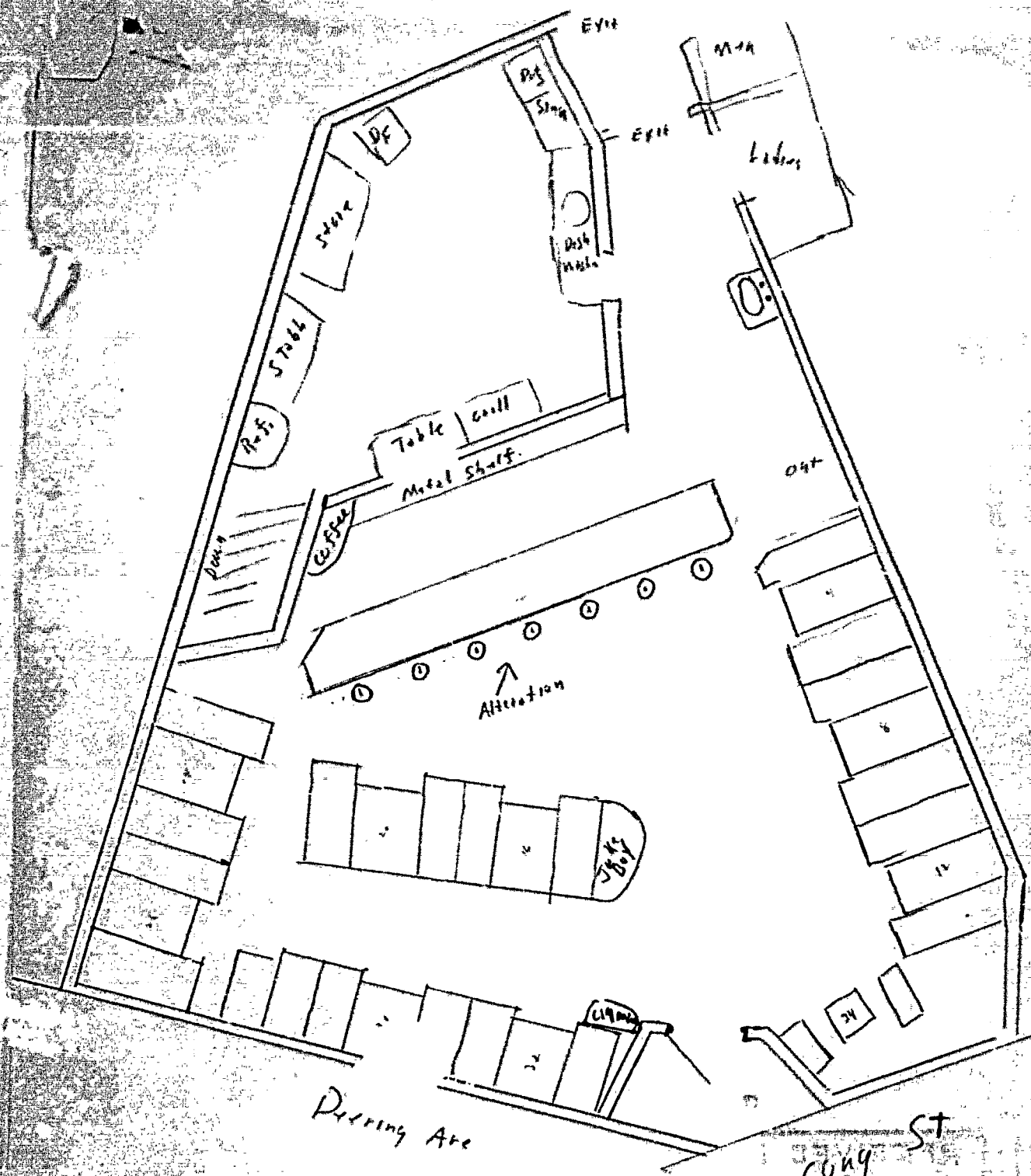
J. L. Coyle
Witness

Perennial T. Boyles
Owner

RECEIVED

JUL 17 1947

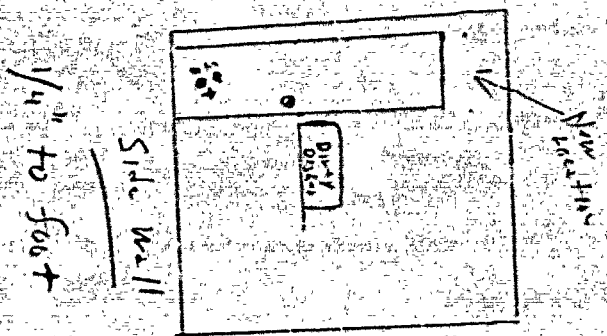
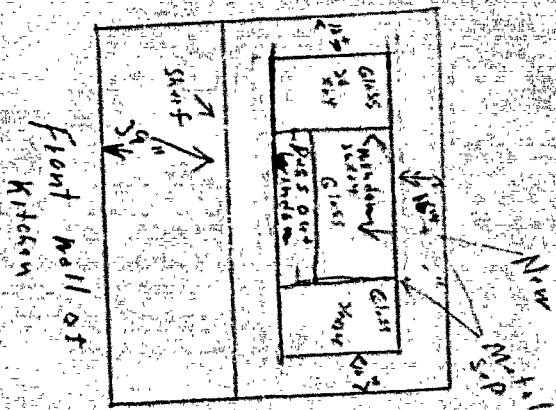
DEPT. OF BLD'G. INSP.
CITY OF PORTLAND



Seating Capacity - 41

$\frac{1}{4}'' = 1'$

Black & Silver
793 Cong St
Portland



Black & Silver
 793 Congress St
 Portland, Me

PERMIT TO INSTALL PLUMBING

PERMIT NUMBER 1187

Date Issued **March 11, 1970**
Portland Plumbing Inspector
By **ERNOLD R GOODWIN**

App. First Insp.
MAR 12 1970
Date ERNOLD R. GOODMAN
By -

App. Final Insp.
MAR 12 1970
Date _____
By ERMOLD E. GILLOWAN
Type of Bldg. _____

☐ Commercial
☐ Residential
☐ Single
☐ Multi Family
☐ New Construction
☐ Remodeling

Address		PERMIT NUMBER	
Installation For		793 Congress St.	
Owner of Bldg		Dress Realty	
Owner's Address:		same	
Plumber		same	
Date:		3/11/82	
NEW	FEEL	Plumber's Initials	NO.
		SINKS	
x		LAVATORIES	1
	x	T. ILETS	1
		BATH TUBS	
		SHOWERS	
		DRAINS FLOOR SURFACE	
		HOT WATER TANKS	
	x	TANKLESS WATER HEATERS	1
		GARBAGE DISPOSALS	
		SEPTIC TANKS	
		HOUSE SEWERS	
		ROOF LEADERS	
		AUTOMATIC W/ASHERS	
		DISHWASHERS	
		OTHER	
		TOTAL	

Building and Inspection Services Dept.: Plumbing Inspection

3 - 6.00

AP - 793 Congress Street

March 27, 1957

Mr. William Ingraham,
7 Church Street
Westbrook, Maine

Copy to: Hon. Percival P. Baxter
655 Congress Street

Dear Mr. Ingraham:

Building permit for alterations in restaurant at the above location is issued herewith based on plan filed with application for permit but subject to the following conditions:

1. Care is to be taken to make sure that there is at least 30 inches clear passageway leading to rear exit between corner of bar and booth.
2. A new bulb is to be provided for light outside rear exit door.
3. Dead bolts in locks on rear exit door and door to vestibule of men's toilet through which one must pass to reach rear exit are to be removed or made inoperative. Hook and eye fastening is to be removed from rear exit door.

Very truly yours,

AJS/H

Albert J. Sears
Deputy Inspector of Buildings

June 10, 1957

Location—793 Congress St.

Owner—William Ingraham

Job—Alterations

Mr. William Ingraham
7 Church St.
Westbrook, Mo.

Copy to Hon. Percival P. Baxter
655 Congress St.

Dear Mr. Ingraham:

Upon inspection of the above job on June 6 our inspector finds that the rear exit door still has a dead bolt in the lockset. (See our letter to you of March 27, paragraph 3.) This dead bolt must be removed so that this lockset or a new one is a vestibule latchset. (See Section 212-e-2.5 of the Building Code). This section states that your rear exit door to comply must be equipped with such locks or latches, and only such, that all fastenings which would keep the door from opening will be instantly released, without special knowledge or ability, merely by turning the customary knob or by pressure on a plate or lever from the inside.

It is important that correction of this condition be made before June 21, and notification be given this office of readiness for another inspection.

If additional information relative to the above is desired, please phone Inspector Allan Soule at 4-1431, extension 234, any week day but Saturday between 8:00 and 8:30 A. M.

Very truly yours,

AAS/B

Allan Soule
Field Inspector

789 Congress Street

Feb. 6, 1970

Marine Corp League
c/o Arthur Matthews
43 Hodgins Street

cc to: Maurice Drees
599 Congress Street

Dear Mr. Matthews:

Permit to change the use of the first floor area from office to "Veterans Club" as per plan is being issued subject to compliance with the following Fire Department requirements:

1. The first partition leading to the rear exit shall have an opening of at least 3 feet wide. The second partition, just before you reach the exit door is to be removed entirely. A vestibule latchset is required on the rear exit door. A vestibule latchset is one that a door so equipped that all fastenings which would keep the door from opening will be released instantly, without special knowledge or ability, merely by turning the customary knob or by pressure on a plate or lever.

Very truly yours,

A. Allan Soule
Assistant Director Building Inspection Dept.

AAS:m

CELLAR
HEATING UNIT
(GAS)

FLOOR
DRAIN

PROPOSED
15" W. WKS

PROPOSED BAR

CELLAR
STAIRS

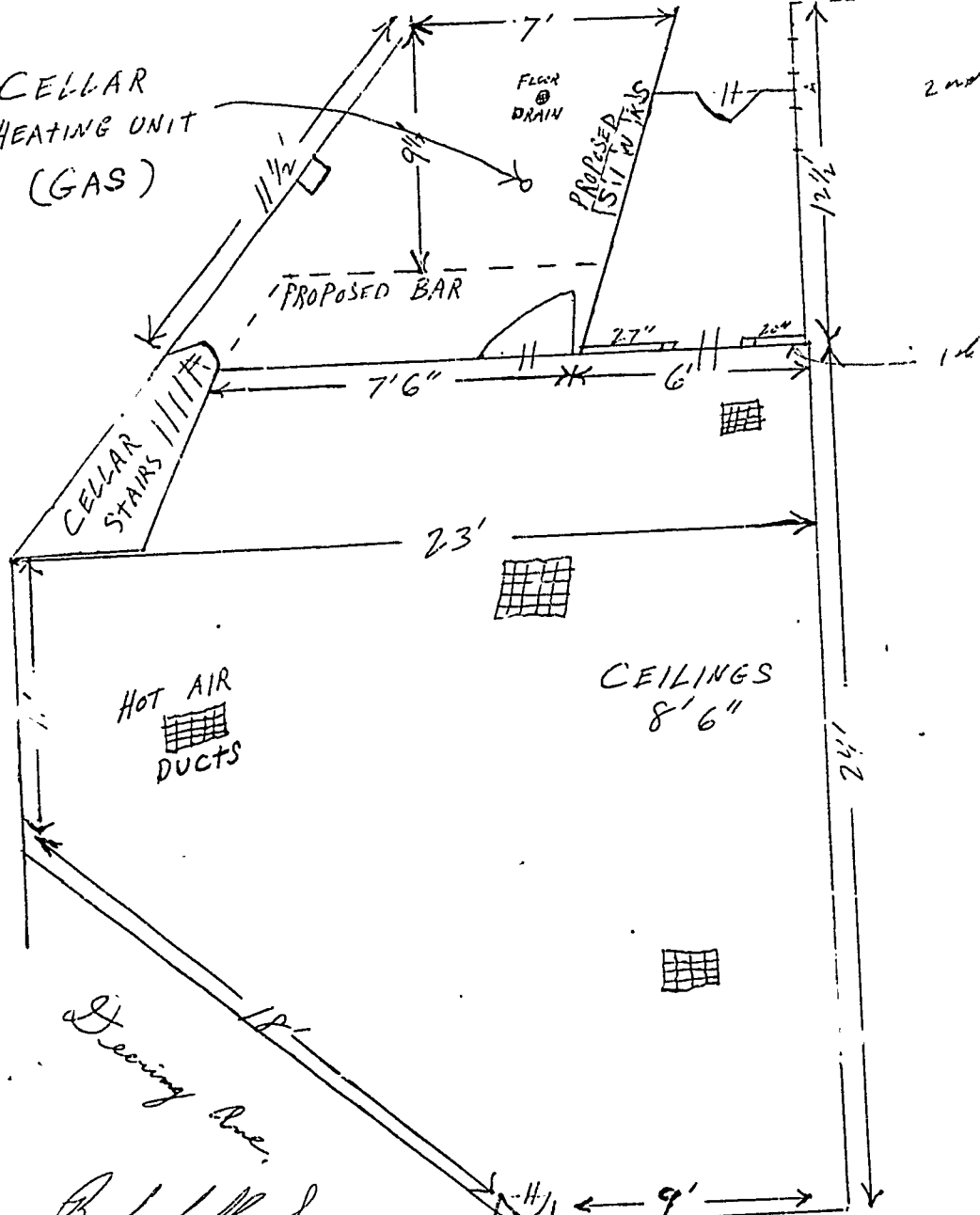
HOT AIR
DUCTS

CEILINGS
8' 6"

Deering Ave.

Burkehall Sq.
~~Deering Ave.~~

789 Congress St.





APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, March 25, 1957

00368
MAR 27 1957

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~construct~~ relocate the following building ~~structure~~ in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 793 Congress St. Within Fire Limits? yes Dist. No. _____
Owner's name and address Percival P. Baxter, 655 Congress St. Telephone _____
Lessee's name and address William Ingraham, 7 Church St., Westbrook Telephone UL 4-5412
Contractor's name and address " " Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 2
Proposed use of building restaurant No. families _____
Last use " No. families _____
Material wood No. stories 1 Heat _____ Style of roof _____ No. families _____
Other buildings on same lot _____ Roofing _____
Estimated cost \$ 250. Fee \$ 2.00

General Description of New Work

To relocate door to kitchen from front to sidewall of kitchen. Non-bearing wall.
To cut in 8' x 3' wide window in wall between dining space and kitchen. Non-bearing wall.
Seating capacity 41 and three employees at one time.

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO lessee**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

with letter by A. J. S.

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Percival P. Baxter

Signature of owner by: [Signature]

INSPECTION COPY

NOTES

Check - middle between bar & filler -
 - Hardware, front & rear -
 - State if rear door is self-closing
 to trash -
 - Curb sign -
 - White light outside

3/26/57

✓ - White light bulb needed. *Fun*
 ✓ - Dead ball in rear exit door
 ✓ - Also a look & any on this
 door.
 ✓ - Dead ball in door to room
 Ticket near exit.
 ✓ - 30" between the bar counter & the
 table - *Allen*

5/9/57 - Dead ball must be
 removed from rear exit door
 & door to main's trash which
 goes to rear exit. Tell
 Mrs. Ingraham about above
 then. *Allen*

6/16/57 - Ticket on rear
 exit door not a restitute
 ticket. *Allen*

9/10/57 - Re-enter
 by *Allen*

6/28/57 - Ticket on rear
 door appears to be O.K. Tell
 them to cover up the key
 hole so as there would
 be no question about it -
Allen

7/12/57 - Same as above -
Allen

8/2/57 - All O.K. - *Allen*

Permit No. 57/368
 Location 793 Cassia St.
 Owner William Ingraham
 Date of permit 13/27/57
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn.
 Cert. of Occupancy issued
 Staking Out Notice
 Form Check Notice



APPLICATION FOR PERMIT

B2 BUSINESS ZONE

Class of Building or Type of Structure

Third Class

Portland, Maine,

February 2, 1970

PERMIT ISSUED 115

FEB 6 1970

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 789 Congress St. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Maurice Dress, 599 Congress St. Telephone _____
Lessee's name and address Marine Corp League, c/o Arthur Matthews 43 Hodgins St. Telephone 772/2562
Contractor's name and address " " Telephone _____
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building Veteran's Club No. families _____
Last use Office No. families _____
Material frame No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ 30.00 Fee \$ 2.00

General Description of New Work

TO CHANGE USE OF 1ST FLOOR AREA FROM OFFICE TO "VETERAN'S CLUB" AS PER PLAN.

Sent to Fire Dept. 2/2/70
Rec'd from Fire Dept. 2/5/70

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Mr. Mathews-43 Hodgins St.

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber-Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Eric C. O. Ridd 2-5-70

O.K. - 2/4/70 - Allen

Permit issued with Memo

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Marine Corp League

CS 301

INSPECTION COPY

Signature of owner by: Philip Scott

7m

H 798

Permit No. 701/145

Location

789 (Angus Street)

Owner

Maurice Kent Douglas

Date of Permit

4/6/70

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

Staking Out Notif.

Form Check Notice

NOTES

2-18-70 Not started

Cancelled



*Each plastic face contains 24 square feet. Each piece of plastic is marked plexiglas. Sign bears Underwriters label.

(B) LIMITED BUSINESS ZONE
APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED

00218

FEB 27 1956

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 789 Congress St. Within Fire Limits? yes Dist. No. 19 56
Owner of building to which sign is to be attached Percival P. Baxter
Name and address of owner of sign Bramhall Spa, 789 Congress St.
Contractor's name and address United Neon Display, 74 Elm St. Telephone 2-0695
When does contractor's bond expire? Dec. 31, 1956

Information Concerning Building

No. stories 3 Material of wall to which sign is to be attached wood

Details of Sign and Connections

Building owner's consent and agreement filed with application yes

Electric? yes Vertical dimension after erection 4'3"

Weight 115 lbs., Will there be any hollow spaces? yes

Material of frame channel iron No. advertising faces 2

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts 1 Size 3/4" Location, top or bottom top

No. guys 2 material angle iron

Minimum clear height above sidewalk or street 11'3" Size 11x18x3/16

Maximum projection into street 6'6"

**CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED**

Horizontal 6' Any rigid frame? yes

material plastic

yes

INSPECTION COPY

Signature of contractor by: Thomas J. Ratz

Fee \$ 2.00

3/9
Permit No. 56218

Location 789 Congress St

Owner Brainerd Hall Spa

Date of permit 2/27/56

Sign Contractor United Neon Display

Final Inspn. 3/7/56

NOTES

2/28/56 Ready for
shop man install
2/28/56 Sign not ready
for inst. E.S.S.
2/29/56 Shop work
O.K. E.S.S.
3/7/56 work done
E.S.S.

ALL
LIC
ELECT
WORK
DIRECT

RECEIVED
CITY OF BOSTON
DEPT. OF PUBLIC WORKS
MARCH 14 1956

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 789 Congress Street IN PORTLAND, MAINE

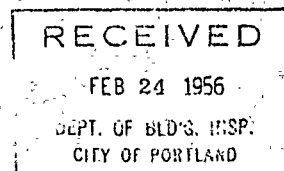
P. Baxter, being the owner of the
premises at 789 Congress Street in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Bramhall Spa
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit P. BAXTER
_____, owner of said premises, in event said sign shall
cease to serve the purpose for which it was erected or shall become dangerous
and in event the owner of said sign shall fail to remove said sign or make
it permanently safe in case the sign still serves the purpose for which it
was erected, hereby agrees for himself or itself, for his heirs, its
successors, and his or its assigns, to completely remove said sign within
ten days of notice from said Inspector of Buildings that said sign is in
such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this consent
and agreement this 24- day of February 1956

J. W. Schram
Witness

P. Baxter
Owner



(B) LIMITED BUSINESS ZONE



APPLICATION FOR PERMIT TO ERECT
SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED
3085

JUN 7 1955

CITY OF PORTLAND
19 55

Portland, Maine, June 3

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 789 Congress Street Within Fire Limits? yes Dist. No. 3
Owner of building to which sign is to be attached Percival P. Baxter
Name and address of owner of sign Bramhall Spa, 789 Congress St.
Contractor's name and address United Neon Display, 74 Elm Street Telephone _____
When does contractor's bond expire? January 1956

Information Concerning Building

No. stories 3 Material of wall to which sign is to be attached frame

Details of Sign and Connections

Building owner's consent and agreement filed with application none yes
Electric? yes Vertical dimension after erection 3' Horizontal 4'3"
Weight 65 lbs., Will there be any hollow spaces? yes Any rigid frame? angle iron
Material of frame angle iron No. advertising faces 4 material glass
No. rigid connections 2 Are they fastened directly to frame of sign? yes
No. through bolts none Size _____ Location; top or bottom _____
No. guys 2 material angle iron Size 1 1/2 x 3/16"
Minimum clear height above sidewalk or street 10'
Maximum projection into street 4'6"

United Neon Display Fee \$ 2.00

Signature of contractor By: Thomas J. King

INSPECTION COPY

PH

~~6/17/55~~
~~7/7/55~~

Permit No. 55/850

Location 789 Congress St.
Owner Bramhall Spa

Date of permit 6/7/55

Sign Contractor United Photo Display
Final Inspn. 8/15/55

NOTES

- 6/7/55 - on at ready
- 6/15/55 - Roads for signs
- 6/22/55 - Shop sign made
- 8/15/55 - window signs

EMIT
LC
EISE
MEIL

Comp. m. m. m.

BI FORM 52

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 749 Congress St IN PORTLAND, MAINE

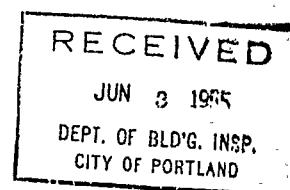
Samuel P. Banta, being the owner of the
premises at 749 Congress St in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Samuel P. Banta
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit _____
_____, owner of said premises, in event said sign shall
cease to serve the purpose for which it was erected or shall become dangerous
and in event the owner of said sign shall fail to remove said sign or make
it permanently safe in case the sign still serves the purpose for which it
was erected, hereby agrees for himself or itself, for his heirs, its
successors, and his or its assigns, to completely remove said sign within
ten days of notice from said Inspector of Buildings that said sign is in
such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this consent
and agreement this 1st day of June 1955.

Samuel P. Banta
Witness

Samuel P. Banta
Owner





FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, August 18, 1954

PERMIT ISSUED
01301
AUG 27 1954
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 7-9 Deering Ave. Use of Building dwelling No. Stories 1 Existing Building
Name and address of owner of appliance R. P. Baxter, Congress St.
Installer's name and address Portland Gas Light Co., 5 Temple St. Telephone 2-8321

General Description of Work

To install 2-40-80 D. F. A. C. Niagara Winter Air conditioners replacing 2 unit heaters.

IF HEATER, OR POWER BOILER

Location of appliance 1st. floor Any burnable material in floor surface or beneath? wood
If so, how protected? By 5" legs Kind of fuel? gas
Minimum distance to burnable material, from top of appliance or casing top of furnace 3'
From top of smoke pipe 15" From front of appliance over 4' From sides or back of appliance over 3'
Size of chimney flue 8x12 Other connections to same flue none
If gas fired, how vented? to chimney Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Labelled by underwriters' laboratories?
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner Size of vent pipe
Location of oil storage Number and capacity of tanks
Low water shut off Make No.
Will all tanks be more than five feet from any flame? How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Permit Issued with Letter

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Gas-fired appliances are equipped with device which will automatically shut off
gas supply in case pilot flame is extinguished.

BURNER 12" FROM FLOOR INCLUDES 5" LEGS

Duct Line thru Floor with 1" clearance

Mr. Morgan says appliance will set on 1" hollow tile (RMT) tile to floor against duct.
Amount of fee enclosed? 2.50 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

OK 8.19.54 PMB

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Portland Gas Light Co.

Signature of Installer by: R. P. Baxter

C17-254-1M-MARKS

ION COPY

NOTES

Location 7-9 Weening Ave

Owner P. P. Patten

Date of permit 8/27/64

Approve 10 754/10746

8/28/64 7-9 Weening Ave
Water

Location: 7-9

Date of Permit 8 / 1

Percent 0.2764

1911

August 27, 1954

AP 7-9 Deering Ave.--Installation of two heating furnaces

Portland Gas Light Co.,
Att: Mr. Carl Morgan
5 Temple St.

Copy to: Hon. Percival P. Baxter
655 Congress St.

Gentlemen:

Building permit for installation of two gas-fired heating furnaces is issued, herewith, subject to the following conditions which have been talked over and agreed to between your Mr. Morgan and Inspector Thurlow. If these conditions are not understood, or, if you find yourselves unable to comply with them, please contact 'ls office with additional information before starting the installations.

Because the floor on which the furnaces are to be supported are of wood construction and because American Gas Association lists the furnaces as approved on non-burnable floors only, resort is to be made to the regulations of National Board of Fire Underwriters and a layer of load-bearing 4-inch hollow tile is to be placed on the floor. This layer to be covered with a sheet of not less than 24 U. S. gauge sheet metal and the legs of the furnace to be set upon the metal.

One of the important stipulations of this NFBU regulation is that the hollow tile laid with ends unsealed and joints matched in such a way as to provide a free circulation of air through the masonry insulation from side to side.

These installations, however, are unusual in that this type of furnace is understood to have the warm air duct passing straight down from the bottom of the furnace and down through the floor, and there to branch out to supply heat for the space above the floor to be heated. Obviously the tile insulation cannot pass through the warm air duct. On the sides where there is the greatest width between the sides of the duct and the casing of the furnace the hollow tile is to be laid with voids continuous from outside edge to outside edge of the insulation. Between these two strips of tile the hollow tile is to be laid in such a way that the open ends of the hollow tile will be in contact with the warm air duct, thus to afford the best circulation of hot air striking downwards which seems possible.

Of course, the usual protection is to be supplied where the warm air duct passes through the floor and for the branch ducts and the warm air registers. The floor is to be properly framed out where the duct passes through.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMCD/B

Each plastic face contains 15 square feet. Sign bears Underwriters label. Each piece of plastic is marked Plexiglass



(B) LIMITED BUSINESS ZONE

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

PERMIT ISSUED
00591
APR 24 1953
CITY of PORTLAND

Portland, Maine, April 23, 1953

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 79A Congress St. Within Fire Limits? yes Dist. No. _____

Owner of building to which sign is to be attached Percival P. Baxter

Name and address of owner of sign Bramhall Spa, 791 Congress St.

Contractor's name and address United Neon Display, 74 Elm St. Telephone 2-0695

When does contractor's bond expire? Dec. 31, 1953

Information Concerning Building

No. stories 3 Material of wall to which sign is to be attached wood **CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED**

Details of Sign and Connections

Building owner's consent and agreement filed with application yes

Electric? yes Vertical dimension after erection 3' 6" Horizontal 3' 6"

Weight 55 lbs., Will there be any hollow spaces? yes Any rigid frame? yes

Material of frame angle iron No. advertising faces 2, material plastic*

No. rigid connections 2 Are they fastened directly to frame of sign, yes

No. through bolts none Size _____, Location, top or bottom _____

No. guys 2, material angle iron Size 1 1/2 x 3/16

Minimum clear height above sidewalk or street 10' 6"

Maximum projection into street 4' United Neon Display Fee \$ 2.00

Signature of contractor by: Thomas J. Kautz

INSPECTION COPY

5-18
Permit No. 53/491

Location 791 Congress St.

Owner Branchhall Spa

Date of permit 4/24/53

Sign Contractor United News Display

Final Inspn. 5-11-53

NOTES

~~4/25/53 - Shop
Inspector P.H.
4-25-53 Shop insp. O.K. / de.~~

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO
BE ERECTED PROJECTING OVER A PUBLIC SIDEWALK FROM THE PREMISES
AT 791 Congress St. IN PORTLAND, MAINE

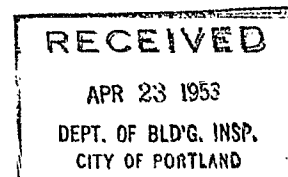
Percival P. Baxter, being the owner of the
premises at 791 Congress St. in Portland, Maine hereby gives
consent to the erection of a certain sign owned by Pramhall Spa
projecting over the public sidewalk from said premises as described in
application to the Inspector of Buildings of Portland, Maine for a permit
to cover erection of said sign;

And in consideration of the issuance of said permit _____
Percival P. Baxter, owner of said premises, in event said sign shall
cease to serve the purpose for which it was erected or shall become dangerous
and in event the owner of said sign shall fail to remove said sign or make
it permanently safe in case the sign still serves the purpose for which it
was erected, hereby agrees for himself or itself, for his heirs, its
successors, and his or its assigns, to completely remove said sign within
ten days of notice from said Inspector of Buildings that said sign is in
such condition and of order from him to remove it.

In Witness whereof the owner of said premises has signed this consent
and agreement this 22nd day of April 1953.

Joseph S. Coyne
Witness

Percival P. Baxter
Owner



1 1/2" x 1 1/2" x 3/16" ANGLE IRONS
TOP & BOTTOM

3/8" x 4" LAGS

3 STORY BUILD.

3/8" x 4" LAGS

3/8" x 4" LAGS

3/8" x 4" LAGS

5/16" WIRE MESH

3'6"

3'6"

4' - 1"

10'6"

1 1/2" x 1 1/2" x 3/16" ANGLE IRONS
CORNER BRACES

11'6" SIDEWALK

BRIMHALL ST
991 CONGRESS ST. PORTLAND, ME
APPROX. Wt. OF SIGN 55 LBS
SCALE 1/4" = 1'-0"
SIGN TO REMAIN EXISTING SIGN
APPROX. 1/2" IS S.A.I.T. PASTIC PER FACE
NO ALUMINUM

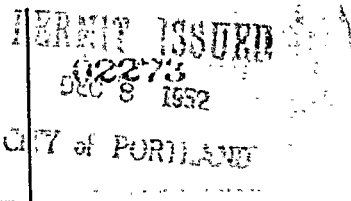
RECEIVED
APR 23 1953
DEPT. OF BLDG. INSP.
CITY OF PORTLAND



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, December 8, 1952



To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 787 Congress Street Use of Building Stores & apts. No. Stories 3 ☒ New Building
Name and address of owner of appliance Percival P. Baxter, 562 Congress St. Existing "☐
Installer's name and address E. N. Cunningham Co., 363 Cumberland Ave. Telephone _____

General Description of Work

To install steam boiler (replacement)

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? no
If so, how protected? _____ Kind of fuel? oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 22"
From top of smoke pipe 12" shield From front of appliance Over 4' From sides or back of appliance Over 3'
Size of chimney flue 10x10 Other connections to same flue gas-fired water heater
If gas fired, how vented? _____ Rated maximum demand per hour _____
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner _____ Labelled by underwriter's laboratories? _____
Will operator be always in attendance? _____ Does oil supply line feed from top or bottom of tank? _____
Type of floor beneath burner _____
Location of oil storage _____ Number and capacity of tanks _____
If two 275-gallon tanks, will three-way valve be provided? _____
Will all tanks be more than five feet from any flame? _____ How many tanks fire proofed? _____
Total capacity of any existing storage tanks for furnace burners _____

IF COOKING APPLIANCE

Location of appliance _____ Any burnable material in floor surface or beneath? _____
If so, how protected? _____ Kind of fuel? _____
Minimum distance to wood or combustible material from top of appliance _____
From front of appliance _____ From sides and back _____ From top of smokepipe _____
Size of chimney flue _____ Other connections to same flue _____
Is hood to be provided? _____ If so, how vented? _____ Forced or gravity? _____
If gas fired, how vented? _____ Rated maximum demand per hour _____

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

OK 12-8-52 [Signature]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

E. N. Cunningham Co.

By:

Signature of Installer

INSPECTION COPY

Permit No. 52/2273
Location 787 Congress St.
Owner Percival P. Baxter
Date of permit 12/8/52
Approved 12-11-52 Rm

NOTES ON THE HISTORY OF THE...

NOTES

LIMITED BUSINESS ZONE

PERMIT ISSUED

00673

MAY 18 1950

Permit No. _____
CITY of PORTLAND

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Portland, Maine, May 2, 19 50

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 789 Congress Street

Within Fire Limits? Yes Dist. No. _____

Owner of building to which sign is to be attached Percival P. Baxter

Name and address of owner of sign Bramhall Spa, 789 Congress Street

Contractor's name and address United Neon Display, 74 Elm Street

Telephone 2-0695

When does contractor's bond expire? Dec. 31, 1950

Information Concerning Building

5-12-50 DRINKS & SUPPLY
REQUIREMENT IS WAIVED

No. stories 3 1/2 Material of wall to which sign is to be attached wood

Details of Sign and Connections

Electric? yes Vertical dimension after erection 29" Horizontal 42"

Weight 75 lbs., Will there be any hollow spaces? yes Are rigid frame? yes

Material of frame aluminum angle iron No. advertising faces 2 material porcelain

No. rigid connections 2 Are they fastened directly to frame of sign? yes

No. through bolts none Size _____, Location, top or bottom _____

No. guys 2 material cable and angle iron Size 5/16 1x1x3/16

Minimum clear height above sidewalk or street 12'

Maximum projection into street 42"

United Neon Display

Fee \$1.00

Signature of contractor by: J. S. Coyne

Just
ORIGINAL

Permit No. 501673

Location 789 Congress St

Owner Brantall Spa

Date of permit 5/13/56

Sign Contractor

Final Inspn 7-18-57 C.N.

NOTES

5-13-56. All inspection OK.
86

AP 789 Congress Street-I

May 10, 1950

United Neon Display
74 Elm Street
Bramhall Spa
789 Congress Street

Gentlemen:

There will be considerable delay in handling the application for a permit to cover erection of a projecting sign at 789 Congress Street because the frame of the sign is indicated as structural aluminum angles for which the Building Code has no rules for design at present.

There is no intent to discourage the use of structural aluminum, but it is sufficiently new so that practices for its design have not been clearly set out in the Building Code.

We will do the best we can to get standards established so that we can handle this and similar applications.

I note from the application that the guys are evidently rolled steel angles. Such steel work wherever it comes in contact with aluminum will have to be protected against corrosion setting up chemically between the two metals, and that will be true of course of bolts or screws. At no point should it or steel be in contact with aluminum without suitable and reasonably permanent protection by way of coatings or the like.

Very truly yours,

Warren McDonald
Inspector of Buildings

WHD/G