rmit No. 39/2257

[illegible] Cooper St

Owner E. M. Lyric Theatre

Date of permit 12/18/39

Sign Contractor

I [illegible] spn.

NOTES

Stricker

Sort of this sign made at end of marquee section see date on marquee inst. corp. Co.

Rept. 4703C-I

August 31, 1938

Mr. John Trouvelis,
631 Congress Street,
Portland, Maine

Dear Sir:

It will be necessary for you to furnish a plan showing the arrangement of the floor framing of your restaurant at 631 Congress Street and how you propose to support it in connection with the deepening of the cellar. This plan should be to scale, should show the location and material of posts, the kind of foundations and what is intended to retain the earth where the cellar is deepened.

In the meantime it is not lawful for you to even commence any of the excavation until the permit card is actually in your possession and posted upon the premises.

I am sending Mr. Beck a copy of this letter.

Very truly yours,

Inspector of Building

WMcD/H

CC: Carroll L. Beck
647 Westbrook Street
South Portland, Maine

38/1381-I

September 6, 1939

Mr. John Trouvalis,
631 Congress Street,
Portland, Maine

Dear Sir:

Enclosed is the building permit covering alterations in the building at 631 Congress Street. The following matters are called to your attention:

The doorway between the cellar under the restaurant and the cellar under the theatre, which you had cut in without a permit, is to be completely and tightly bricked up with a brick wall at least eight inches thick, so that the restaurant cellar and the theatre will be completely separated.

The 4x8 girder beneath the restaurant floor ought to either be replaced with a 6x8 set with the eight inches vertical, or the four inch iron posts should be placed no more than five feet from center to center. It is understood that there is to be concrete footings put beneath these new iron posts and that suitable metal plates are to be used at the top and at the bottom of each post, the bottom of the post being securely anchored to the concrete footing and the top securely fastened to the girder.

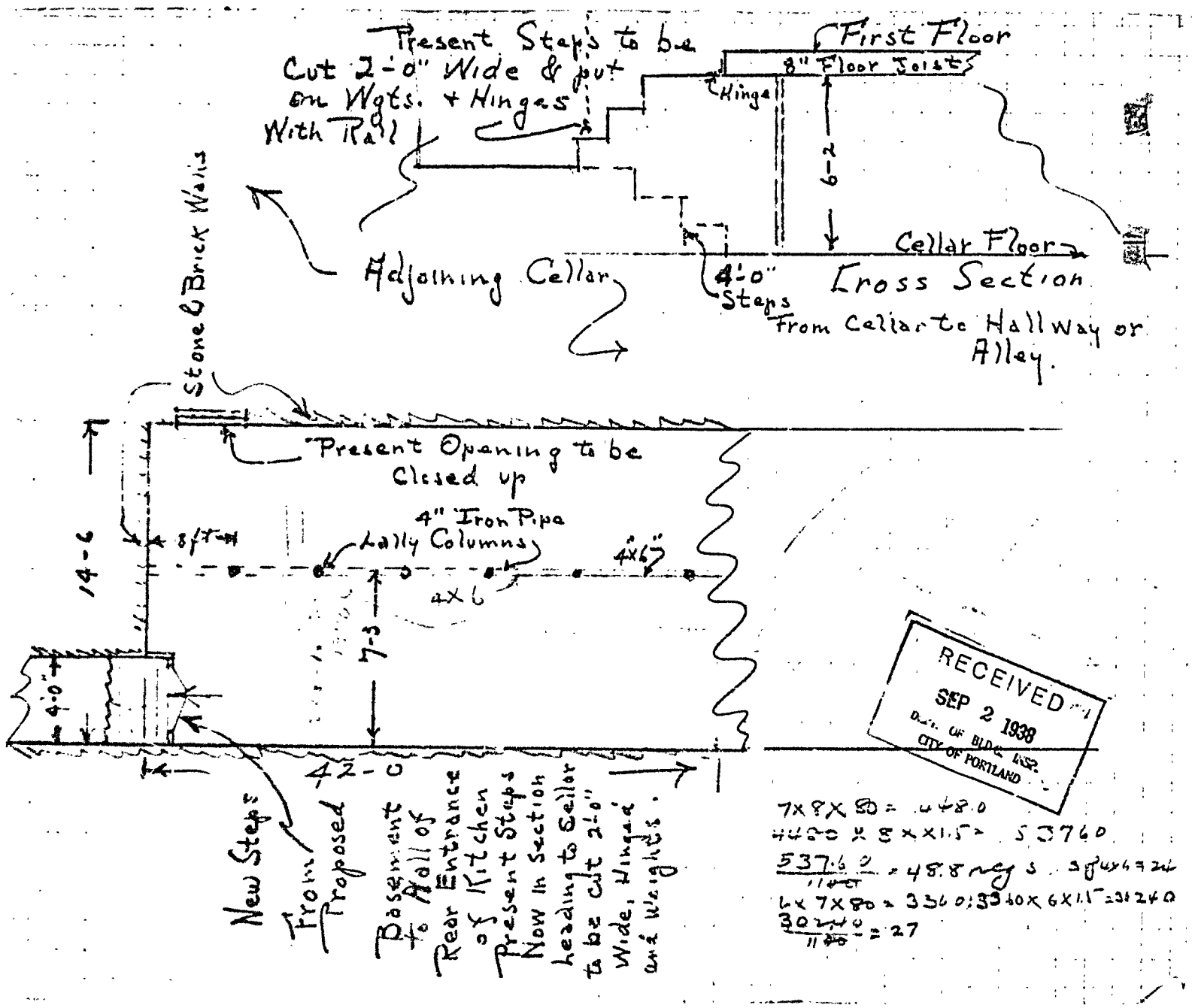
It is understood that you will thoroughly strengthen and repair any part of the stone foundation wall which requires repairs when the excavation is completed, and that you will have a careful carpenter go over all the supports under the restaurant and make them permanent and undoubtedly strong enough. This includes the front part of the cellar as well as the back part where you intend to do the major part of the work.

Very truly yours,

Inspector of Buildings

EJcD/H

CC: Carroll Beck647 Westbrook St.
Dudley C. Lunt, Pine Point


Present Steps to be Cut 2'-0" Wide & put on Wgts. + Hinges With Rail
First Floor
8" Floor Joist
Hinge
6-2
Cellar Floor
Cross Section
Adjoining Cellar
4'-0" Steps
From Cellar to Hallway or Alley.
Stone & Brick Walls
Present Opening to be Closed up
4" Iron Pipe
Lally Columns
4x6
4x6
14-6
8 ft
7-3
4'-0"
42-0
New Steps From Proposed Basement to Hall of Rear Entrance of Kitchen
Present Steps Now in Section leading to Cellar to be cut 2'-0" Wide, Hinged and Weights.
RECEIVED
SEP 2 1938
DIV. OF BLDG. INSP.
CITY OF PORTLAND
7x8x80 = 4480
4480 x 8 x 1.5 = 53760
53760 / 1100 = 48.8 reg's
6x7x80 = 3360; 3360 x 6 x 1.5 = 30240
30240 / 1100 = 27

Rept. 61250-I

December 7, 1939

United Neon Displays
27 Monument Square,
Portland, Maine

Gentlemen:

On December 6, 1939 the Municipal Officers voted to sustain the appeal in the name of Paul C. Lunt, et al, relating to the structure which is proposed for E. M. Loew's Theatres, Inc. at 627½ Congress Street intended to support certain projecting signs for which you have applied for a permit, interpreting the structure as being a marquee upon which signs may be supported as provided in detail in the Building Code.

Since you made the application for the permit, I have talked with Mr. Frank of C. I. Brink, Inc. and told him that even though the structure upon which the signs were to be supported were classified as a marquee, the top of the advertising device is proposed too high above the sidewalk of Congress Street to satisfy the Ordinance requirements. He said that that dimension would be adjusted to satisfy the requirements of the Building Code.

The detailed requirements provide that the height of such an advertising device around the edges of a marquee may be a maximum of sixteen feet above the sidewalk but that this maximum may occur only at the center of the ends and the front of the marquee; that the average height of the top of the sign or advertising device shall not exceed fourteen feet above the level of the sidewalk. The sidewalk is on a slope toward the curb, of course, and we shall figure the grade of the sidewalk as that midway between the building and the curb line beneath each side of the structure. From your plan I think the tops of the letters in the word "Capitol" and probably the tops of the ornaments at the outside face of the structure are too high. If you can lower the letters and the ornaments so that no part of them will be more than fourteen feet above the average point of the sidewalk mentioned above, the signs will no doubt satisfy the requirements.

The plan should be revised to show this change clearly and new copies furnished here.

At the same time a statement of design signed by the actual designer of the sign structure in person should be attached to the plan as required by the Building Code and as indicated in my letter of December 2, 1939.

C. I. Brink, Inc. is receiving a copy of this letter.

Very truly yours,

Inspector of Buildings

WMcD/H
CC: Robert DeWolfe
102 Exchange Street

Rept. 6183C-I

December 2, 1959

United Neon Display,
27 Monument Square,
Portland, Maine

Gentlemen:

Referring to your application for a permit to cover erection of a so-called "marquee" over the public sidewalk at 627½ Congress Street for E. M. Loew's Theatres, I am unable to issue this permit because I am not convinced that this structure is a marquee. Apparently the principal purpose of the structure is not a shelter but to support signs. Special allowances are made as to amount of projection over a sidewalk and closeness to sidewalk for signs built around the edges of marquees.

It seems to me that your client has two options, either to make a bona fide marquee of the type usually used for a shelter and arrange the border signs around it; or else cut down the projection of the structure which you plan to the allowable six feet for a projecting sign and raise it so that the bottom of it will be at least 15 feet above the sidewalk.

In either case there will be required attached to the plan a statement of design signed by the designer in person and the designer should be one thoroughly competent to design structural steel, preferably an engineer registered in this state.

Very truly yours,

Inspector of Buildings

FWcD/H

CC: Frederick Stone, Mgr.
Portland Theatre
Preble Street

December 15, 1939

P.S. These signs are required to be inspected on the interior of them before erection by our inspector and the electrical inspector.

E. M. Loew's Theatres,
c/o Frederick Stone, Mgr.
Portland Theatre
Preble Street
Portland, Maine

Gentlemen:

With relation to the marquee and signs proposed to project over the sidewalk at 627½ Congress Street (former Casco Theatre) we have application from United Neon Displays for the erection of the signs, but there is necessary a separate permit (or this may be an amendment to the existing permit covering alterations in the theatre) to cover the construction and erection of the marquee. In order to get the matter straightened out I am phoning Mr. Stone so that he may come and file application for the amendment to cover the marquee. This amendment will be issued with this letter as soon as we can secure the approval of it by the Commissioner of Public Works and the Chief of the Fire Department, these approvals being required by the Building Code.

Relating to the marquee there is a note on the design sheet: "It has been assumed that the building contractor will frame lobby ceiling and roof upon 20" WF 21# beams and they have been calculated accordingly to assume this extra load."

These beams shown in the plan of the lobby roof are 8" beams and the lintel over the entrance to the lobby shows a different arrangement on the building plans than on the marquee plan. I am assuming that the owner or his contractor will clear up this confusion.

United Neon have filed with their application the structural plans of the marquee, but there are no structural plans of the signs. We will file the marquee plans with the amendment that Mr. Stone is to file. Brink, Inc. should file at once framing and fastening details of the signs, showing all members, fastenings, location of transformers, etc. We are accustom to require an outline angle frame for such signs and bar or angle 45 degree braces at every corner.

It is understood that Brink is manufacturing the signs. They are to be erected under the United Neon bond. We shall conclude that all concerned are in violation of the Building Code unless the signs are actually erected by United Neon's regular and permanent employees.

C. I. Brink, Inc. and United Neon Displays are receiving copies of this letter.

Very truly yours,

EMcD/H

Inspector of Buildings

CC: C. I. Brink, Inc.
147 W. Fourth St., So. Boston

United Neon Display
27 Monument Square

GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Permit No. 8131

PERMIT ISSUED

SEP 6 1938

Class of Building or Type of Structure Second Class

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, August 31, 1938

The undersigned hereby applies for a permit to erect ~~or alter install~~ the following building ~~structure equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 651 Congress Street Within Fire Limits? yes Dist. No. 1

Owner's ~~or~~ Lessee's name and address John Trouvalis, 651 Congress St. Telephone

Contractor's name and address Carroll Beck, Westbrook Street Telephone

Architect Telephone

Proposed use of building Theatre, stores and offices Plans filed no No. of sheets

Other buildings on same lot No. families

Estimated cost $ 200. Fee $ .75

Description of Present Building to be Altered

Material brick No. stories 5 Heat Style of roof Roofing

Last use Theatre, stores, offices and apartments No. families

General Description of New Work

To excavate section 10' x 15' four feet deeper

To provide new outside rear entrance to basement where former door was closed up

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front depth No. stories Height average grade to top of plate

Height average grade to highest point of roof

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing Lumber—Kind Dressed or Full Size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Lessee John Trouvalis

Permit No. 38/1381

Location 631 Congress St.

Ow. Johan Tridvalis

Date of permit 9/6/38

Notif. closing-in

Final closing-in

Final Notif.

Final Insp. INSPECTION NOT COMPLETED

Cert. of Occupancy issued

NOTES

9/19/38 Work in progress
Posts under 4x4 girder
Room connections
much as 7' c.c. floor
Foundation under rear
Foundation complete.
Sections of partition
Plumbing roughed in
Electric roughed in
Posts 2x4 Elm
timber partition
Floor and studs
reinforced. Header
opening in wall
restaurant cellar
Electric cellar entrance
Footings 3-C.P.

C-38-185-I

August 9, 1938

Congress Square Garage, Inc.
48 Forest Avenue,
Portland, Maine

Gentlemen:

The Janitor at the Somerset Apartments, 633 Congress Street, which your company is reported to own, has complained about gas or odor coming from a certain low chimney in the building at 629-631 Congress Street.

Upon examination we find that there is no fire hazard involved apparently, but there may be a question of the effect upon the health of the occupants of the Somerset.

If you believe that to be the case, a complaint should be lodged with the Health Officer with whom we shall be glad to cooperate if a question comes up as to the structure of the chimney.

Very truly yours,

Inspector of Buildings

WMcD/H

CC: Dr. Tetreau

The chimney referred to is apparently the one which serves the restaurant ranges of the Splendid Restaurant at 629-631 Congress Street. These are coal-fired ranges and no doubt the chimney does give off considerable gas both night and day. There is a large vent pipe which ventilates the kitchen of the restaurant by means of a large electric exhaust fan. The odors from this pipe must be annoying, but I should think they would hardly be unhealthful.

Warren McDonald

Rept. 1521C-I

April 5, 1938

Casco Theatre,
629 Congress Street,
Portland, Maine

Gentlemen:

Enclosed is the permit covering alterations in the walls of the passageway of the Casco Theatre at 629 Congress Street.

The Inspection Board approves this construction work upon the condition that the one or more present or former window openings between the passageway and the store on the west side shall be completely and tightly covered over while this change in ornamentation is taking place; also that special care be used to make the metal base tight against the floor of the passageway at all points, and that this metal base be carried around the advertising signs on both sides of the passageway near the entrance and that the metal be made tight against the floor of the passageway.

Please be governed accordingly.

Very truly yours,

Inspector of Buildings

EMcD/

P.S. The intent of the clause above relating to closing former window openings is that the openings will be permanently closed, not merely while the work is being done.

APPLICATION FOR PERMIT

PERMIT ISSUED
Permit No. 986
JUL 3 1939

Class of Building or Type of Structure Second Class

Portland, Maine, July 5, 1939.

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 651 Congress Street Within Fire Limits? Yes Dist. No. 1

Owner's or Lessee's name and address. John Trouvalis, 651 Congress Street Telephone

Contractor's name and address Ballard Oil & Equipment Co., 551 Cumberland Avenue Telephone 2-1971

Architect Plans filed No. of sheets

Proposed use of building Mercantile (Splendid Restaurant) No. families

Other buildings on same lot None

Estimated cost $ 1200.00 Fee $ 3.75

Description of Present Building to be Altered

Material Brick No. stories 2 Heat Style of roof Roofing

Last use Mercantile No. families

General Description of New Work

To install refrigeration equipment for air conditioning of restaurant

No part of this equipment will be installed in the kitchen or the cellar except one or more supply and return ducts for cooling the kitchen.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys Material of chimney of lining

Kind of heat Type of fuel Is gas fitting involved?

Framing Lumber—Kind Dressed or Full Size?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2"x4"-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner John Trouvalis
By Ballard Oil & Equipment Co.
By P. E. Tarbell

INSPECTION COPY

Permit No. 38/986

Location 631 Oregon St

Owner [illegible]

Date of permit 7/6/38

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 11/23/38 [illegible]

Cert. of Occupancy issued See Comp. C-38-122

NOTES

[illegible]

APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, March 28, 1928 APR 5 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 820 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address Casco Theatre, 820 Congress Street Telephone _____

Contractor's name and address James Patrick 750 Congress St. Telephone 4-2858

Architect _____ Plans filed yes No. of sheets 2

Proposed use of building Theatre, etc. No. families _____

Other buildings on same lot _____

Estimated cost $ 250 Fee $ .75

Description of Present Building to be Altered

Material wood No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To cover the walls of passageway to theatre with masonite as shown on plans - terra cotta masonite with metal covered joints, 5" metal baseboards, - pressed masonite [illegible] the top part of wall - this to be applied over present walls which are wood [illegible] covered with metal and shoetrock - 1x2" wood stripping -

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED

Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Casco Theatre By Jennie M. Chapman

INSPECTION COPY

Ward 6 Permit No. 38/392

Location 629 Dunham St.

Owner Jacob Tiesta

Date of permit 4/5/38

Notif. closing-in

Insp. closing-in

Final Notif.

Final Insp. 7/11/38

Cert. of Occupancy issued None

NOTES

4/15/38 - No work.

Contractor - Dog.

4/25/38 - Sewer Dug.

5/5/38 - Form Dug

5/11/38 - Footing Dug

5/17/38 - Footing - Inc.

5/23/38 - Found - Ex. Dug

7/11/38 - Found - Dug

7/19/38 Sent G.H.

APPLICATION FOR PERMIT

GENERAL BUSINESS ZONE

Permit No. 0159

PERMIT ISSUED

Class of Building or Type of Structure _____

Portland, Maine, February 16, 1938

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 629 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1

Owner or Lessee's name and address Lease Cosco Theatre, 629 Congress Street Telephone _____

Contractor's name and address Thomas Skinner Co., 147 Main Street Telephone 4-4746

Architect _____ Plans filed _____ No. of sheets _____

Proposed use of building Theatre No. families _____

Other buildings on same lot _____

Estimated cost $ 70. Fee $ .50

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use Theatre No. families _____

General Description of New Work

To make alterations in the Congress Street front of the theatre entrance consisting of reinforcing the east side wall next to the boarding residence with metal members and covering it with asbestos board or other equally non-combustible material, removing the present pipe scenbrace and the circular topped sign which now support on the Congress Street front and providing at the southeasterly corner of the passageway at the Congress Street line a three inch and a 1/10 pounds steel tank channel column which is to be fastened to the easterly side wall, supported on the foundation extending at least four feet below the grade of the ground sidewalk and is to support a section of wall about 8' x 7' over the main entrance and facing Congress Street. This high-up front wall to be framed with metal channels as indicated on sketch, these channels to be supported on the existing westerly wall of the entrance passageway and this high-up wall to be faced with sheet metal or equally non-combustible material, and the rear of it to be covered with similar material which will be fixed into the roof over the passageway to make the passageway and the new front all one compose, a structure. The front corners of the passageway, including the existing steel pipe column at the southwest corner, are to be encased in stainless steel.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____

Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2"-4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in each section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated in same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? No

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner by Thomas Skinner Cosco Theatre Thomas Skinner Co.

INSPECTION COPY

Ward 5 Permit No. 38/59

Location 639 Cumpsen St.

Owner Cecil Upgate

Date of permit 3/16/38

Insp. closing-in

Final Notif.

Final Insp. 3/14/38

Cert. of Occupancy issued None

NOTES

3/2/38 - Lath work

Plaster - O.K.

3/3/38 - Metal done

O.K.

3/11/38 - Final Insp. - 82 11/2

Water supply

Plumbing

Electrical

71-5-PIE-Tub-Sink

Insulation

Lower floor

Upper floor

Ceiling

Siding - Insulation

APPLICATION FOR PERMIT

Permit No. _____

Class of Building or Type of Structure Third and Second

Portland, Maine, November 12, 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 527½ Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address Paul S. Lunt, 402 Preble St. So. Portland Telephone _____

Contractor's name and address Portland Cabinet Co., 1019 Congress St. Telephone E-8066

Architect _____ Plans filed _____ No. of sheets _____

Proposed use of building Theatre No. families _____

Other buildings on same lot _____

Estimated cost $ 500. Fee $ .75

Description of Present Building to be Altered

Material brick No. stories 1½ Heat _____ Style of roof _____ Roof % _____

Last use Theatre No. families _____

General Description of New Work

To provide two pairs of double acting doors in passageway to theatre as shown on plan

NOTIFICATION BEFORE LATHING OR CLOSING-IN IS WAIVED.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

Height average grade to top of plate _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner By Portland Cabinet Works

INSPECTION COPY By Walter A. Scholes

OFFICE OF BUILDING INSPECTOR

Ward 5 Permit No. 37/1961

Location 6279 Wagner St.

Owner Carl Williams

Date of permit 11/13/37.

Notice closing-in

Insp. closing-in

Final Notif.

Final Insp. 3/17/38 - Defaulted

Cert. of Occupancy issued None

NOTES

3/18/38 Warrant sent

Final Insp. 3/30/38

3/31/38 Warrant dr

Def'd

File: 2.37/348-1

October 14, 1937

Mr. Carroll Beck,
1105 Washington Avenue,
Portland, Maine

Dear Sir:

It appears that there is a place in the partition separating the refrigerator room of John Trovalis at 631 Congress Street from the cellar underneath the Casco Theatre which has not been closed up by metal lath and plaster as agreed upon.

Please make arrangements to have this small opening completely covered with metal lath and plaster, thus making a complete separation between the part used by the restaurant and the cellar under the theatre, on or before October 25, 1937.

Very truly yours,

Inspector of Buildings

McD/H

cc: John Trovalis
631 Congress Street

SPECIFICATIONS ACCOMPANYING APPLICATION FOR PERMIT TO COVER ALTERATIONS IN THE BUILDING AT 631 CONGRESS STREET BY JOHN TROUVALIS

June 21, 1937

1. These specifications are to considered as much a part of the application for the permit as though written on the application form, but failure to mention any requirement of the Building Code herein shall not relieve contractor, tenant, or owner from compliance therewith.

2. This permit is intended to cover alterations in the rear of the restaurant at 631 Congress Street to the extent of lowering the floor of the rear enclosed passageway of the restaurant, which leads to the open passageway beside the Casco Theatre, about three feet and six inches, or cutting a doorway through the brick wall between this enclosed passageway and the cellar beneath the theatre, to partition off a space about five feet wide measured at right angles to this dividing wall, of a room in the cellar of the theatre formerly used for ventilating machinery, all of this work to be done as indicated on the plan.

3. The ceiling of this enclosed space to which the door leads, which is directly beneath the floor of the theatre, will be tightly and completely covered by metal lath and plaster, if this ceiling is not already so covered. In event this ceiling is now covered with wooden lath, even though plastered, the wooden lath will be completely removed over this space and metal lath and plaster applied. The new partition separating the new space provided from the balance of the room in the cellar will be covered on the cellar side from the existing floor to the ceiling with metal lath and plaster. The other side of this same partition will be covered from the top of a new platform to be built in this new space provided, to the ceiling.

4. This space is to be used as a refrigeration room cooled by mechanical refrigeration. The installer of the mechanical refrigeration machinery and equipment will apply either for a separate permit to cover the installation or for an amendment to this permit, and in either case furnish with the application a plan showing the arrangement of the machinery and refrigeration equipment together with the shut-off and controls of the same for files of the Fire Department.

5. The intent of this specification is to require a room which will be about four foot and nine inches by fourteen feet and six inches in floor area to be cut off from the theatre overhead and on the sides by construction of at least one hours fire resistance.

John Trouvalis

APPLICATION FOR PERMIT

Class of Building or Type of Structure _____

Portland, Maine, June 28, 1937 JUN 28 1937

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~install~~ the following building ~~structure equipment~~ in accordance with the laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 631 Congress Street Ward 5 Within Fire Limits? Yes Dist. No. 1

Owner's or Lessee's name and address John Trovalla, 631 Congress St. Lessee Telephone _____

Contractor's name and address Carroll Book, 1105 Washington Ave. Telephone 5-5229

Architect _____ Plans filed _____ No. of sheets _____

Proposed use of building Restaurant and theatre No. families _____

Other buildings on same lot _____

Estimated cost $ 150. Fee $ .75

Description of Present Building to be Altered

Material brick No. stories 2 Heat _____ Style of roof _____ Roofing _____

Last use Restaurant and theatre No. families _____

General Description of New Work

To partition off room for refrigeration about 4'9" wide by about 14'6" long in the cellar beneath the Gasco Theatre.
To cut in door from rear hallway of restaurant to reach this room
To adjust the floor of the hallway to get headroom for the door - all in accordance with plans and signed specifications attached hereto

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of _____

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____

Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? No

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of Lessee By John Trovalla

INSPECTION COPY

CERTIFICATE OF OCCUPANCY ISSUED

PERMIT ISSUED

Permit No. 0943

Ward 5 Permit No. 37/944

Location 131 Congress St

Owner John Tsakoulis

Date of permit 6/28/37

Part. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 7/8/38

Cert. of Occupancy issued None

NOTES

10/13/37 - Plans in from
Planning in Department
Town Council to
- Lev of new rooms
into Building and
Case Therefore
Hours Commercial
with small lots.
Adjoining Co
10/14/37 - Pl. Bldg - Issued
8/8/38 - Total Const. 100

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class NOV 8 1962

Portland, Maine, November 6, 1962

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 629 Congress Street Ward 5 Within Fire Limits? Yes Dist. No. 1

Owner's or Lessee's name and address Paul G. Lunt, 629½ Congress St. Telephone

Contractor's name and address Paul G. McLellan, 506 Ocean Avenue Telephone 4-8802

Architect's name and address

Proposed use of building Stores and Offices No. families

Other buildings on same lot

Plans filed as part of this application? No. of sheets

Estimated cost $ 150. Fee $ .75

Description of Present Building to be Altered

Material Br & Fr No. stories 2 Heat Style of roof Flat Roofing

Last use Stores and Offices No. families

General Description of New Work

To change store front from side to center recessed entrance, one supporting column to be set on 12" (see structural plan below front for foundation of same)

Front door will swing outwards in such a way that it will not swing over public sidewalk

NO EXTERIOR EXPOSED WOODWORK

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

Signature of owner Paul G. Lunt

Paul G. McLellan

INSPECTION COPY

Ward 5 Permit No. 36/1948

Location 029 Congress St

Owner Paul C. Lunt

Date of Permit 11/9/36

Notif. closing-in

Inspn. closing-in

Final Notif.

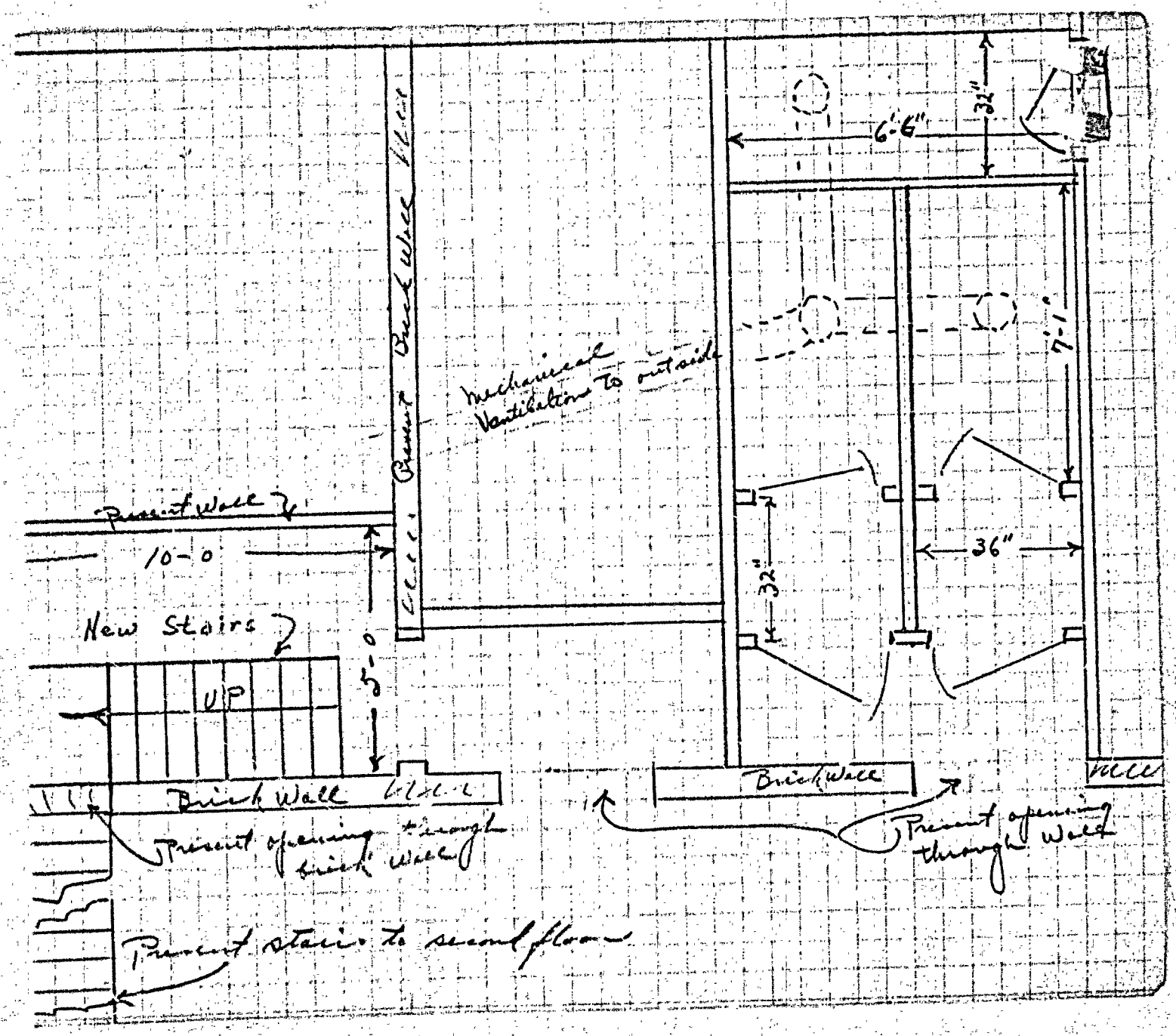
Final Inspn. 12/8/36

Cert. of Occupancy issued None

NOTES

11/23/36 Inspection was made and this to be a dwelling capacity the building had been modified and 11/23/36 - Work not yet completed

A.G.


Present Wall
10-0
New Stairs
UP
5'-0
Brick Wall
Present opening through brick wall
Present stairs to second floor
Brick Wall
Mechanical Ventilation to outside
6'-6"
32"
7'-1"
32"
36"
Brick Wall
Present opening through wall
Wall

Original Permit No. B-13770 PERMIT ISSUED

Amendment No. 1 JUN 16 1936

AMENDMENT TO APPLICATION FOR PERMIT

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, June 15, 1936

The undersigned hereby applies for an amendment to Permit No. 36/217 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 651 Congress Street Ward 6 With the Fire Limits? yes Dist. No. 1

Owner's or Lessee's name and address John Trovalis, 651 Congress St.

Contractor's name and address Carroll Beck, 1105 Washington St.

Plans filed as part of this Amendment yes Estimated cost $200

Increased cost of work $20. No. of Sheets 1

Additional fee $25

Description of Proposed Work

To relocate existing stairway, first to second floor, from kitchen of restaurant as shown on plan submitted, 2x3 studs 16" OC, to ceiling to provide new toilets in such a way that there will be little chance of both doors being open at the same time. Toilets will be ventilated by metal duct leading to outside air with suitable electric exhaust fan on outer end. Partitions to be covered on both sides.

Approved:

John Trovalis

Signature of Owner By Carroll E. Beck

Restaurant Inspector Department.

Approved: 6/16/36

9779

GENERAL BUSINESS ZONE

APPLICATION FOR PERMIT

Permit No. 0717 P

MAY 28 1936

Class of Building or Type of Structure Third

Portland, Maine, May 27, 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install~~ the following building ~~structure equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 631 Congress Street Trouvalis Ward 6 Within Fire Limits? yes Dist. No. 1

~~Owner's~~ or Lessee's name and address John Travales, 631 Congress Street Telephone

Contractor's name and address Portland Cabinet Works, 1019 Congress St. Telephone 7-6055

Architect's name and address

Proposed use of building Restaurant and tenement No. families

Other buildings on same lot no

Plans filed as part of this application? yes No. of sheets 1

Estimated cost $ 500. Fee $ .75

Description of Present Building to be Altered

Material frame No. stories 2½ Heat Style of roof Roofing

Last use Restaurant and tenement No. families

General Description of New Work

To provide new store front changing entrance from front center to side, no structural change. No exposed woodwork, aluminum black glass to be used.
To set non-carrying partition on back about 10', new toilet rooms to be covered under the existing entrance door, one swings in, each door 26" wide, one swinging in and the other swinging out. The new entrance will consist of double doors,

Approved by Restaurant Inspector 5/28/36

CERTIFICATE OF OCCUPANCY RESTAURANT & WAREROOM

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front depth No. stories Height average grade to top of plate

To be erected on solid or filled land? Height average grade to highest point of roof

Material of foundation Thickness, top bottom earth or rock?

Material of underpinning Height Thickness

Kind of Roof Rise per foot Roof covering

No. of chimneys no Material of chimneys of lining

Kind of heat Type of fuel Is gas fitting involved?

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot, to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner By: John Travales
Portland Cabinet Work
John Nicholas

PH
6/4/36

Permit No. 36/717 P

Location 621 Congress St.

Owner John Trovalis

Date of permit 5/28/36.

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued none

NOTES

6/5/36 - Work started - A.J.S.

6/23/36 - [illegible]

7/1/36 - [illegible] A.J.S.

7/7/36 - Mr Trovalis to come in to apply for permit to install oil fired range and gas range. Also to see about [illegible] A.J.S.

ranges to new location. A slab of concrete 6" thick to be placed on wooden floor. Coal range to be supported on metal so that there is a 1½" air space between bottom of range and concrete and about 3½" air space between bottom of ash pit and curb and concrete. There is no hood and the chimney flue is entirely to low. He made application himself and is to apply for permit. A large exhaust fan in rear wall of building which exhausts odors, etc from kitchen will be installed to ventilate toilets as per fire. Mr. Stoddard will

in front of this fan. The exhaust is to be taken to the roof. The fan is to be connected to the running toilets. Revisited Potchen - A.J.S.

7/10/36 - Spoke to Mr Trovalis again about permit. Also told him a shield will have to be provided and vent pipe from toilets overrange will have to be extended to outside air and be equipped with an exhaust fan - A.J.S.

1/6/38 - No hood or no zoo no permits for alteration - no change in ventilation of toilet rooms.

1/7/38 - Letter - ms

2/2/38 - No permit for range installation applied for, no hood provided, and toilet room ventilation not taken care of. Tinkrocker

or measuring up to take care of toilet vent - AJS

7/16/38 - Mr. Trovalis says Mr Taylor of 701 B. Bonney & Son has authority to make arrangements for this work - tell the boys to find the hood and the toilet fan

mm

9/2/38 - Ventilation & hood taken care of

J. I. m

mm

File: P. 36/717-I

January 7, 1938

Mr. John Trouvalis,
631 Congress Street,
Portland, Maine

Dear Sir:

With relation to your restaurant at 631 Congress Street, I find that you have done nothing to correct the conditions which existed in violation of the Building Code in the restaurant and of which you were aware in July 1936.

These conditions are as follows:

You have relocated the coal-fired range and a gas range in the kitchen without first securing a permit to cover the change. You have not provided a hood of incombustible material over the ranges or over the electric frying stove in the same set-up. The electric frying stove has been set up by you or some other party without first securing a building permit.

When you made the alterations in 1936 providing two new toilet rooms, the metal ducts ventilating or intended to ventilate the toilet rooms was run through the kitchen and stops with an open end directly in front of a very large exhaust fan in the rear outside wall of the kitchen in spite of the fact that it was agreed in the application for the permit and required by the Building Code that you extend the duct through the outside wall and provide an exhaust fan to serve this duct alone.

On January 6th the large exhaust fan in the outside wall of the kitchen was out of commission and, although you had an auxiliary fan on a stand in the kitchen in operation, there can be no doubt that the toilet rooms were then ventilating into the kitchen, contrary to the rules of common sense as well as the rules of the Health Department.

If the relocation of these ranges is not properly covered by building permit, if the required hood is not provided over all of the ranges, and if the toilet rooms are not ventilated as required by the Building Code on or before February 1, 1938, I shall seek a warrant from the Municipal Court against you, personally, for violation of the Building Code, without further notice to you.

Very truly yours,

WMcD/H

Inspector of Buildings

Copy for Thomas Skinner

December 7, 1934

File Permit No. 34/18978-I

Mr. John Trouvalis,
651 Congress Street,
Portland, Maine.

Dear Sir:

With relation to the storm porch which you have provided outside of the rear door of your restaurant at 651 Congress Street, an inspector from this office reports that you have used wooden sheathing upon the metal frame of the roof and have just covered this sheathing with metal on the outside in spite of the fact that the Chief of the Fire Department told you, in my presence, that any wood or combustible material of any description in the roof would not be satisfactory and in spite of the fact that the application for the permit, placed over your signature, that the roof will be built without the use of wood or other combustible material.

Under these circumstances it is necessary for me to require that you have this woodwork in the roof removed completely on or before December 15, 1934.

Very truly yours,

McD/H

Inspector of Buildings.

APPLICATION FOR PERMIT

Permit No. PERMIT ISSUED NOV 16 1934

Class of Building or Type of Structure _____

Portland, Maine, November 16, 1934
Supersedes application of 12/7/21

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter ~~install~~ the following building ~~structure equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 631 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1

~~Owner or~~ Lessee's name and address John Trouvalis, et al 631 Congress Street Telephone _____

Contractor's name and address Roman Rodrigue, 150 Free Street Telephone _____

Architect's name and address _____

Proposed use of building Restaurant No. families _____

Other buildings on same lot _____

Plans filed as part of this application? _____ No. of sheets _____

Estimated cost $ 75. Fee $ .50

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To build storm porch outside of rear door of restaurent approximately 12' deep and 4' wide. This porch is to be between the brick walls of two existing buildings which are 4' apart. All window and door openings in these brick walls which will come within the porch enclosure will be closed permanently with brick masonry. The floor of the porch is to be supported by 4x4 posts no more than 6 feet on centers bolted to brick walls - on these posts are to be laid 4x8 with 8" vertical and crossways on the 4x8's are to be laid 2" tongued and grooved plank on four foot span. The frame and covering of roof are to be of metal or similar incombustible material without the use of wood or other combustible material.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____

Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____

To be erected on solid or filled land? _____ earth or rock? _____

Material of foundation _____ Thickness, top _____ bottom _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof _____ Rise per foot _____ Roof covering _____

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____

On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? _____

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? _____

INSPECTION COPY

Signature of owner John Trouvalis

6648A

GENERAL BUSINESS ZONE

Permit No. _____

APPLICATION FOR PERMIT

New plan received 11/8/34.

Class of Building or Type of Structure Second Class

Portland, Maine, December 7, 1931

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ alter ~~install the~~ following building ~~plumbing equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 651 Congress Street Ward 5 Within Fire Limits? yes Dist. No. 1

~~Owner's or~~ Lessee's name and address John Trouvalis et al 651 Congress St. Telephone _____

Contractor's name and address Roman Rodrigue 150 Free St. Telephone F 7466 X

Architect's name and address _____

Proposed use of building _____

Other buildings on same lot _____ No. families _____

Plans filed as part of this application? yes

Estimated cost $ 40 No. of sheets 1

Fee $ .50

Description of Present Building to be Altered

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Last use _____ No. families _____

General Description of New Work

To provide roof over passageway between two buildings about 4' x 18'

NOTIFICATION OF CONSTRUCTION

CERTIFICATE OF OCCUPANCY REQUIREMENT

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Size, front _____ depth _____ No. stories _____ Height average grade to top of plate _____

To be erected on solid or filled land? _____ Height average grade to highest point of roof _____

Material of foundation _____ Thickness, top _____ bottom _____ earth or rock? _____

Material of underpinning _____ Height _____ Thickness _____

Kind of Roof Pitch flat Rise per foot 3" Roof covering asphalt roofing Class C Und Lab

No. of chimneys _____ Material of chimneys _____ of lining _____

Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____

Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____

Material columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof 2x8

On centers: 1st floor _____, 2nd _____, 3rd _____, roof 11"

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 8'

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____ to be accommodated _____

Total number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner John Trouvalis by Roman Rodrigue

6-48-PS

Ward 5 Permit No. 34/1897

Location 631 Congress St.

Owner John Trionvalis et al

Date of permit 11/16/34

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn. 6/5/35

Cert. of Occupancy issued None

NOTES

11/2/34 - Work started A.G.S.

11/28/34 - Work nearly completed. Roof side of construction of angle iron frame with matched sheathing covered on top with sheet iron roof covering A.G.S.

12/7/34 - Better - Jmd

12/21/34 - Chimney flashing with sheet metal covering over at attic door on inside front. Work not as yet done - A.G.S.

1/9/35 - Work not done - A.G.S.

2/7/35 - Same - AGS

6/5/35 - Metal on inside of roof - A.G.S.

(G) GENERAL BUSINESS ZONE

PERMIT ISSUED
OCT 28 1924

APPLICATION FOR PERMIT TO ERECT SIGN OVER PUBLIC SIDEWALK OR STREET

Permit No. 1737

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine, October 23, 1924 19

The undersigned hereby applies for a permit to erect the following described sign extending over a public sidewalk or street in accordance with the Building Code of the City of Portland, and the following specifications:

Location 627½ Congress Ave Ward 5 Within Fire Limits? Yes Dist. No. 1

Owner of building to which sign is to be attached Paul Kent 192 Public St. Co. Portland

Name and address of owner of sign Green Theater 627½ Congress St.

Contractor's name and address United Neon Display 27 Monument Sq. Telephone 2-0335

When does contractor's bond expire? October 1955

Information Concerning Building

No. stories 3 Material of wall to which sign is to be attached Brick

CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.
NOTIFICATION BEFORE LATHING OR CLOSING-IN IS WAIVED.

Details of Sign and Connections

Electric? Yes Vertical dimension after erection 42" Horizontal 10"

Weight 600 lbs., Will there be any hollow spaces? Yes Any rigid frame? Yes

Material of frame Angle Iron No. advertising faces 2, material Glass & Metal

No. rigid connections 2 Are they fastened directly to frame of sign? Yes

No. through bolts none, Size , Location, top or bottom

No. guys 3, material Angle Iron, Size 3x3x3/16

Minimum clear height above sidewalk or street 15'-0

Maximum projection into street 4'-0

Oliver T. Sanborn
CHIEF OF FIRE DEPT.

Signature of contractor United Neon Display
J. Curry

Fee $1.00

INSPECTION COPY

3167

PERMIT TO ERECT SIGN
OVER SIDEWALK OR STREET

Permit No. C91/1751

Ward 9

Owner Carolina Apartments

Date of permit 10/16/91

Sign Contractor

Final Insp.

NOTES

√Copy given to Mr. Dennis Down, Mgr. of Casco Theatre on 6/20/34
#33/80-I

June 12, 1934

Mr. J. H. Middlebrook
12 Elm Street
Portland, Maine

Dear Sir:

With reference to the sign which you propose to hang for E. M. Loew's Theatre Corporation at 627½ Congress Street, and the sketch of the sign which you filed here some time ago, I presume that you are getting your information with regard to the wiring from the Electrical Inspector because I am not undertaking to pass upon this part of the work.

With regard to the structure of the sign and the proposed fastenings, I was unable to examine all of the interior of the sign, but one of the side angles of the frame of the sign is badly corroded at the bottom and it seems to me that this entire angle, at least, must be replaced. Apparently all of the angles making up the frame of the sign, except those at the top and the bottom, are only 1/8th inch in thickness which is lighter than we are now approving for new signs, but inasmuch as a permit has actually been issued for the erection of this sign once, I feel that we should go along with this thickness of angles in this particular sign. Some of the wooden mouldings which hold the glass in place require repairs and proper fastening to the sign itself.

You have given the weight of the sign as 360 lbs. I am unable to find where you get so much weight, but have assumed that you are right. I am unable to approve the arrangement shown where the main supporting angles at top and bottom are spliced, and I think it will be necessary to have at least one bolt down through the timbers of the roof fastening the upper main angle. If you care to substitute for the angle that runs to the roof, a 3" x 3" x ½" angle extending to the outside edge of the sign and securely bolted to the angle iron frame of the sign, and with at least two bolts into the roof, one of them to be a through bolt, I shall be able to approve the rest of the connections.

Very truly yours,

Inspector of Buildings.

WM/HG

#33/80-I

November 2, 1933

Mr. J. H. Middlebrook
12 Elm Street
Portland, Maine

Dear Sir:

With relation to the sign intended for the Casco Theatre to project over the public sidewalk of Congress Street, the design drawing which you furnished several days ago is not complete enough for me to definitely check the arrangement.

If the drawing is to scale, the scale is not noted. The overall dimensions and detailed dimensions such as that of the thickness of the box of the sign, the weight of the sign, the fact as to whether or not there is any special electrical equipment inside the sign such as transformers and the location of the same, the size of the lag bolts into the vertical studs of the building, and the size of some of the angles and some of the bolts are not shown. The gauge of the metal covering of the sign is not shown.

It is necessary for me to have sufficient information so that I can check within a few pounds the actual weight of the sign, where all special loads are applied, and whether or not the frame of the sign and the fastenings to the building are adequate to take these loads.

You have furnished no location plan of the sign since the sign has been taken down, neither does the plan show the angles at which the sign guys take off from the building or from the sign.

I take it that you do not wish me to take anything for granted with regard to this sign, but that you are submitting to the owner a figure for which you intend to strengthen this sign and hang it. Undoubtedly, you do not wish me to guess at some of the details and then findout later after you have the job that they are not satisfactory. I dislike very much to appear to be unduly precise about these matters, but since this department has started out on a new program with regard to projecting signs, I think that we must set certain standards and live up to them. I suggest that you submit a design plan and a location plan at the present time precisely in the same manner as you would be expected to do if this proposition had never been before this office before. Of course, it is not necessary for you to apply for a new permit. This is the only difference as against an entirely new job.

As soon as time will permit, I hope to furnish to each bonded sign hanger a typical drawing, showing about what is needed in this office before a permit can be issued, this to aid all of the sign hangers in accommodating themselves to our needs, a task which I realize fully will be quite difficult.

I shall go over this proposition at the Casco Theatre carefully and in

#33/80-I

November 2, 1933

Mr. J. H. Middlebrook—2

detail as soon as full information is furnished. It is also necessary, of course, that the Electrical Inspector be satisfied as regards the wiring and electrical equipment in and about the sign.

Very truly yours,

Inspector of Buildings.

WLJ/HO

JOSEPH S. CIFRE
President

JOSEPH V. COMERFORD
Vice Pres. and General Manager

ENGINEERS MANUFACTURERS DESIGNERS

EAGLE SIGN COMPANY

ELECTRICAL ADVERTISING
575 Albany Street - Boston, Massachusetts
TELEPHONE LIBERTY 0861

DISTINCTIVE
COMMERCIAL and THEATRICAL
ELECTRICAL DISPLAYS

OUTDOOR ADVERTISING
POSTER and
PAINTED DISPLAYS

Sept. 23, 1933

Mr. Warren McDonald,
Inspector of Buildings,
City of Portland, Maine.

Dear Sir:

The writer had planned to be in Portland yesterday but on account of the bad weather we encountered on a very large job in down town Boston we have been held up, and I was delayed in getting to Portland.

I will be at your office next Tuesday morning, September 26th, and will take up the matter of the Casco Theatre sign with you at that time.

Very truly yours,

EAGLE SIGN COMPANY

William Werner.

WW-SG

EAGLE SIGNS on the BOSTON SKY LINE
HOTEL STATLER
NORTH STATION BOSTON GARDEN
EDISON NEON CLOCK
HOTEL SHERATON
PARK SQ. MOTOR MART

JOSEPH S. CIFRE
President

JOSEPH V. COMERFORD
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DISTINCTIVE
COMMERCIAL and THEATRICAL
ELECTRICAL DISPLAYS

OUTDOOR ADVERTISING
POSTER and
PAINTED DISPLAYS

Aug. 31, 1933

Mr. Warren McDonald,
Inspector of Buildings,
City of Portland, Maine.

Dear Sir:

Thank you for your letter of August 25.

We have talked over the matter of the sign at the Casco Theatre with Mr. E. M. Loew, and this is to advise you that our representative will be in Portland on Thursday, September 7 and will see that this matter is adjusted to the satisfaction of yourself and the electrical inspector.

Assuring you of our co-operation in this matter, we beg to remain

Very truly yours,

EAGLE SIGN COMPANY

W. Thernel

WW-SG

EAGLE SIGNS on the BOSTON SKY LINE
HOTEL STATLER
NORTH STATION BOSTON GARDEN
EDISON NEON CLOCK
HOTEL SHERATON
PARK SQ. MOTOR MART

HANCOCK 3473-4-5

E. M. LOEW'S THEATRES

216 TREMONT STREET BOSTON, MASS.

August
26th
1933.

Mr. Warren McDonald
Inspector of Buildings
City of Portland
Maine.

Dear Mr. McDonald:

Replying to yours of the 25th, I want to inform you that, though the time is short I will do my level best to carry out your request by September 1st. If I find I cannot do so I shall let you know Wednesday morning.

Very truly yours,

EML:T

RECEIVED
AUG 28 1933
DEPT. OF BLDG. INSP.
PORTLAND

HANCOCK 3473-4-5

E. M. LOEW'S THEATRES

216 TREMONT STREET BOSTON, MASS.

August
four
1933.

Mr. Warren McDonald
Building Inspector
City of Portland
Maine.

Dear Mr. McDonald:

I know when I see a letter from you that it means bad news. I expect to be in Portland the first part of next week and shall see the electrician - I shall also pay you a visit at that time.

Very truly yours,

EMLoew

EML:T

33/80-I

August 25, 1933

Mr. E. M. Loew
216 Tremont Street
Boston, Mass.

Dear Mr. Loew:

With relation to the sign at the Casco Theatre, I appreciate your prompt reply.

I think I am correct in the statement that this sign had never been hung in the City of Portland, at least over the sidewalk, prior to the time that it was placed in its present position.

The sign does not comply with the requirements in two particulars. The fastenings and supports of the sign are not the same as the sign hanger agreed to put in when the application for the permit was filed, and they are not heavy enough to support the sign and to maintain it in case of high winds so that it will be undoubtedly safe. It might be possible to correct these deficient features without taking the sign down, but I doubt it and believe it would not be economical.

The sign is not wired properly, and the Electrical Inspector not only will not approve it, but he will not allow the sign to be connected for lighting. He tells me that it is not possible to correct this deficiency in the electrical work without taking the sign down.

I have already dismissed consideration of some minor details in which the sign does not precisely comply with our law, but these, too, cannot be so dismissed.

We would gladly have examined the sign before it was erected had we been notified that you desired it.

There is only one solution to this problem, and that may only be accomplished by first removing the sign. The date of September 1, 1933 set in my letter of August 22nd still stands.

Very truly yours,

Inspector of Buildings.

WM/HC

R-9/1/33

August 25, 1933

Eagle Sign Company
575 Albany Street
Boston, Mass.

Gentlemen:

Your prompt cooperation is requested to clear up a situation which has arisen with relation to the erection of a sign for E. M. Loew at 827½ Congress Street in this city.

Long before this sign was hung, a representative from your company came to this office and I put in considerable time explaining to him the requirements for hanging signs over public sidewalks, these requirements including one for bonding of the sign hanger.

Some time later, we received a bond executed in the name of your company by the New Amsterdam Casualty Company, Wallace Egerton, Agent. Some time after that application for a permit to cover hanging a sign in the same location about which your representative talked was received from J. H. Middlebrook, a sign hanger in this city. This permit was issued. Apparently there was some arrangement between your company and Mr. Middlebrook, as it appears that Mr. Middlebrook did not hang the sign, but that your workmen did hang it.

The supports of the sign are not in accordance with the information given with the application for the permit and are not adequate in the opinion of this department. The electrical work in connection with this sign is not satisfactory to our Electrical Inspector and he will not allow the electric wires to be connected to the sign. The sign cannot be fixed so as to comply with the requirements without being removed.

Some time after the sign had been hung, we received a request for information from your bonding company to ascertain if you had hung any signs under the bond. Knowing of the arrangement between you and Mr. Middlebrook, we were under the impression that Middlebrook had actually hung the sign and told the bonding company that you had hung no signs in the city under the bond. It is perfectly clear now that you had hung this sign.

After I had informed Mr. Loew that he must have the sign removed, he writes me in part as follows: "the Eagle Sign Company hung that sign claim there is not enough money in it to go up and take it down again. Their contract was only to take it down and hang it at the Casco, there were no alterations made, except for painting the sign....."

I believe that your company has violated the Building Code of the City of

August 25, 1933

Portland in that you actually hung the sign and had notpermit in your name as required by law so to do. I believe in all fairness you are obligated to have the sign removed either doing the work with your own forces, or having Mr. Middlebrook do it.

Please let me know at once what you propose to do under these circumstances.

Very truly yours,

Inspector of Buildings.

JHS/KC

HANCOCK 3473-4-5

E. M. LOEW'S THEATRES

216 TREMONT STREET BOSTON, MASS.

August
24th
1933.

Mr. Warren McDonald
Inspector of Buildings
Portland, Me.

Dear Mr. McDonald:

I have your letter of the 22nd. I was up to Portland but arrived too late to see you.

The Eagle Sign Company who hung that sign claim there is not enough money in it to go up and take it down again. There contract was only to take it down and hang it at the Casco, there were no alterations made, except for painting the sign, and that is why I cannot understand why if it met with the city regulations before, it is not all right now. It is not so much fixing it up to meet with your requirements, as it is the trouble to have it taken down and hung again. It is too bad it was not seen before it was hung.

However, it is my desire to give you full cooperation, and I would appreciate your forwarding me a copy of your engineer's report, as to just what is wrong with the sign now.

I wish you would eliminate some of the smaller requirements as the sign is really only used one hour each evening, for if you think the sign is fastened strongly, that is there is no danger of it falling, I would then not have to hire someone in Portland to strengthen it. If you could let the matter rest with minor improvements I will greatly appreciate it. Had I known before the sign was hung that you did not approve of it I surely would not have gone against your orders.

Very truly yours,

EML:T

33/00-I

Copy to Mr. J. H. Middlebrook, 12 Elm Street

August 22, 1935

Mr. E. N. Loew
218 Tremont Street
Boston, Mass

Dear Mr. Loew:

I have your note of August 4th, saying that you would be in Portland the week of August 7th and would come in about the sign. You did not turn up.

This sign proposition has dragged along for more than six months, and apparently little progress has been made. Since it is undoubtedly necessary that the sign be taken down to make the necessary changes so that it may comply with the law, will you not order your sign man to take the sign down at once and hold it for your decision as to altering it and hanging it again?

I cannot be satisfied to allow the sign to remain under the circumstances very much longer, and if cooperation on your part is not forthcoming, I shall have to seek some legal course to force the removal of the sign.

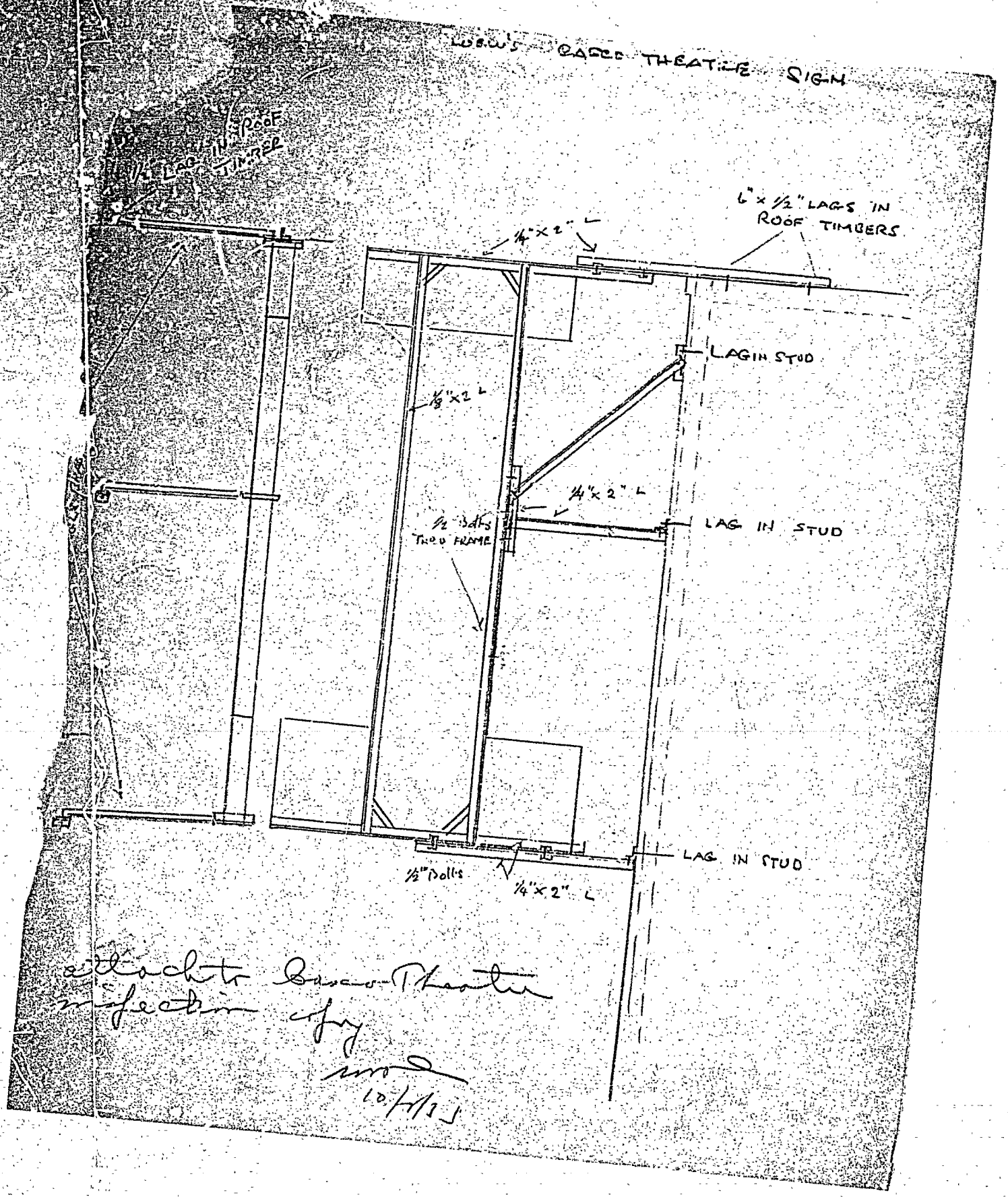
If the sign is not removed by September 1, 1935, I shall assume that you do not intend to cooperate with this department in getting the matter cleared up.

Very truly yours,

Inspector of Buildings.

W/M

LOEW'S PARCO THEATRE SIGN



attached Parco-Theatre
inspection copy
10/1/15

33/80-I

Copy to Mr. J. H. Riddlebrook, 12 Elm Street July 31, 1935

E. M. Loew's Theatre Corporation
216 Tremont Street
Boston, Mass.

Gentlemen:

I am writing to you concerning a sign which has been erected at 627½ Congress Street in this city for E. M. Loew's Theatre Corporation.

This sign is an electric sign and was erected under permit No. 33/80 issued from this office on January 24, 1933. The permit was issued to J. H. Riddlebrook, a local sign hanger, but I am advised that he merely supervised the work as he is a local sign hanger, while the real work was done by the Eagle Sign Company of Boston.

The fastenings of the sign are not adequate and are not in accordance with the details shown in the application for the permit. Furthermore the City Electrician has condemned the sign as far as its electrical arrangements are concerned, and says that it is not possible to make the sign comply with the requirements without removing the sign and doing considerable work upon it.

Under these circumstances it seems necessary to remove the sign, although you may desire to have it rebuilt and erected at the same location at a later date. Will you not, therefore, give orders to your sign company in Boston to have the sign removed and as to its disposal, this to be done without delay, so that we may avoid the unpleasant steps necessary to compel the removal of the sign.

Will you be kind enough to acknowledge receipt of this letter, and let me know direct what you propose to do in the matter?

FM/HC

#33/80-I
Extra copy sent to J. H. Middlebrook

May 23, 1933

Mr. J. H. Middlebrook
12 Elm Street
Portland, Maine

Dear Sir:

With reference to the sign erected for E. M. Loew's Theatre Corporation at 627½ Congress Street, and to my letter of April 12, 1933 calling your attention to the fact that the sign had been erected contrary to the specifications contained in the application and that the design of the fastenings was not considered adequate, and suggesting that the sign be removed completely from the building and either altered to satisfy the requirements, or else be left down on or before April 18, 1933, has not produced any concrete result. The sign is still in place in practically the same condition as before my complaint.

I am compelled to require that you have the sign completely removed on or before June 10, 1933, or we shall find it necessary to proceed as directed by law to enforce the ordinance.

Very truly yours,

Inspector of Buildings.

WMJ/EEC

JOSEPH V. COMERFORD
Vice Pres. and General Manager

...ERS ... MANUFACTURERS ... DESIGNERS

EAGLE SIGN COMPANY
ELECTRICAL ADVERTISING
575 Albany Street - Boston, Massachusetts
TELEPHONE LIBERTY 0861

DISTINCTIVE
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OUTDOOR ADVERTISING
POSTER and
PAINTED DISPLAYS

April 24th, 1933.

J. H. Middlebrook,
12 Elm Street,
Portland, Maine.

Gentlemen:

With reference to the vertical sign at the Casco Theatre, Portland, Maine we are enclosing herewith report made by our Construction Dept. in connection with the complaint of Mr. W. McDonald, Bldg. Inspector.

Plans for this sign had been made up on the basis that it would be newly constructed, but as the sign was an existing one and had been taken down from another of E.M.Loew's houses, the center leg shown on the plan was not put on.

I have made computations as per the attached report showing that the sign will be safe without the above mentioned member.

The bottom angle that goes from the sign to the building is of 1/8" metal which of course should not be used in outdoor installations.

Will you please take the matter up with Mr. McDonald and see if he will pass the sign if you bolt another 1/8" angle to the one now in the sign making the aggregate section 1/4" which would be sufficent.

With reference to the wooden moulding that the glass faces are set in, I do not believe same unsafe in any way, even though the regulations require the exclusive use of non-combustible materials. The wooden mouldings are protected at the back and at the side by sheet-metal and if a fire should start in the sign it would be entirely confined to the insulation of the wires.

Will you please see if you can straighten this [illegible] McDonald and advise us.

Vertical sign at Casco Theatre, 627½ Congress St., Portland, Me.
Complaint of Mr. Warren McDonald, Building Inspector

1. Missing center leg from sign to building.

Although shown on plan and omitted when sign was erected I find upon computation that the leg is not necessary and that the sign will be safe without it. Further the outside vertical iron in the sign has a swaybrace supporting it against lateral bending. Not regarding the presence of this brace and figuring the vertical irons as unsupported laterally from the top to the bottom of the sign, a length of 14'6", the following computations result:

Windpressure one angle only (one-half area of sign)

W equals (1 x 11 x 10) plus (2 x 1.5 x 10) plus (2 x 2.5 x10)
W equalss190

$\frac{Wl}{8}$ equals $\frac{190 \times 14.5 \times 12}{8}$ equals 4133

Sec required $\frac{4133}{18000}$ equals 0.23

2x2x¼ angle used has sectin of 0.25

2. Wooden molding.

Although the regulations specify that combustile material shall not be used in the construction of signs, this molding is merely ornamental and serves no structural purpose. It is protected at the back and at the sides by sheetmetal.

3. Splice in top angle.

This splice was necessary as the sign originally only had a 15" piece of angle sticking out. The splice is made in an approved manner with 3 bolts and I cannot see where it would be structurally unsound.

4. Bottom angle

Is of 1/8" material. This should be changed to ¼" at least as the use of material less than ¼" in secondary construction is prohibited by law.

William Werner.

April 18, 1933

33/80-I

Copy to E. M. Loew's Theatre Corp. 216 Tremont St., Boston, Mass.

April 12, 1933

Mr. J. H. Middlebrook
12 Elm Street
Portland, Maine

Dear Sir:

Upon examination of the sign which you have erected projecting over the public sidewalk at 627½ Congress Street for E. M. Loew's Theatre Corporation, I find that the electrical sign has wooden moulding around the face of it although an electric sign is required to be entirely of incombustible material; and further I find that the sign is not adequately supported and has not been erected as called for in the sketch submitted with the application.

The plan with the application indicates that there are to be three 3x3x¼ inch angles besides the guys, one at the top, one at the middle, and one at the bottom. There are only two angles directly supporting the sign, one at the top and one at the bottom, and the one at the bottom is 1/8th inch thick instead of ¼ inch thick. Furthermore the support at the bottom is broken up with two connections in a [illegible] which is not structurally sound.

Under the circumstances, I believe it will be necessary to remove the sign completely from the building, altering it to satisfy the requirements and again erect it in a manner calculated to safely hold the sign in position, or also leave the sign down and forego the use of it.

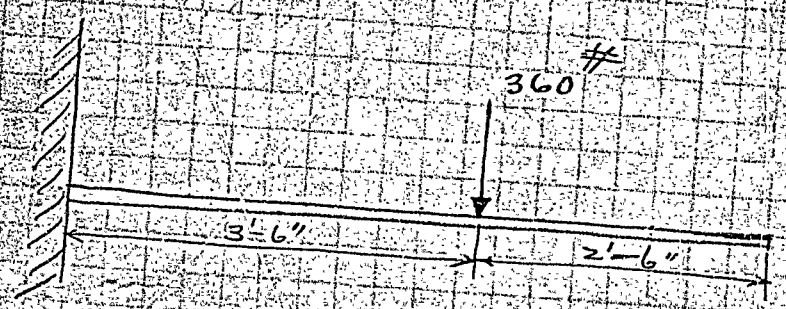
Please attend to this matter on or before April 18, 1933.

A copy of this letter is being sent to the owner of the sign.

Very truly yours,

Inspector of Buildings.

E.M. Loew Theatre, Sign = 627 1/2 Georgia St.



$M = Wb = 360 \times 3.5 \times 12 = 15120$ in lb.

Required sect mod. $= \frac{15120}{18000} = 0.84$

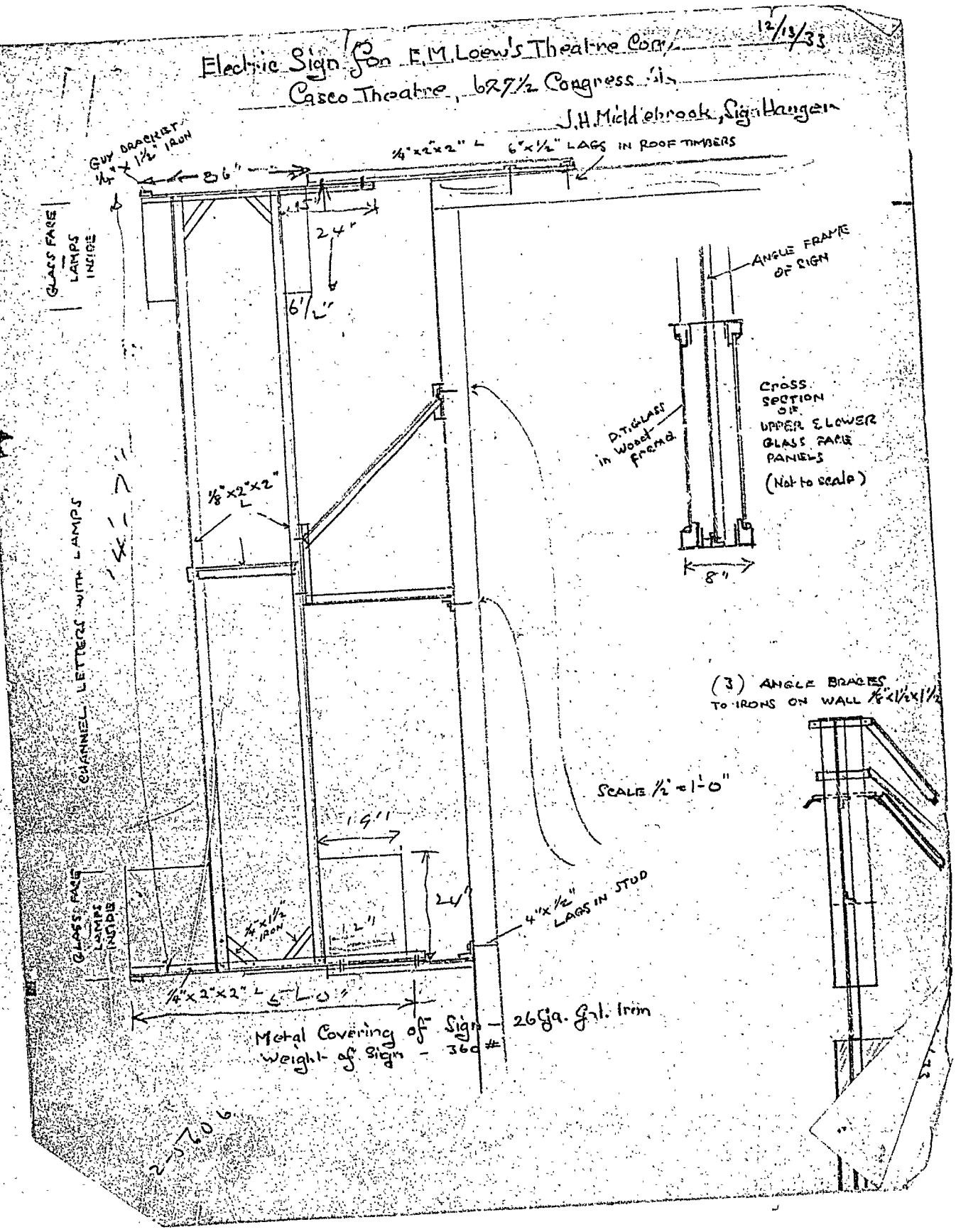
Sect. mod of 2 1/2" x 2 1/2" L x 1/4" L = 0.39.

OK 3 L's used = 1.17

Electric Sign for F.M. Loew's Theatre Corp. 12/13/33

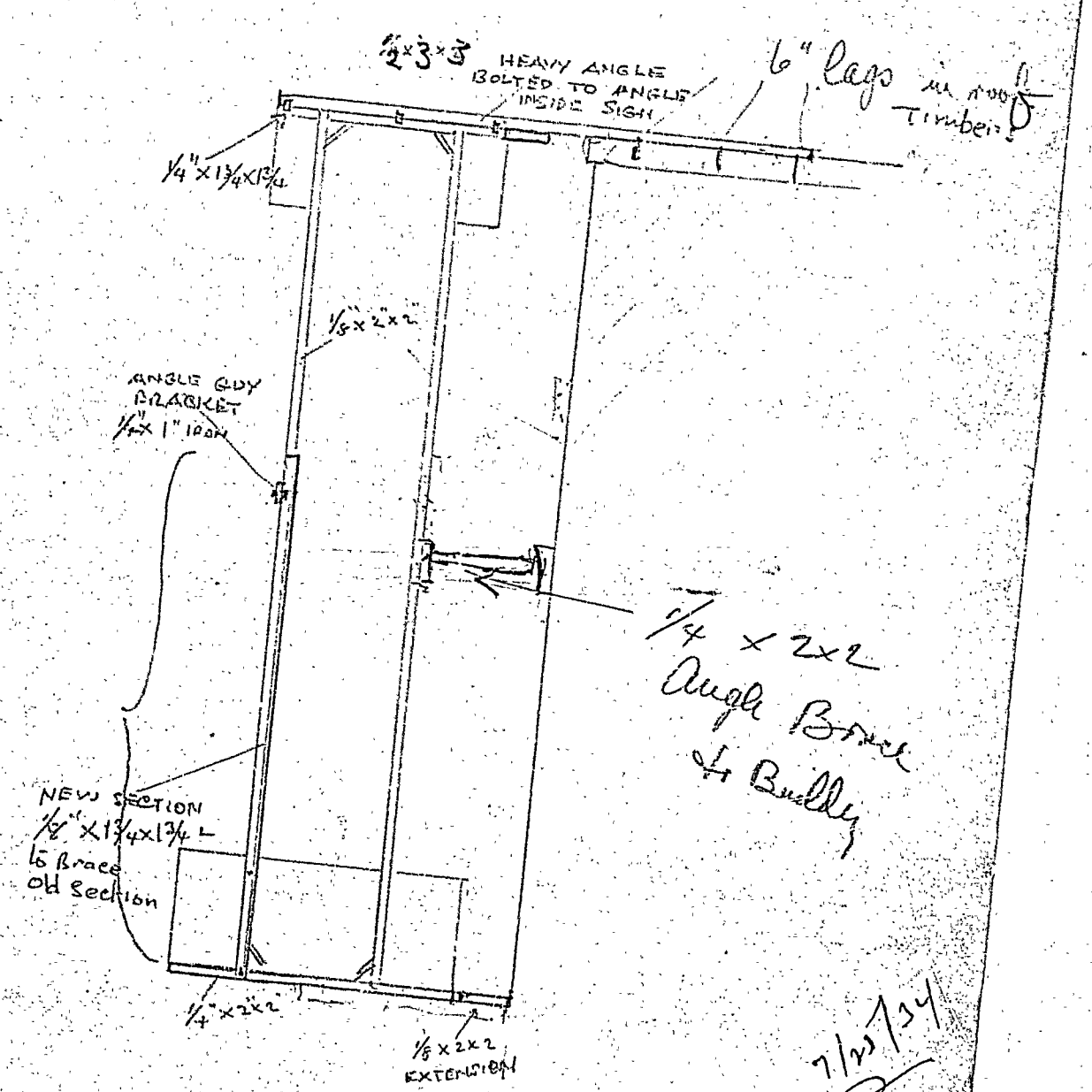
Casco Theatre, 627½ Congress St.

J.H. Middlebrook, Sign Hanger



Electric Sign for E.M.
CASCO THEATRE.

7/27/34



Rec'd 7/25/34

Sign for E.M. Boen at 623 1/2 Bonnie Ln

Weight

31 ft 2x2x1/8" L = 31 x 1.65 = 51 #

8 ft 2x2x1/4" L = 8 x 3.19 = 26 #

44 sq ft 26 ga metal = 44 x 0.65 = 29 #

32 sq ft glass = 32 x 3.5 = 112 #

Misc = 30 #

248 #

Cantilever at top 4 x 360 x 12 = 1440 x 12

$\frac{1440 \times 12}{3} = \frac{2,880}{3} = 0.96$

Wind

$\frac{360 \times 15 \times 12}{8} = 675 \times 12$

$\frac{675 \times 12}{3} = \frac{1,350}{3} = 0.45$

All main angles to be at least 3/16"

Fastenings will be satisfactory and 3x3x1/4" L is seen from and to outside edge of angle and at least one through bolt through roof.

RETURN RECEIPT

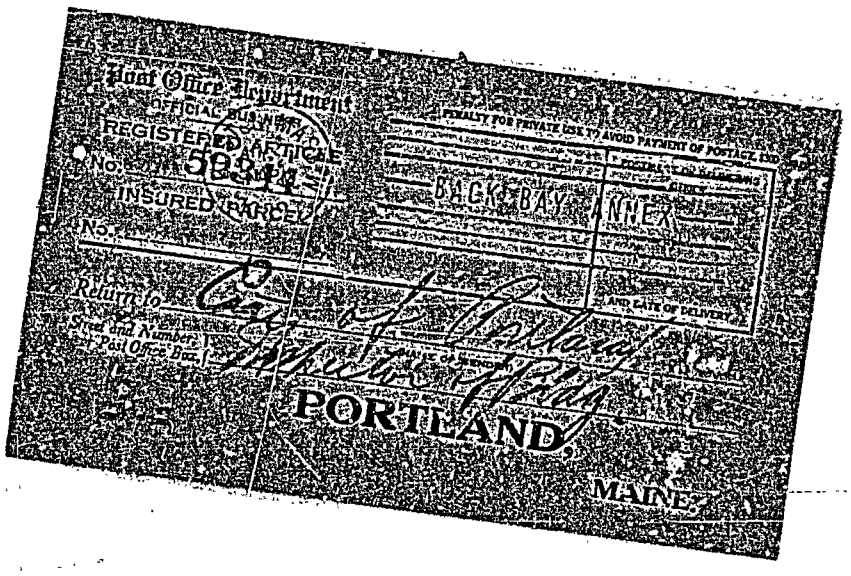
Received from the Postmaster the Registered or Insured Article, the original number of which appears on the face of this Card.

(Signature or name of addressee.)

(Signature of addressee's agent.)

Date of delivery 1-30 193

Form 3811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